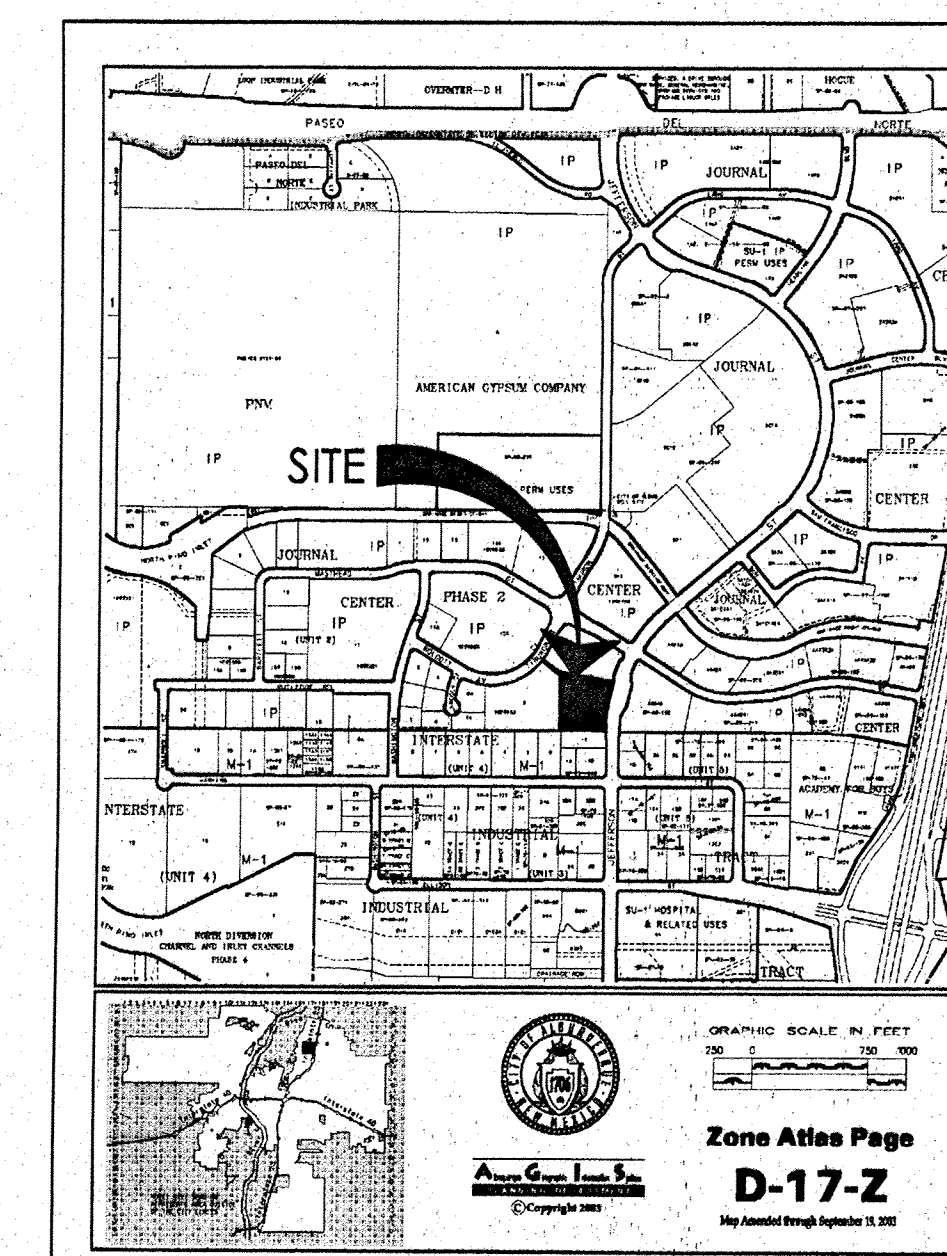


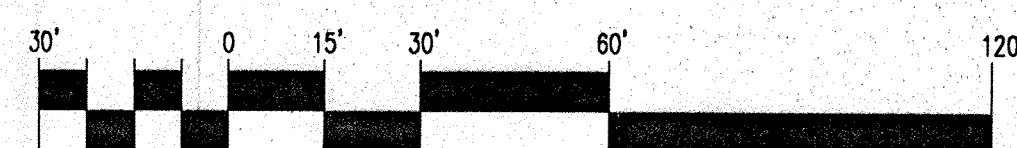
VICINITY MAP



revision
by
date
rev
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

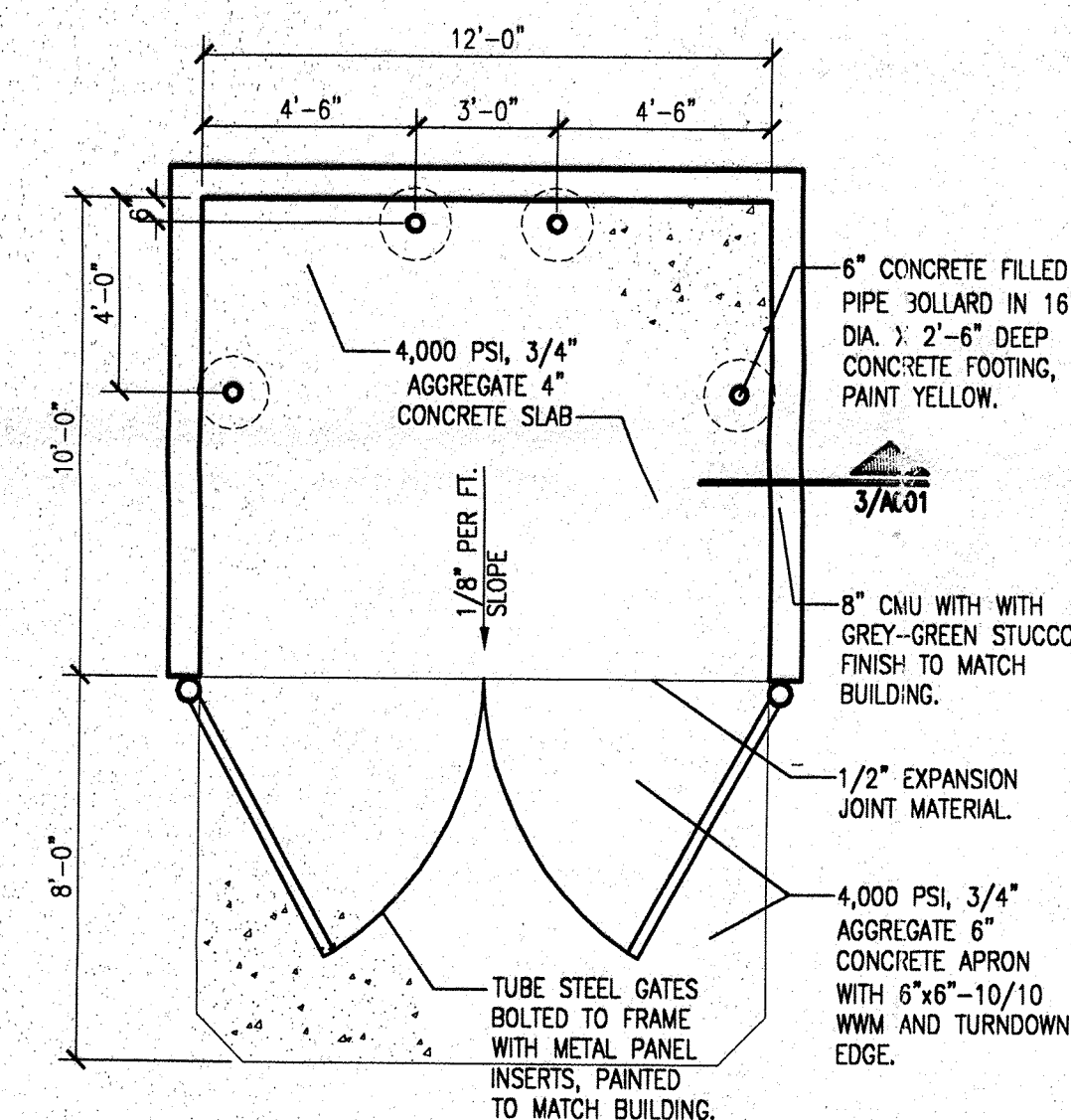
PHASE II
PARKING LOT
PAVED - 2" ASPHALT
& NOT STRIPED.
PARKING LOT TO
BE COMPLETED
DURING PHASE II.

Architectural Site Plan
Scale: 1"=30'-0"



Remaining Portion of
Tract 9A-1A, Lot 9
Journal Center
Phase 2, Unit 1

JEFFERSON STREET
R.O.W. = VARIES



2 Dumpster Enclosure Plan
Scale: 1"=20'

KEYED NOTES

- [1] CONCRETE CURB.
- [2] NEW CURB CUT, 24" WIDE PER 24" C.T.L.
- [3] LANDSCAPE AREA.
- [4] CONCRETE SIDEWALK.
- [5] 9' WIDE X 18' DEEP PARKING SPACES.
- [6] HC PARKING SPACES AND ACCESS.
- [7] EXISTING MEDIAN.
- [8] 8" CONCRETE SIDEWALK.
- [9] HC RAMP.
- [10] STONE VENEER YARD WALL.
- [11] PREFABRICATED PARKING SHADE STRUCTURE.
- [12] MONUMENT SIGN, SEE 6/A401.
- [13] EXISTING BUILDING.
- [14] EXISTING PARKING LOT.
- [15] 30' BUILDING SETBACK LINE.
- [16] COLORED CONCRETE PAVING.
- [17] BIKE RACK, SEE 6/A401.
- [18] STONE VENEER BENCH.
- [19] STONE VENEER LIGHT BOLLARD.
- [20] DUMPSTER ENCLOSURE, SEE 2/A401.
- [21] EXISTING 30' PRIVATE CROSS ACCESS EASEMENT.
- [22] DRIVEWAY CUT.
- [23] EDGE OF NEW ASPHALT DRIVE.
- [24] RELOCATED FIRE HYDRANT.
- [25] NEW 20' PRIVATE UTILITY EASEMENT.
- [26] PROPOSED PROPERTY LINE.
- [27] EXISTING 5' COMCAST EASEMENT.
- [28] NEW 10' PUBLIC UTILITY EASEMENT.
- [29] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [30] NEW FIRE HYDRANT.
- [31] NEW 28' PUBLIC WATERLINE EASEMENT - NOT USED.
- [32] NEW 12'-6" PUBLIC WATERLINE EASEMENT.
- [33] NEW 12'-6" PUBLIC GAS AND WATERLINE EASEMENT.
- [34] NEW 6" CITY SIDEWALK PER 24" C.T.L. 2430

SITE LIGHTING LEGEND

- 16' HIGH LITE POLE WITH 250 WATT METAL HALIDE SHIELDED SHOEBOX FIXTURE

RADIUS INFO

- ① 3' RADIUS
- ② 5' RADIUS
- ③ 15' RADIUS

PARKING CALCULATIONS

OFFICE:	6,380 GROSS SF
OFFICE:	6,380 GROSS SF
OFFICE:	21,148 GROSS SF
TOTAL BUILDING AREA:	33,908 GROSS SF

PARKING REQUIREMENTS:

FIRST FLOOR OFFICE	= 23,334/200 = 116
SECOND FLOOR OFFICE	= 10,574/300 = 35
TOTAL	= 151

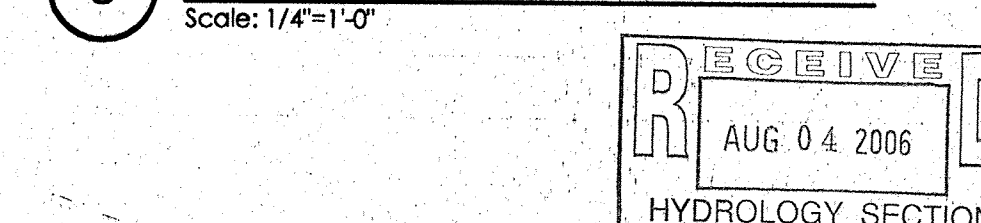
15% REDUCTION FOR BUS STOP = 128 SPACES REQUIRED

TOTAL SPACES PROVIDED = 128

8 HANDICAP SPACES REQUIRED
8 HANDICAP SPACES PROVIDED

BLDG 1 27 SPACES REQD, 24 PROVIDED
BLDG 2 27 SPACES REQD, 27 PROVIDED
BLDG 3 74 SPACES REQD, 77 PROVIDED

3 Enclosure Wall Section
Scale: 1/4"=1'-0"



PROJECT NUMBER: 1003883 APPLICATION NUMBER: 05-00799	
IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES ☐ NO	IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION <i>Ray A. Green</i>	Date: 6-30-05
UTILITIES DEVELOPMENT <i>Christina Sandoval</i>	Date: 6-22-05
PARKS AND RECREATION DEPARTMENT <i>Bradley P. Bingham</i>	Date: 6/22/05
CITY ENGINEER <i>N/A</i>	Date:
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date:
SOLID WASTE MANAGEMENT <i>W. White</i>	Date: 6-22-05
DRB CHAIRPERSON, PLANNING DEPARTMENT <i>W. White</i>	Date: 6/30/05

project title
Landlford Development
SVC of Jefferson Street and Moshhead
Albuquerque, New Mexico
sheet title
Site Development Plan for Building Permit

job number 04-38
drawn by MAG
project manager Douglas Heller, AIA
date 06/14/05

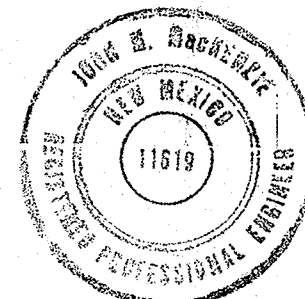
sheet
A001

DRAINAGE CERTIFICATION

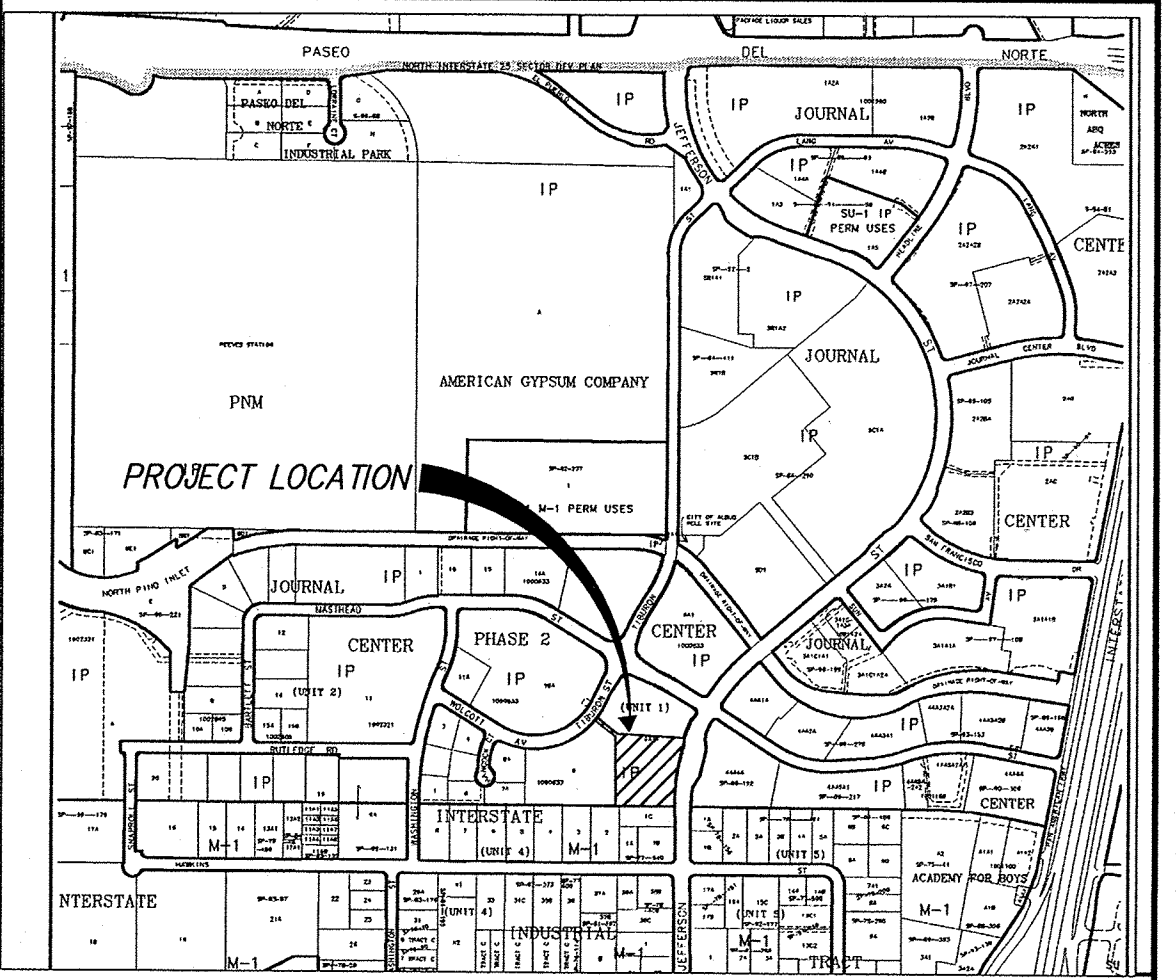
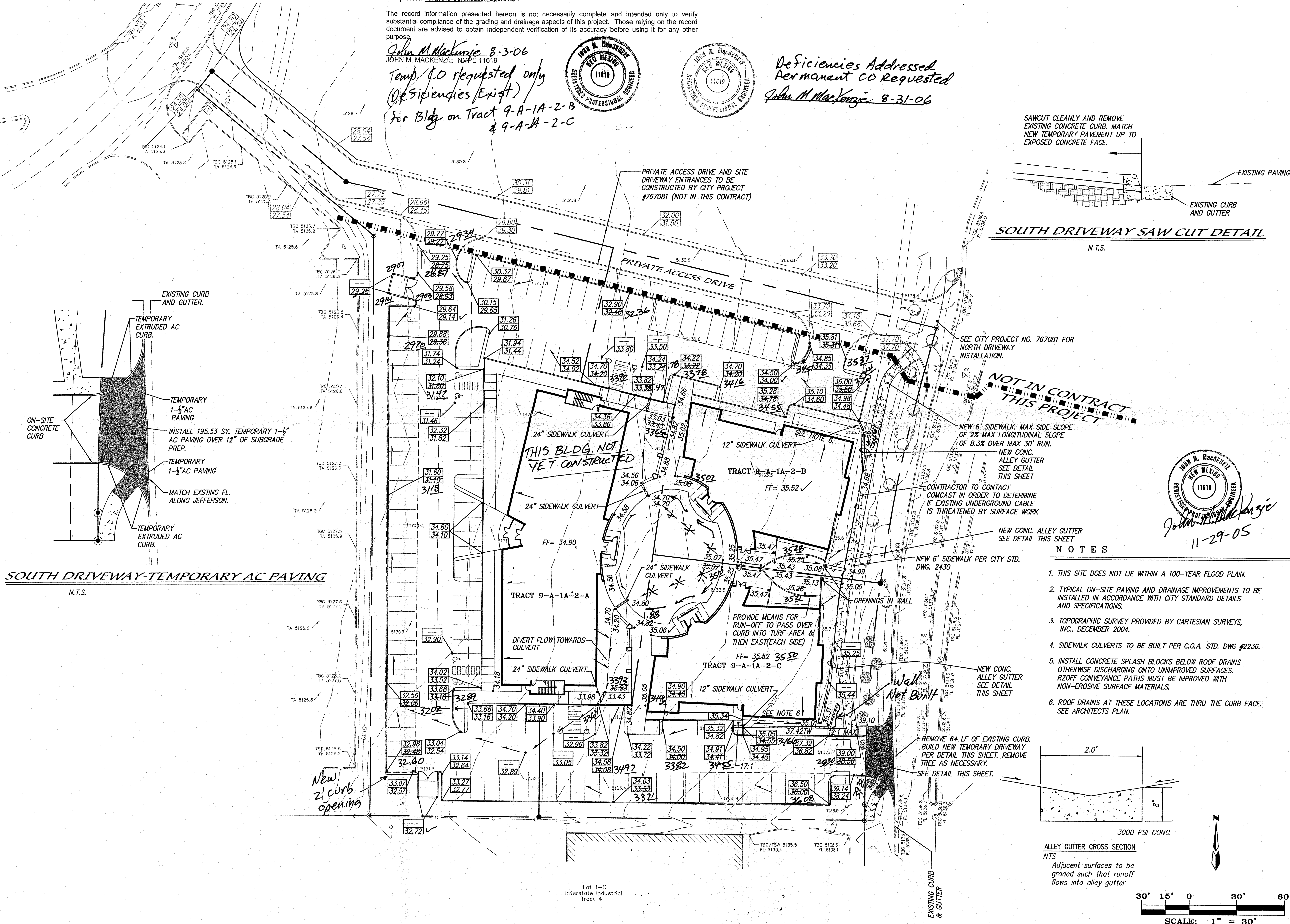
I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11/29/2005. The record information edited onto the original design document has been obtained by Joaquin Arguelles, of the firm Joaquin Arguelles Jr. Land Surveying. I further certify that I have personally visited the project site on 8/3/2006, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Grading Certification approval.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

John M. MacKenzie 8-3-06
JOHN M. MACKENZIE NMPE 11619
Temp. CO requested only
(Deficiencies Exist)
For Bldg on Tract 9-A-1A-2-B
& 9-A-1A-2-C



Deficiencies Addressed
Permanent CO Requested
John M. MacKenzie 8-31-06



VICINITY MAP ZONE MAP: D-17-Z

ACS BENCHMARK

ACS MONUMENT "16-E 17" ELEV. = 5144.74

LEGAL DESCRIPTION

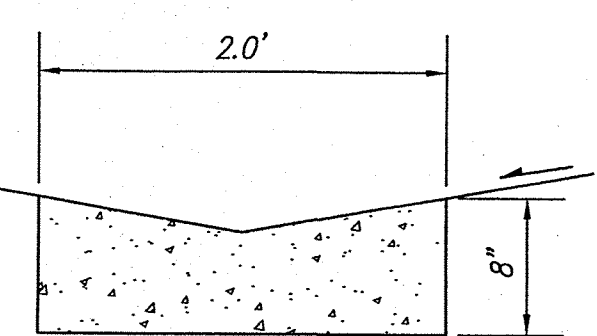
TRACT 9-A-1A-2-A, 9-A-1A-2-B, AND 9-A-1A-2-C
JOURNAL CENTER PHASE 2, UNIT 1

LEGEND

- N 90°00'00" E RECORD BEARING AND DISTANCES
- FOUND REBAR WITH CAP "LS 6544"
 - SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - CHAIN LINK FENCE
 - UNDERGROUND ELECTRIC BOX
 - TRANSFORMER
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - RETAINING WALL
 - LANDSCAPE SWALE
 - FINISH FLOOR ELEVATION
 - NEW SPOT ELEVATION
 - TOP OF CURB ELEVATION & FLOWLINE ELEVATION
 - FLOW DIRECTION
 - NOT IN THIS CONTRACT

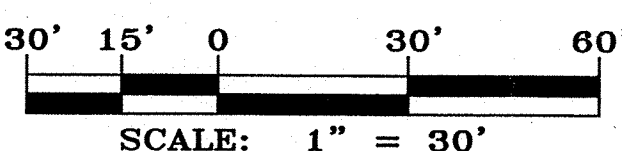
NOTES

- THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD PLAIN.
- TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
- TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., DECEMBER 2004.
- SIDEWALK CULVERTS TO BE BUILT PER C.O.A. STD. DWG #2236.
- INSTALL CONCRETE SPLASH BLOCKS BELOW ROOF DRAINS OTHERWISE DISCHARGING ONTO UNIMPROVED SURFACES. RZOFF CONVEYANCE PATHS MUST BE IMPROVED WITH NON-EROSIVE SURFACE MATERIALS.
- ROOF DRAINS AT THESE LOCATIONS ARE THRU THE CURB FACE. SEE ARCHITECTS PLAN.



ALLEY GUTTER CROSS SECTION

NTS
Adjacent surfaces to be graded such that runoff flows into alley gutter



JOURNAL CENTER LAW OFFICE

GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: JCC Checked: DMG Sheet C-101
Scale: 1" = 1' Date: 9-24-05 Job: A04092