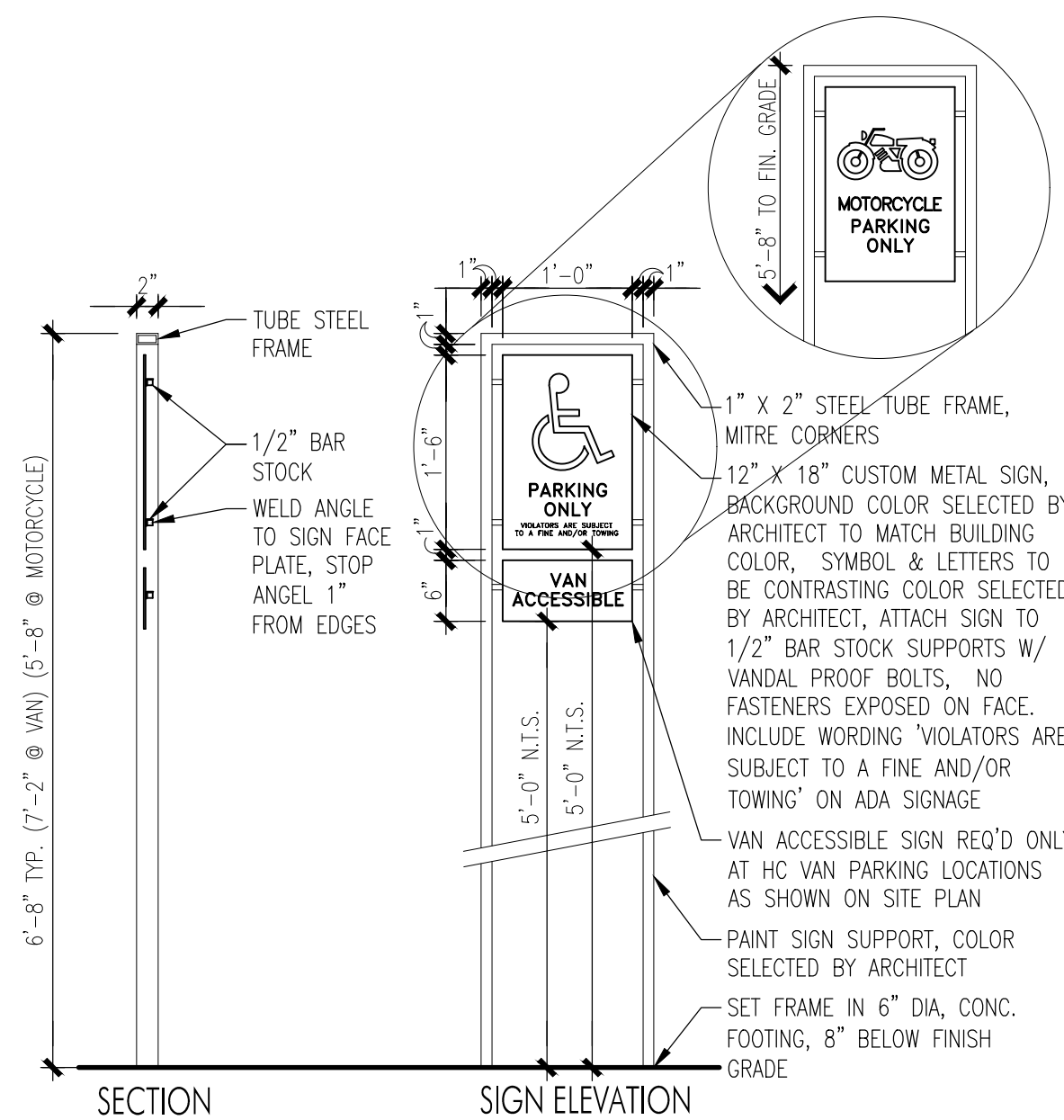
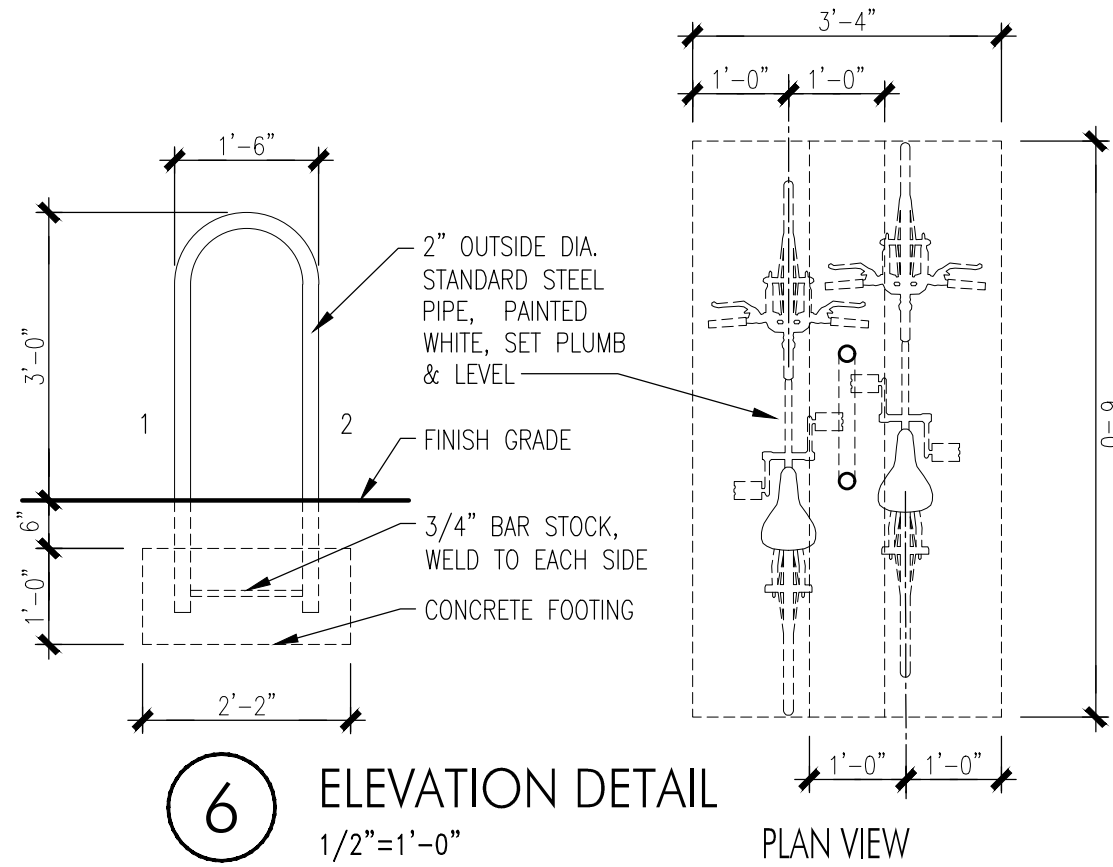


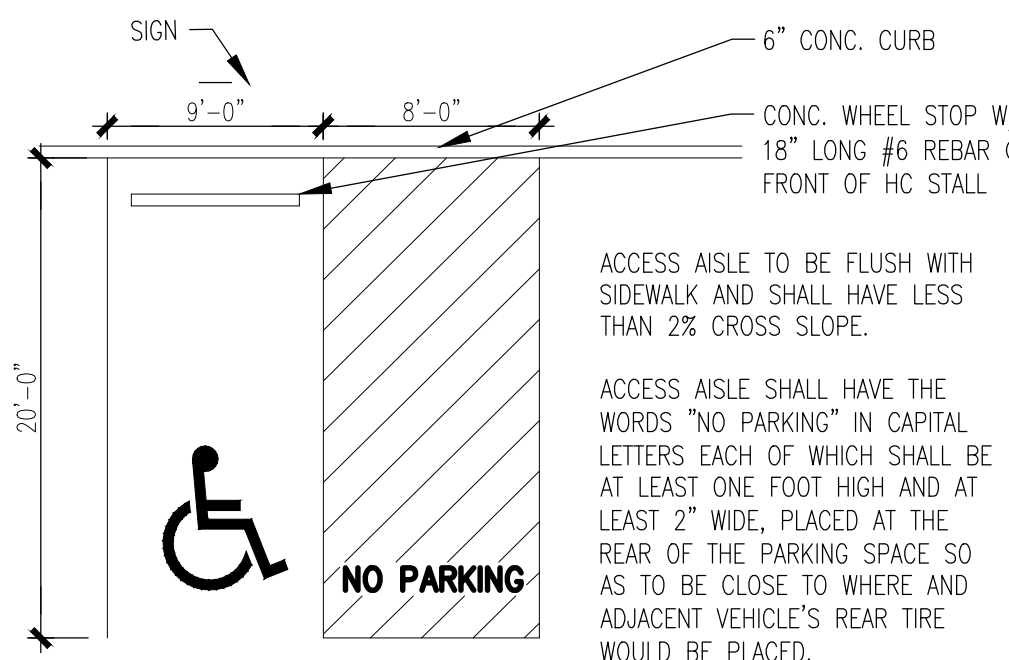
8 TRASH ENCLOSURE ELEVATION
3/8"=1'-0"



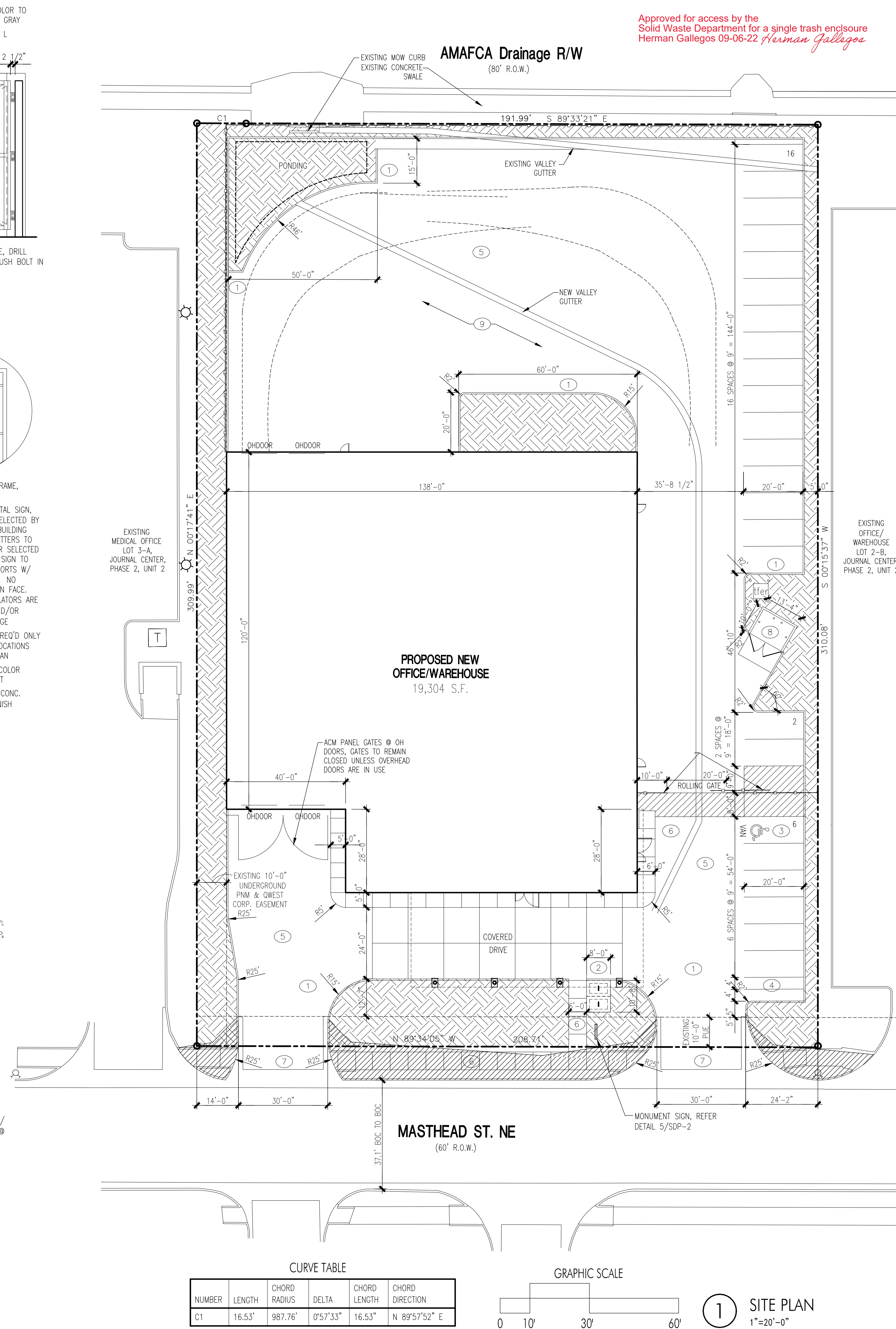
7 PARKING SIGNS
3/4"=1'-0"



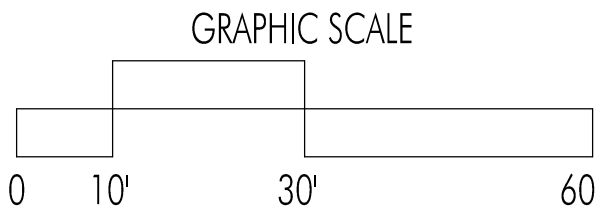
6 ELEVATION DETAIL
1/2"=1'-0"



5 ACCESSIBLE PARKING
1/8"=1'-0"

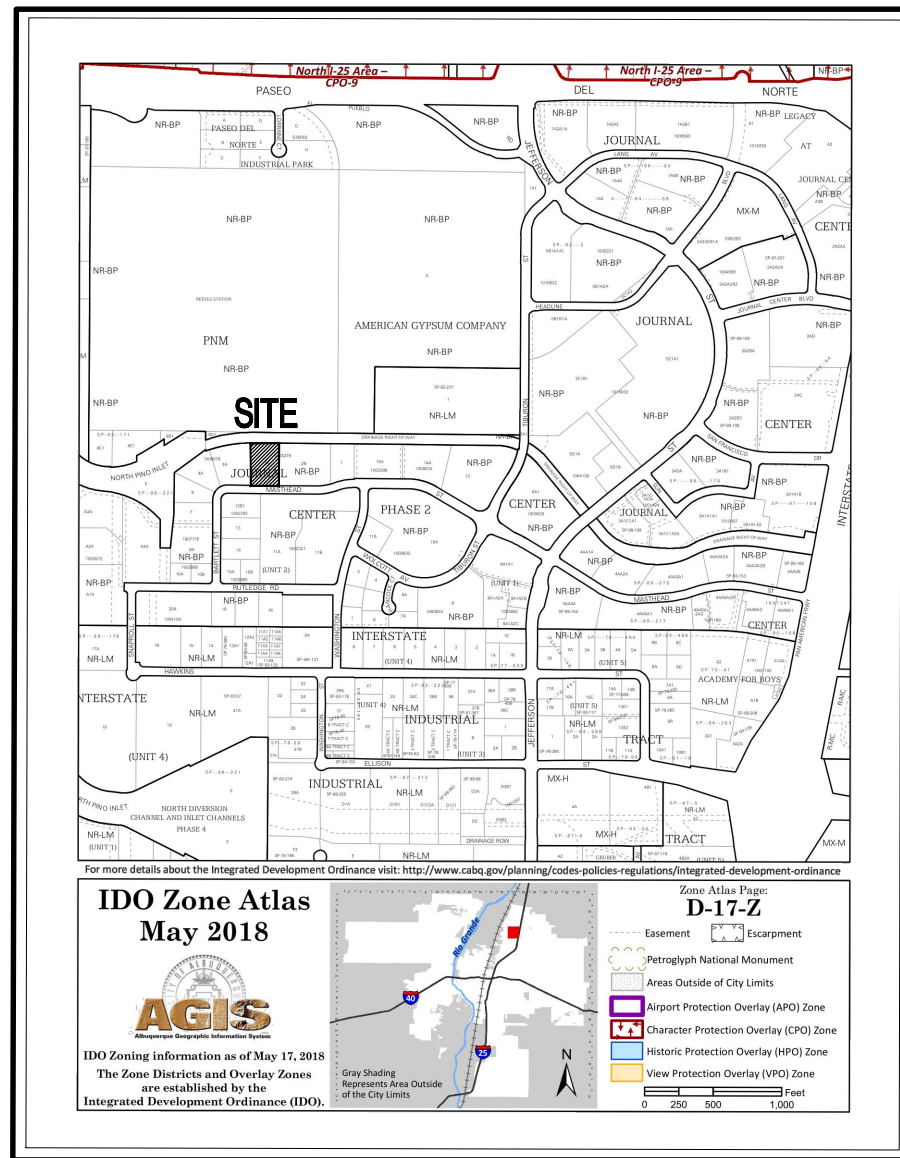


CURVE TABLE					
NUMBER	LENGTH	CHORD RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	16.53'	987.76'	0°57'33"	16.53'	N 89°57'52" E



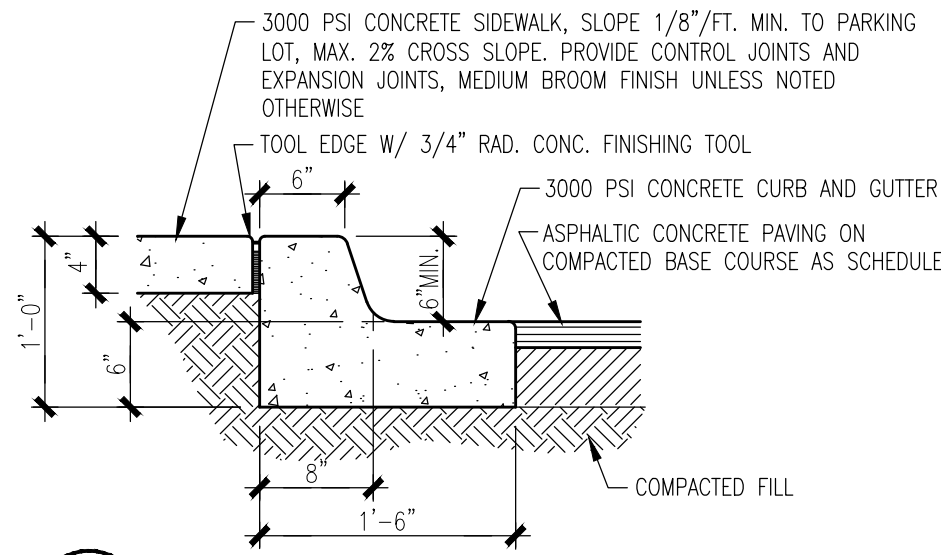
1 SITE PLAN
1"=20'-0"

Approved for access by the
Solid Waste Department for a single trash enclosure
Herman Gallegos 09-06-22

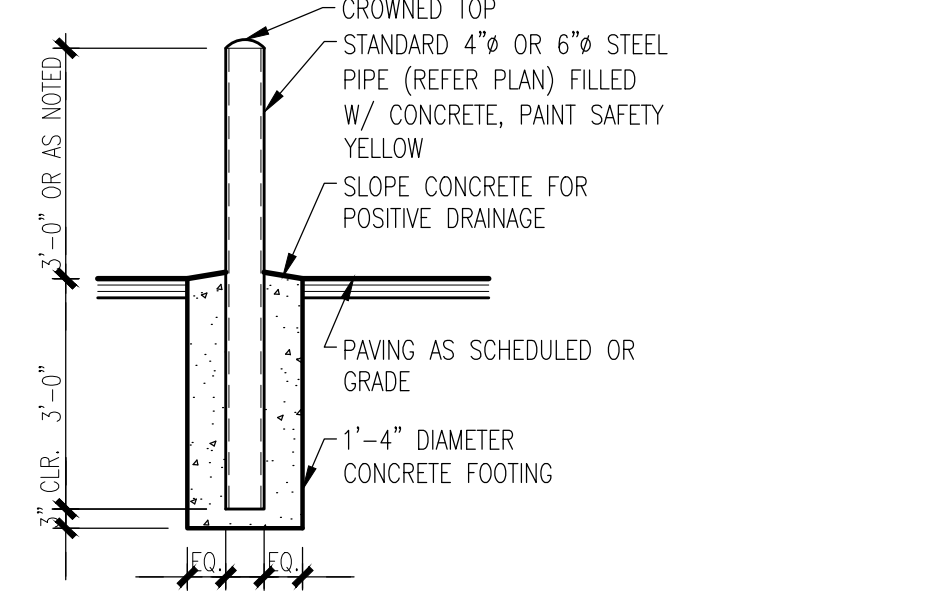


KEYED NOTES

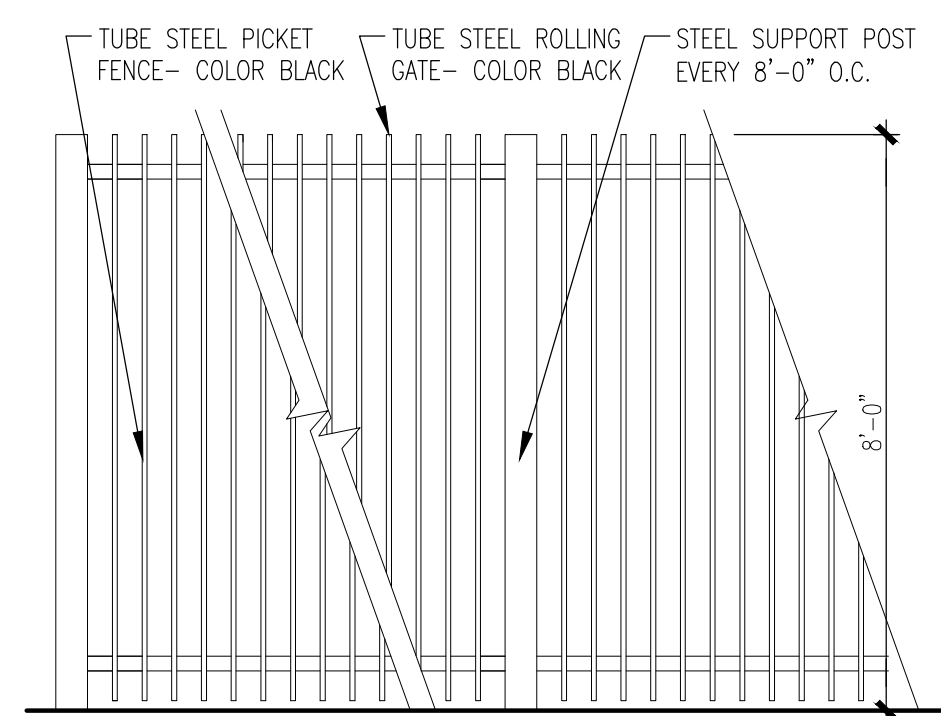
- CONCRETE CURB, REFER DETAIL 4/SDP-1
- (4) BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL, REFER DETAIL 6/SDP-1
- HC PARKING, RAMP & SIGN, REFER DETAILS 5&7/SDP-1
- (2) 4'X20' MOTORCYCLE PARKING SPACE & SIGN, REFER DETAIL 7/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS 'MC' IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2' WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
- 2" ASPHALT PAVING OVER 4" BASE COURSE
- SIDEWALK & RAMPS PER COA STD DWG 2430 & 2411
- NEW ENTRANCE DRIVE PER COA STD DWG 2426
- NEW REFUSE ENCLOSURE, REFER DETAIL 8/SDP-1
- EXISTING BLANKET PRIVATE DRAINAGE EASEMENT BENEFITING LOT2-B, TO BE MAINTAINED BY THE OWNER OF LOT 2-A
- BOLLARDS, REFER DETAIL 3/SDP-1



4 CURB/SIDEWALK DETAIL
1"=1'-0"



3 ELEVATION DETAIL
1/2"=1'-0"



2 FENCE/ GATE ELEVATION
1/2"=1'-0"

PROJECT NO. XX-XXXX-XXXXXX
APPLICATION NO. XX-XXXX-XXXXX-SITE PLAN
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE EPC, DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE
ABCWUA DATE
PARKS & RECREATION DEPARTMENT DATE
CITY ENGINEER/HYDROLOGY DATE
CODE ENFORCEMENT DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
Herman Gallegos 09-06-22
SOLID WASTE DATE
DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY

PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE
LOCATION: MASTHEAD STREET, NE ALBUQUERQUE, NEW MEXICO
OWNER: JIM GUTHRIE
ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: TRACT 2-A JOURNAL CENTER, PHASE 2, UNIT 2
CURRENT ZONING CLASSIFICATION: NR-BP
NET SITE AREA: 64,793 SF 1.49 ACRES
BUILDING AREA: OFFICE 2,744 GSF
WAREHOUSE 16,560 GSF
19,304 GSF

FAR:

PARKING ANALYSIS:
OFF-STREET PARKING
OFFICE 2,744 GSF
WAREHOUSE 16,560 GSF
3.5:1000 = 10 SPACES
NO REQUIREMENT
REQUIRED 10 SPACES
TOTAL SPACES PROVIDED 24 SPACES
HANDICAP PARKING (1-25 PRVD) = REQUIRED 1 SPACE TOTAL (VAN) PROVIDED 1 SPACE TOTAL (VAN)
MOTORCYCLE PARKING (1-25 PRVD) = REQUIRED 1 SPACE PROVIDED 2 SPACE
BICYCLE PARKING (10% ROD PARKING SPACES) = REQUIRED 3 SPACES PROVIDED 4 SPACES

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- LANDSCAPED AREA
- PONDING PONDING AREA
- SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(1)(5)(iii) and 7-4(1)(5)(iv), LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE
- HANDICAP PARKING PAVEMENT MARKING
- EXISTING FIRE HYDRANT
- 25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS
- 8' TALL PAINTED TUBE STEEL PICKET FENCING REFER DETAIL 2/SDP-1

GENERAL NOTES

- THIS SITE PLAN MEETS THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN. THE IDO WILL APPLY TO ANY REQUIREMENTS NOT SPECIFIED IN THE JOURNAL CENTER MASTER PLAN.
- ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
- PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FRO THE SITE PERIMETER.
- ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
- SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.

TATE FISHBURN ARCHITECT
ARCHITECT SEAL
STATE OF NEW MEXICO
TATE FISHBURN
REGISTERED ARCHITECT
ENGINEER SEAL

NEW OFFICE/WAREHOUSE
3831 MASTHEAD STREET, NE
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE AUGUST 30, 2022
NORTH SCALE
1"=20'-0" OR AS NOTED
DRAWING NAME
SITE DEVELOPMENT PLAN
SHEET NUMBER

SDP-1