

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2022

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Office/Warehouse at
3831 Masthead St NE
Grading and Drainage Plan
Engineer's Stamp Date: 8/29/22
Hydrology File: D17D095A**

PO Box 1293 Dear Mr. Bohannon:

Albuquerque Based upon the information provided in your resubmittal received 9/6/2022, the Grading & Drainage Plan **is neither** approved for Building Permit **nor** for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

- NM 87103
- www.cabq.gov
1. Since this project is adjacent to, and drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be needed prior to Hydrology approval. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215).
 2. Since this plan is not labeled "Conceptual" and "Not for Construction", this review assumes that the plan is for Building Permit and for Construction, and as such it is held to a higher standard than a Conceptual Plan would be. Alternatively if you wish this plan to be reviewed only for Site Plan for Building Permit, add the two labels.
 3. Identify the offsite basin that flows through the North Pond and provide hydraulic capacity calculations and construction details of the pond inlet and outlet structures.
 4. The location of the South Pond isn't clearly identified with top and bottom elevations. It appears that only a small fraction of Basin B-2 flows into the South Pond and the rest of it drains to Masthead St through the driveways. Add drainage structures to get more of Basin B-2 into the south pond. Identify the location South Pond spillway and add a construction detail.
 5. Existing grades are missing and must be shown on the plan, especially at the perimeter of the property where proposed grading must match existing grades. Also provide proposed contours.

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6. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
7. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
8. Please include the legal description on the plan.
9. Please show Cross Lot Drainage Easements on the Grading & Drainage Plan specifying the beneficiary and maintenance agreement. If an easement doesn't already exist then one will have to be granted.
10. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

PRIOR TO CERTIFICATE OF OCCUPANCY:

PO Box 1293

11. Engineer's Certification, per the DPM Part 6-14 (F) : *Engineer's Certification Checklist For Non-Subdivision is required.*

Albuquerque

12. Please provide the Drainage Covenant with Exhibit A for the SWQ ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.

NM 87103

If you have any questions, please contact me at 924-3999 or sbiazar@cabq.gov .

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

C: file



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 3831 Masthead Street **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LT2-A PLAT FOR LOTS 2-A AND 2-B JOURNAL CENTER PHASE 2, UNIT 2 (BEING COMPRISED OF LOT 2, JOURNAL CENTER 2, UNIT 2)

City Address Or UPC: 3831 Masthead Street Street, Albuquerque NM

Applicant: Tierra West, LLC **Contact:** Vince Carrica

Address: 5571 Midway Park Place NE Albuquerque NM 87109

Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** vcarrica@tierrawestllc.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

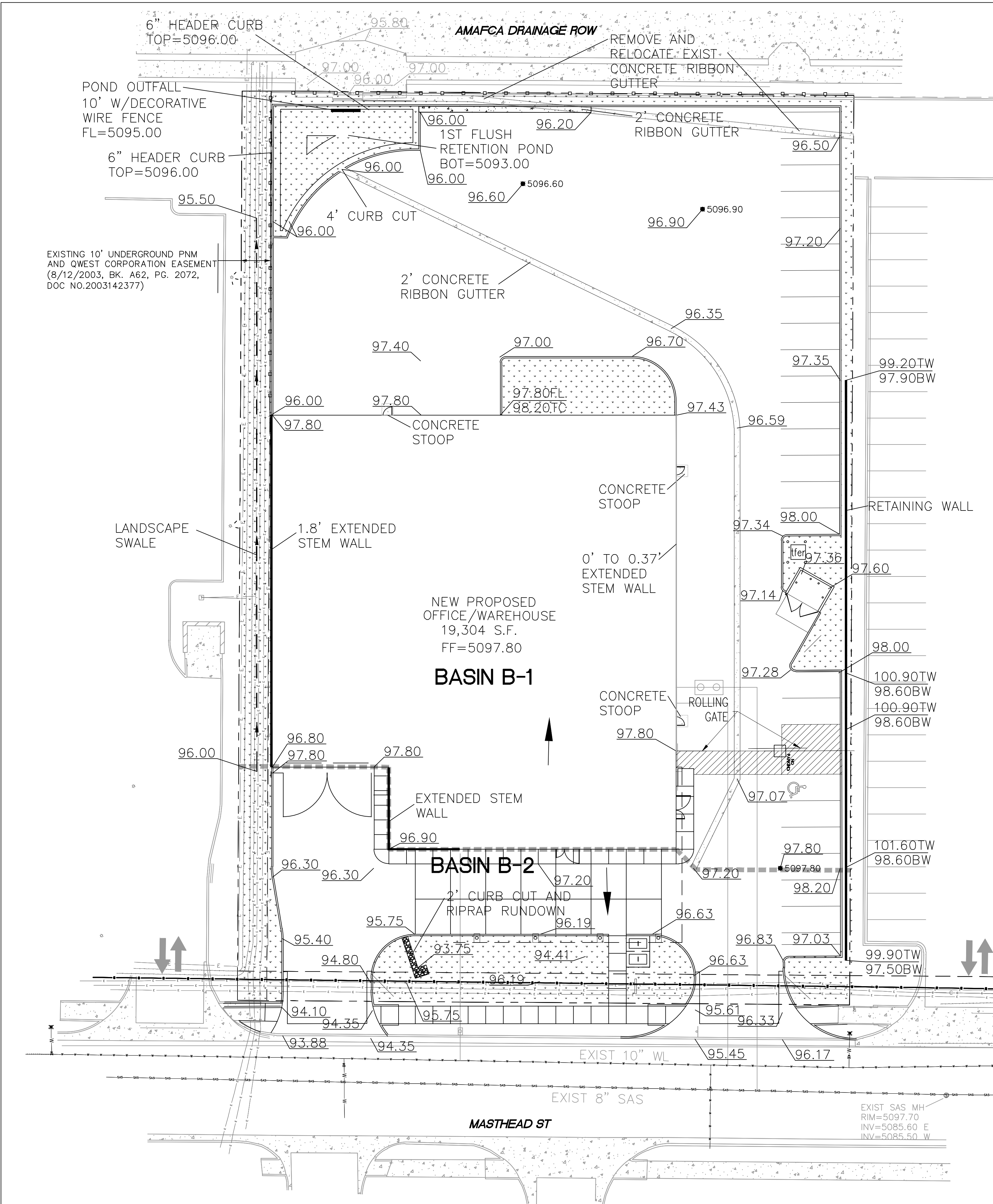
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9-12-22 **By:** Vince Carrica

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



NOTICE TO CONTRACTORS

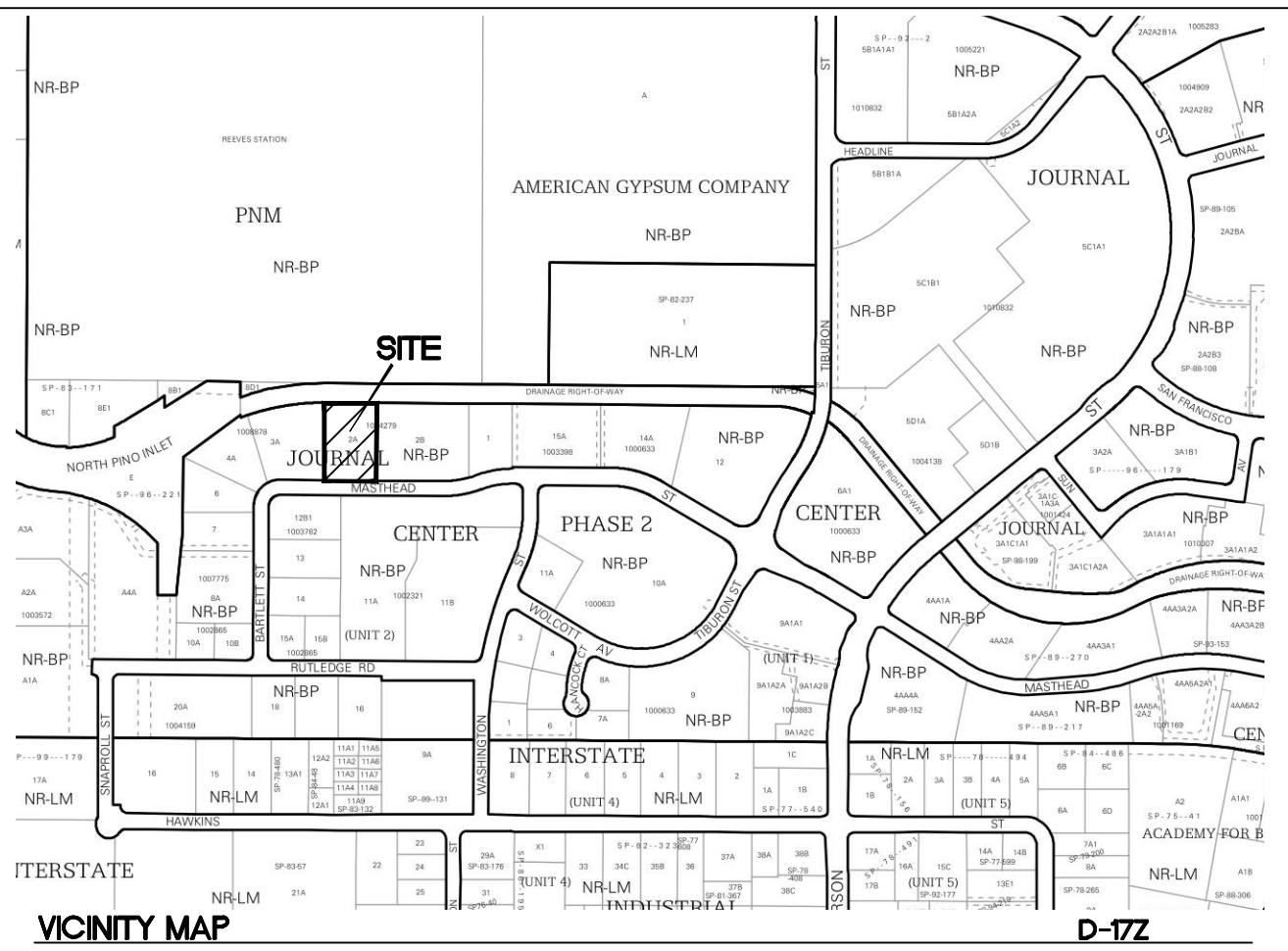
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- BUILDING
- - - SIDEWALK
- - - EXISTING CURB & GUTTER
- G — EXISTING GAS LINE
- E — EXISTING POWER LINE
- SAS — EXISTING SANITARY SEWER LINE
- W — EXISTING WATER LINE
- - - EXISTING INDEX CONTOUR
- - - EXISTING CONTOUR
- - - PROPOSED INDEX CONTOUR
- - - PROPOSED CONTOUR
- RETAINING WALL

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



Weighted E Method

Zone:
Zone 2
Developed Basins

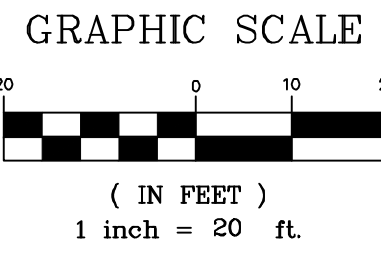
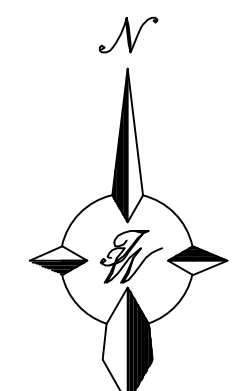
Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
B-1	52,272.0	1.20	0.002	0%	0.00	0%	0.00	15%	0.18	75%	0.90	1.902	0.190	4.46
B-2	12,375.0	0.28	0.000	0%	0.00	0%	0.00	32%	0.09	68%	0.19	1.914	0.045	1.12
Total	64,647.0	1.484	0.00232	0.00	0.000	0.000	0.000	0.271	0.093	1.093	0.236	5.57		

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$
Volume = Weighted E * Total Area
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

NARRATIVE:

THE SITE IS A VACANT LOT LOCATED WITHIN A PREVIOUSLY APPROVED DRAINAGE PLAN (D17D095). THE SITE IS ALLOWED TO FREE DISCHARGE TO AN EXISTING RUNDOWN INTO THE AMAFCA NORTH PINO CHANNEL PER THE APPROVED DRAINAGE PLAN. A SMALL PORTION ON THE SOUTH SIDE OF THE LOT WILL DRAIN TO THE MASTHEAD STREET ROADWAY AND INTO THE EXISTING STORM DRAIN. THE FIRST FLUSH VOLUMES WILL BE RETAINED FOR BOTH THE NORTH AND SOUTH ONSITE DRAINAGE BASINS.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL

RONALD R. BOHANNAN

NEW MEXICO

7868

PROFESSIONAL ENGINEER

8-29-22

RONALD R. BOHANNAN

P.E. #7868

3831 MASTHEAD ST

ALBUQUERQUE, NM

GRADING AND DRAINAGE PLAN

TERRA WEST, LLC

5571 MIDWAY PARK PL. NE

ALBUQUERQUE, NEW MEXICO 87109

(505) 858-3100

www.tierrawestllc.com

DRAWN BY

pm

DATE

8-29-22

DRAWING

SHEET #

GR-1

JOB #

2022002