

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 11, 2022

Tate Fishburn, RA  
Tate Fishburn Architect  
PO Box 2941  
Corrales, NM 87084

**Re: New Office/ Warehouse**  
**3831 Masthead St. NE**  
**Conceptual Traffic Circulation Layout for DRB Approval**  
Engineer's Stamp 10-07-22 (D17-D095A)

Dear Mr. Tate,

The conceptual TCL submittal received 09-14-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

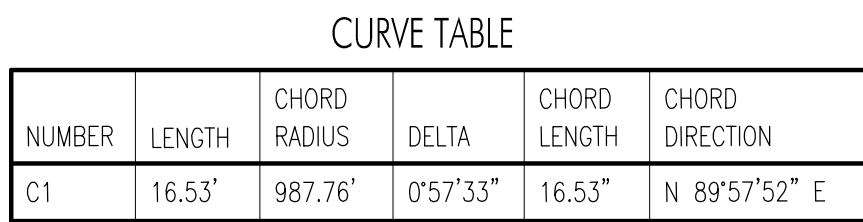
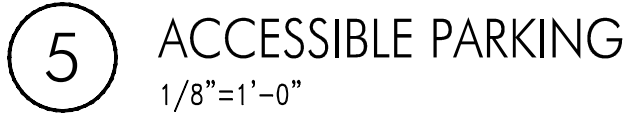
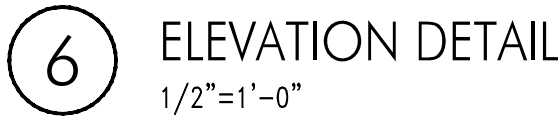
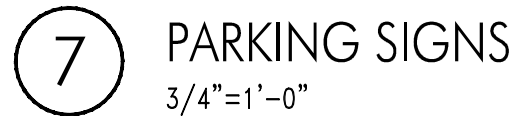
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

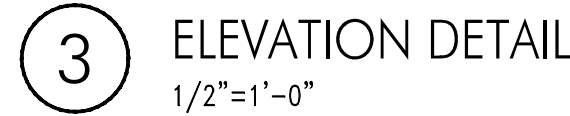
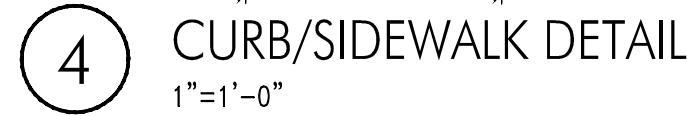
Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





- ① CONCRETE CURB, REFER DETAIL 4/SDP-1
- ② (4) BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL, REFER DETAIL 6/SDP-1
- ③ HC PARKING, RAMP & SIGN, REFER DETAILS 5&7/SDP-1
- ② (4) 'X20' MOTORCYCLE PARKING SPACE & SIGN, REFER DETAIL 7/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS 'MC' IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
- ⑤ 2" ASPHALT PAVING OVER 4" BASE COURSE
- ⑥ SIDEWALK & RAMPS PER COA STD DWG 2426
- ⑦ NEW ENTRANCE DRIVE PER COA STD DWG 2426
- ⑧ NEW REFUSE ENCLOSURE, REFER DETAIL 8/SDP-1
- ⑨ EXISTING BLANKET PRIVATE DRAINAGE EASEMENT BENEFITING LOT2- TO BE MAINTAINED BY THE OWNER OF LOT 2-A
- ⑩ BOLLARDS, REFER DETAIL 3/SDP-1



|  |            |
|--|------------|
| PROJECT NO. <u>XX-XXXX-XXXXXX</u>  |            |
| APPLICATION NO. <u>XX-XXXX-XXXXX-SITE PLAN</u>   |            |
| THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE EPC, DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.                                 |            |
| IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO<br>IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |            |
| <u>DRC SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:</u>  |            |
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION  | DATE _____ |
| ABC/VUA  | DATE _____ |
| PARKS & RECREATION DEPARTMENT  | DATE _____ |
| CITY ENGINEER/HYDROLOGY  | DATE _____ |
| CODE ENFORCEMENT   | DATE _____ |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)   | DATE _____ |
| SOLID WASTE  | DATE _____ |
| DRC CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT   | DATE _____ |
| *ENVIRONMENTAL HEALTH, IF NECESSARY  |            |

## PROJECT INFORMATION









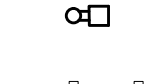
PROJECT: NEW OFFICE/WAREHOUSE  
LOCATION: MASTHEAD STREET, NE  
ALBUQUERQUE, NEW MEXICO  
OWNER: JIM GUTHRIE  
ARCHITECT: TATE FISHBURN ARCHITECT  
LEGAL DESCRIPTION: TRACT 2-A JOURNAL

|                                |                      |
|--------------------------------|----------------------|
| CURRENT ZONING CLASSIFICATION: | NR-BP                |
| NET SITE AREA:                 | 64,793 SF 1.49 ACRES |
| BUILDING AREA:                 | OFFICE 2,744 GSF     |

|      |      |
|------|------|
| FAR: | 30.0 |
|------|------|

|                           |                          |              |                      |
|---------------------------|--------------------------|--------------|----------------------|
| <b>PARKING ANALYSIS:</b>  |                          |              |                      |
| <b>OFF-STREET PARKING</b> |                          |              |                      |
| OFFICE                    | 2,744                    | GSF          | 3.5:1000 = 10 SPACES |
| WAREHOUSE                 | 16,560                   | GSF          | NO REQUIREMENT       |
|                           |                          |              | REQUIRED 10 SPACES   |
|                           |                          | TOTAL SPACES | PROVIDED 24 SPACES   |
| HANDICAP PARKING          | (1-25 PRVD)              | = REQUIRED   | 1 SPACE TOTAL (VAN)  |
|                           |                          | PROVIDED     | 1 SPACE TOTAL (VAN)  |
| MOTORCYCLE PARKING        | (1-25 PRVD)              | = REQUIRED   | 1 SPACE              |
|                           |                          | PROVIDED     | 2 SPACE              |
| BICYCLE PARKING           | (10% ROD PARKING SPACES) | = REQUIRED   | 3 SPACES             |
|                           |                          | PROVIDED     | 4 SPACES             |

LEGEND

- |   |   |
|---|---|
|  | PROPERTY LINE   |
|  | EASEMENT LINE   |
|  | LANDSCAPED AREA   |
|  | PONDING AREA  |
|  | SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(0)(5)(iii) and 7-4(0)(5)(iv), LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE |
|  | HANDICAP PARKING PAVEMENT MARKING   |
|  | EXISTING FIRE HYDRANT   |
|  | 25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS  |
|  | 8' TALL PAINTED TUBE STEEL PICKET FENCING REFER DETAIL 2/SOP-1  |

GENERAL NOTES

1. THIS SITE PLAN MEETS THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN. THE IDO WILL APPLY TO ANY REQUIREMENTS NOT SPECIFIED IN THE JOURNAL CENTER MASTER PLAN.
2. ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.
3. PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
4. ALL LIGHT FIXTURES SHALL BE FULLY SHEilded HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
5. ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
6. SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2426.

T A T E F I S H B U R N  
A R C H I T E C T

ARCHITECT SEAL



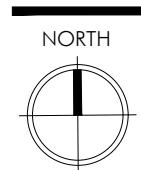
ENGINEER SEAL

PROJECT

NEW OFFICE/WAREHOUSE  
3831 MASTHEAD STREET, NE  
ALBUQUERQUE, NEW MEXICO

## REVISIONS

DATE OCTOBER 7, 2022



DRAWING NAME

## SITE DEVELOPMENT PLAN

SHEET NUMBER

SDP-1