

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 18, 2023

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Office/Warehouse at
3831 Masthead St NE
Grading and Drainage Plan
Engineer's Stamp Date: 1/4/23
Hydrology File: D17D095A**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your resubmittal received 1/9/23, the Conceptual Grading & Drainage Plan is approved for Site Plan for Building Permit. The following comments need to be addressed prior to approval for Grading Permit or Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Since this project is adjacent to, and drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be needed prior to Hydrology approval. Include all plans and specifications required by AMAFCA in this Grading Plan unless AMAFCA requires infrastructure in their right of way, in which case an infrastructure list and work order plans will be required. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215).
2. Identify the offsite basin that flows through the North Pond. Those offsite properties must also be identified as the beneficiaries of the cross lot drainage easement.
3. Show Cross Lot Drainage Easements on the Grading & Drainage Plan specifying the beneficiary and maintenance. If an easement doesn't already exist then one will have to be granted.
4. Label both ponds with a construction note that specifies the pond bottom elevation, First Flush elevation and volume, spillway elevation and volume, 100 year elevation, top elevation. Include a detail with construction specifications of the outlet structures with a plan, profile, and section view. Resolve the discrepancy between the 8" header curb on the plan view of the north pond and the 12" depth of the outlet structure section (Is there a transition? If so, where?) Walls around that pond should be imbedded deep enough to prevent undercutting by hydrostatic pressure and backfill should be compacted to 95%. Include sections and specifications for the walls/curbs.
5. Identify non-erosive rundown structures into the north pond. Include hydraulic calculations for the pond inlet structures that account for the backwater effect of the pond outlet structure. Use this elevation to show the limits of the 100 year elevation in the

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parking lot. Typical weir coefficients in HEC-RAS are 3.0 in English units and 1.66 for SI units.

6. Provide specifications for stabilization of the pond side slopes.
7. Add construction specifications for the South Pond spillway. Additional header curb may be needed west of the outlet structure if sidewalk and driveway elevations are below either the 100-year elevation or pond top elevation. An SO-19 Permit will be required and should be included on the request. Please include the standard SO-19 notes on the grading plan.
8. Provide the Benchmark information (location, description and elevation) for the survey contour information provided.
9. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
10. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

11. Engineer's Certification, per the DPM Part 6-14 (F) : *Engineer's Certification Checklist For Non-Subdivision is required.*

NM 87103

12. Please provide the Drainage Covenant with Exhibit A for the SWQ ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.

www.cabq.gov

If you have any questions, please contact me at 924-3420 or jhughes@cabq.gov.

Sincerely,

James D. Hughes

James Hughes, P.E., CFM, CPESC
Principal Engineer, Planning Dept.
Development and Review Services

C: file

From: [Vince Carrica](#)
To: [Hughes, James D.](#)
Cc: [Ron Bohannon](#); [Yvanna Escajeda](#)
Subject: FW: [#2022002] 2022002 3831 Masthead Hydrology Submittal - AMAFCA No Comments
Date: Tuesday, January 17, 2023 1:28:14 PM
Attachments: [image002.png](#)

Hi Doug,

Here is email string from Jarod with AMAFCA approving conceptual G&D.

Vincent Carrica, PE

vcarrica@tierrawestllc.com

Tierra West, LLC

5571 Midway Park Pl NE

Albuquerque, NM 87109

(505) 858-3100 Ext 205

1-800-245-3102

Fax (505) 858-1118

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From: Jared Romero <jromero@amafca.org>

Sent: Monday, January 9, 2023 8:15 AM

To: Vince Carrica <VCarrica@tierrawestllc.com>

Cc: Brissette, Renee C. <rbrisette@cabq.gov>; Shahab Biazar <sbiazar@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>; Yvanna Escajeda <yescajeda@tierrawestllc.com>

Subject: RE: [#2022002] 2022002 3831 Masthead Hydrology Submittal - AMAFCA No Comments

Good Morning Vince,

AMAFCA has no further adverse comments to the conceptual G&D with ESD 1/4/2023. Below are the items that will need to be addressed at time of building permit submittal:

- Show the amount of freeboard from the North Pino channel (assuming supercritical flow) to the site.
- Add a detail for the concrete ribbon gutter. Verify that it has the capacity to convey the flow (11.45 cfs) from the WQ pond to the east.

If you have any questions, please let me know.

Best,
Jared

Jared Romero, CFM
Development Review Engineer
Albuquerque Metropolitan Arroyo Flood Control Authority
2600 Prospect Ave. NE
Albuquerque, NM 87107
Phone: (505) 884-2215
jromero@amafca.org

From: Vince Carrica <VCarrica@tierrawestllc.com>
Sent: Wednesday, January 4, 2023 3:31 PM
To: Jared Romero <jromero@amafca.org>
Cc: Brissette, Renee C. <rbrissette@cabq.gov>; Shahab Biazar <sbiazar@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>; Yvanna Escajeda <yescajeda@tierrawestllc.com>
Subject: RE: [#2022002] 2022002 3831 Masthead Hydrology Submittal - AMAFCA Comments

Good morning Jared,
Attached is a revised grading and drainage plan for 3831 Masthead in Journal Center. We have modeled the North Pino channel with survey information and flow rate provided. We had to take some time to verify location and depths of existing electric power lines along the west 10' of the property. See below for responses to your comments. We are seeking approval for Conceptual G&D so we can proceed to approval of a site plan for building permit submittal to the City. I will also submit this revised plan to the City along with responses to their comments via a separate email.

Please give me a call if you have any questions or comments.

Vincent Carrica, PE
vcarrica@tierrawestllc.com
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5571 Midway Park Pl NE
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is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.

From: Jared Romero <jromero@amafca.org>

Sent: Thursday, September 15, 2022 3:33 PM

To: Vince Carrica <VCarrica@tierrawestllc.com>

Cc: Jaimie Garcia <jgarcia@tierrawestllc.com>; Brissette, Renee C. <rbrissette@cabq.gov>; David Gutierrez <dggutierrez@cabq.gov>; Shahab Biazar <sbiazar@cabq.gov>

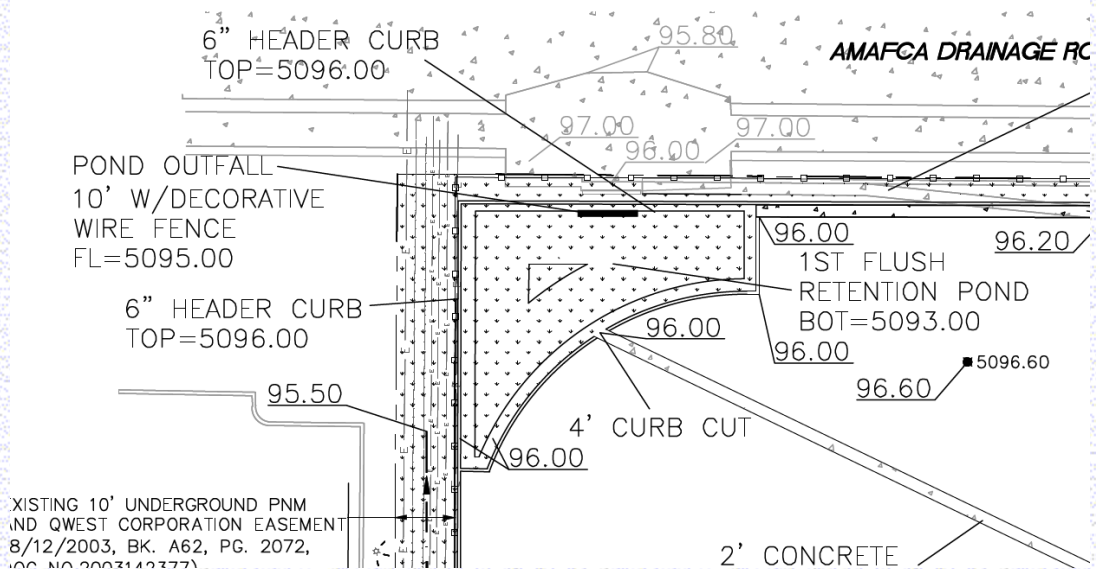
Subject: RE: [#2022002] 2022002 3831 Masthead Hydrology Submittal - AMAFCA Comments

Good Afternoon Vince,

Below are AMAFCA's comments on the G&D for 3831 Masthead with ESD 8/29/2022:

G&D

- According to the approved plan for the warehouse to the east, the water from the existing WQ pond is planned to spill over into this lot (see attached as-builts). You will need to accommodate that flow entering this site and routing to the existing rundown to the channel. There may need to be a cross lot drainage easement granted as a result of that flow crossing the lot to the rundown. **Runoff from the existing adjacent pond overflow will be accommodated in the development of this site. The runoff will be conveyed to the proposed first flush pond and into the existing AMAFCA rundown into the North Pino channel**
- You will need to provide an analysis of the existing North Pino channel and confirm that the 100-year WSE of the channel will not impact the proposed on-site drainage improvements. The 100-year flow rate for the North Pino channel at this location is 2,700 cfs. AMAFCA has recent topographic information for this arroyo if requested. **See attached analysis results of North Pino channel for confirmation of the 100-year WSE. We used the survey and flow rate information you provided. In viewing the results of the analysis, we raised the finish floor elevation to be a minimum of 2' above the WSE for the 100-year design storm.**
- Provide a calculation on the proposed discharge from the WQ pond above the first flush WSE to the existing rundown. Confirm that the existing rundown is sized for the proposed discharge to the channel and identify any improvements that would be needed to connect to the existing rundown. **Calculation shown on revised grading plan verifies the 10' pond outfall has capacity to handle the flows from the design storm.**
- What is the hatching identified in the pond and on the perimeter of the lot? Also, the proposed grading does not show a clear flowline from the pond to the existing rundown and shows the pond outfall elevation at 5095 and the invert of the rundown at 5096. **The hatching was meant to delineate landscaped areas. It has been removed from the G&D sheet. A concrete rundown/channel has been added from the pond outfall to the existing North Pino Channel concrete rundown.**



Best,
Jared

Jared Romero

Development Review Engineer
Albuquerque Metropolitan Arroyo Flood Control Authority
2600 Prospect Ave. NE
Albuquerque, NM 87107
Phone: (505) 884-2215
jromero@amafca.org

From: Vince Carrica <VCarrica@tierrawestllc.com>
Sent: Tuesday, September 13, 2022 9:05 AM
To: Jared Romero <jromero@amafca.org>
Cc: Jaimie Garcia <jgarcia@tierrawestllc.com>
Subject: FW: [#2022002] 2022002 3831 Masthead Hydrology Submittal

Good morning Jared,
Attached is a G&D plan for a site off Masthead in the Journal Center. The vacant parcel was previously included in a larger lot that had an approved G&D plan (attached) that included a connection to the North Pino Channel. That development was reduced in size and left the subject lot undeveloped other than the raised pad created.

A first flush pond is added by this grading plan. This pond will be in addition to the existing first flush pond in the initial development. The outfall from that initial pond will be routed through the subject site and will discharge along with runoff from the subject site to an existing concrete rundown into the North Pino Channel. No work within AMAFCA right of way will be required.

Please give me a call if you have any questions or comments.
Thanks

Vincent Carrica, PE
vcarrica@tierrawestllc.com
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109
(505) 858-3100 Ext 205
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From: Jaimie Garcia <jgarcia@tierrawestllc.com>
Sent: Monday, September 12, 2022 4:56 PM
To: 'PLNDRS@cabq.gov' <plndrs@cabq.gov>
Cc: Vince Carrica <VCarrica@tierrawestllc.com>
Subject: [#2022002] 2022002 3831 Masthead Hydrology Submittal

Attached please find the 3831 Masthead Hydrology Submittal for review and approval. Please send Invoice for payment.

Thank You.

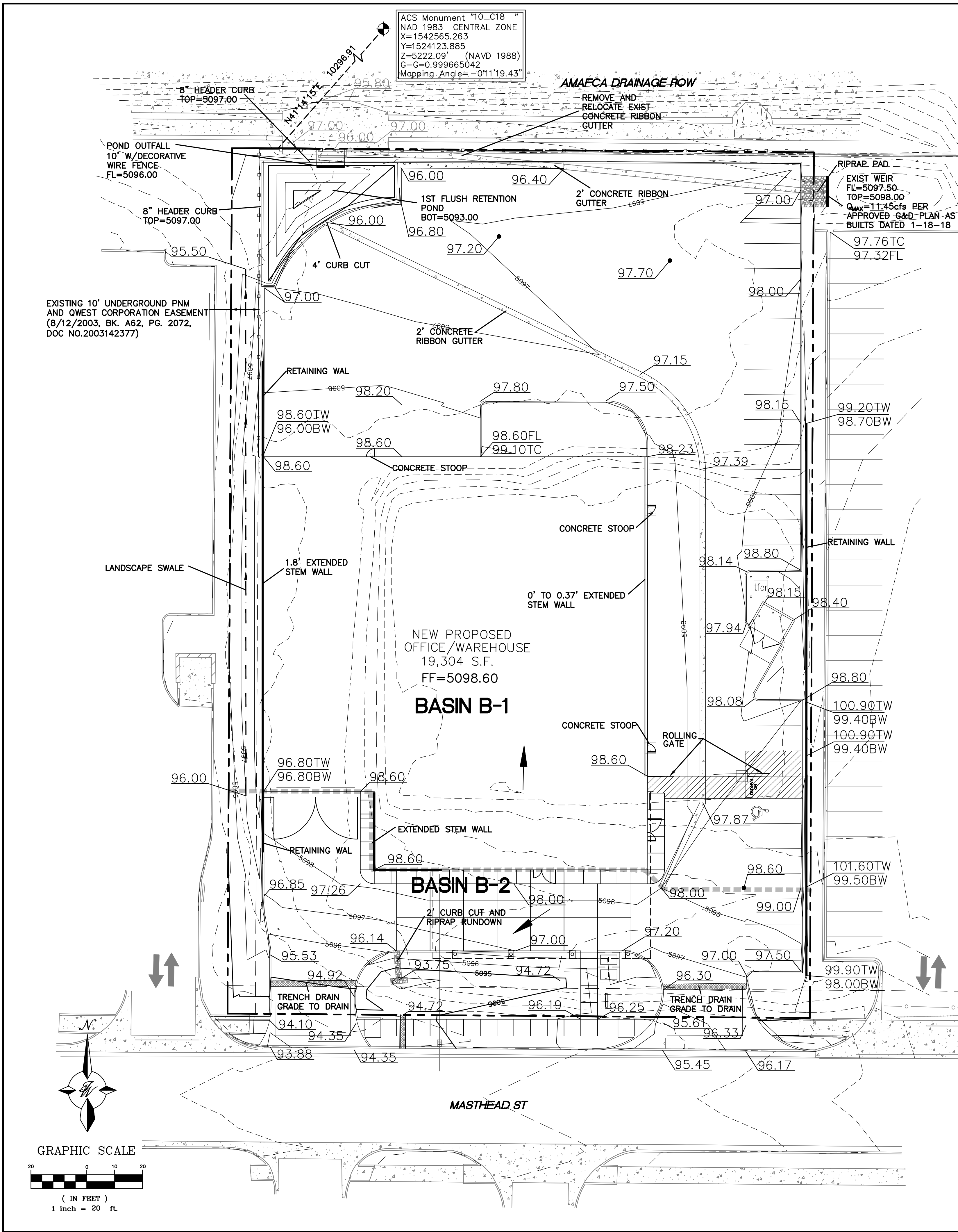
Kind Regards,

Jaimie N. Garcia

Assistant Planner
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
o: 505-858-3100 Ext: 1213
f: 505-858-1118
jgarcia@tierrawestllc.com

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NOTICE TO CONTRACTORS

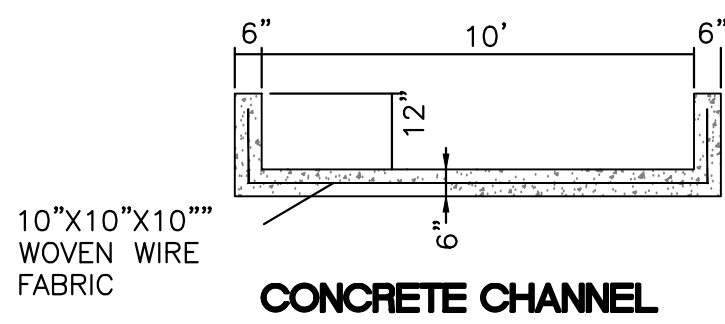
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING GAS LINE
- EXISTING POWER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- RETAINING WALL

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 2" GRAVEL.



Weighted E Method

Zone:

Zone 2

Developed Basins

Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)			
B-1	52,272.0	1.20	0.002	0%	0.00	0%	0.00	15%	0.18	75%	0.90	1.902	0.190	4.46
B-2	12,375.0	0.28	0.000	0%	0.00	0%	0.00	32%	0.09	68%	0.19	1.914	0.045	1.12
Total	64,647.0	1.484	0.00232		0.00		0.000		0.271		1.093		0.236	5.57

FIRST FLUSH VOLUMES:

Provided
(CU.FT.)

Required
(CU.FT.)

NORTH POND 1,428 1,372
SOUTH POND 310 295
TOTAL 1,738 1,667

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

NARRATIVE:

THE SITE IS A VACANT LOT LOCATED WITHIN A PREVIOUSLY APPROVED DRAINAGE PLAN (D17D095).
THE SITE IS ALLOWED TO FREE DISCHARGE TO AN EXISTING RUNDOWN INTO THE AMAFCA NORTH PINO CHANNEL PER THE APPROVED DRAINAGE PLAN.
A SMALL PORTION ON THE SOUTH SIDE OF THE LOT WILL DRAIN TO THE MASTHEAD STREET ROADWAY AND INTO THE EXISTING STORM DRAIN.
THE FIRST FLUSH VOLUMES WILL BE RETAINED FOR BOTH THE NORTH AND SOUTH ONSITE DRAINAGE BASINS.

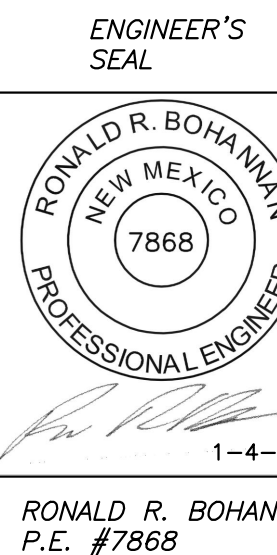
NORTH POND OUTFALL CAPACITY
 $Q = 1.6LH^{3/2}$
 $Q = 1.6(10)(1)^{3/2}$
 $Q = 16cfs \geq Q_{req} = 4.46 + 11.45 = 15.91cfs$

SOUTH POND OUTFALL CAPACITY
 $Q = 1.6LH^{3/2}$
 $Q = 1.6(2)(.5)^{3/2}$
 $Q = 1.13cfs \geq Q_{req} = 1.12cfs$

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOT FOR CONSTRUCTION



3831 MASTHEAD ST
ALBUQUERQUE, NM

CONCEPTUAL GRADING
AND DRAINAGE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK BL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

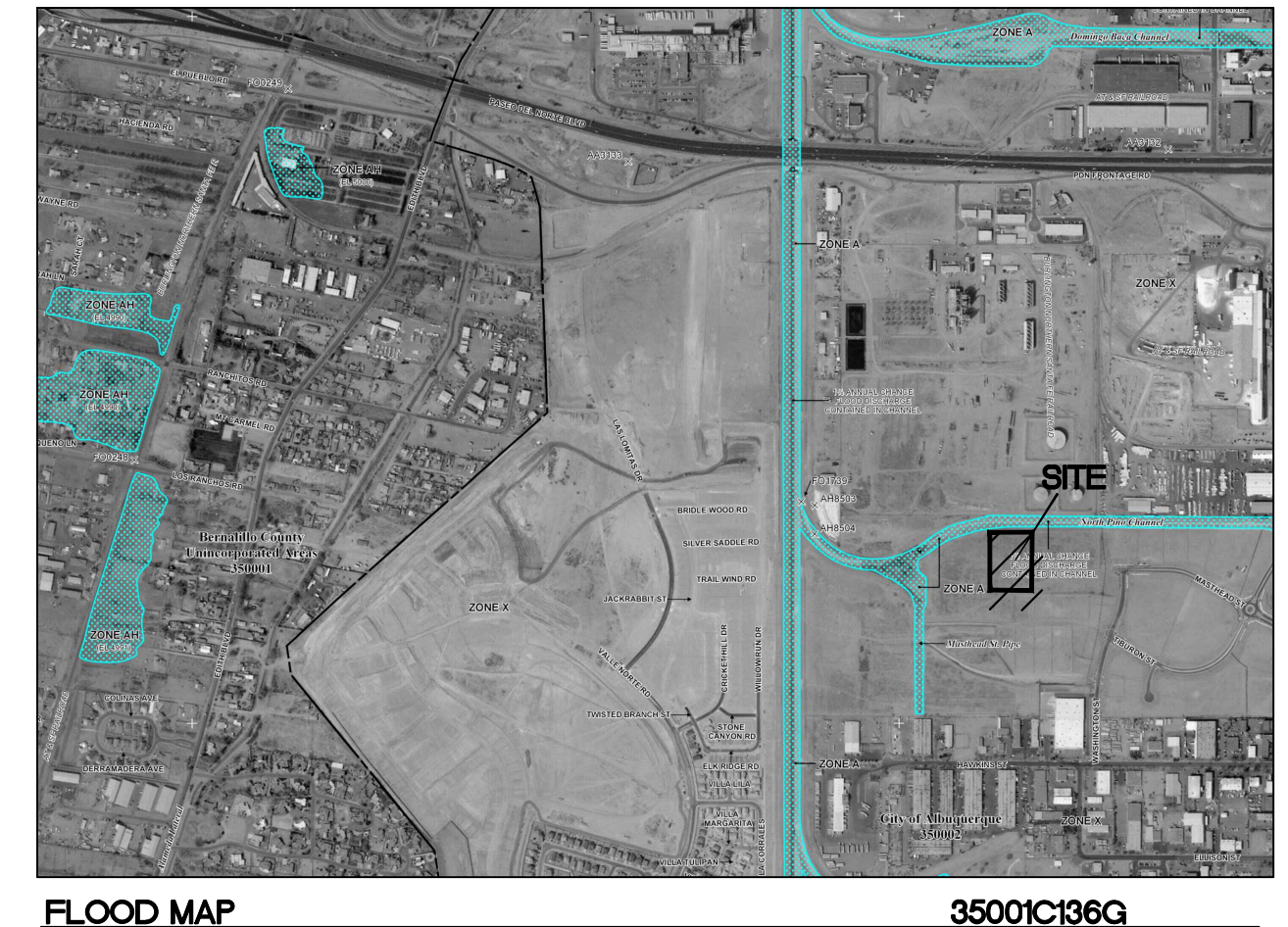
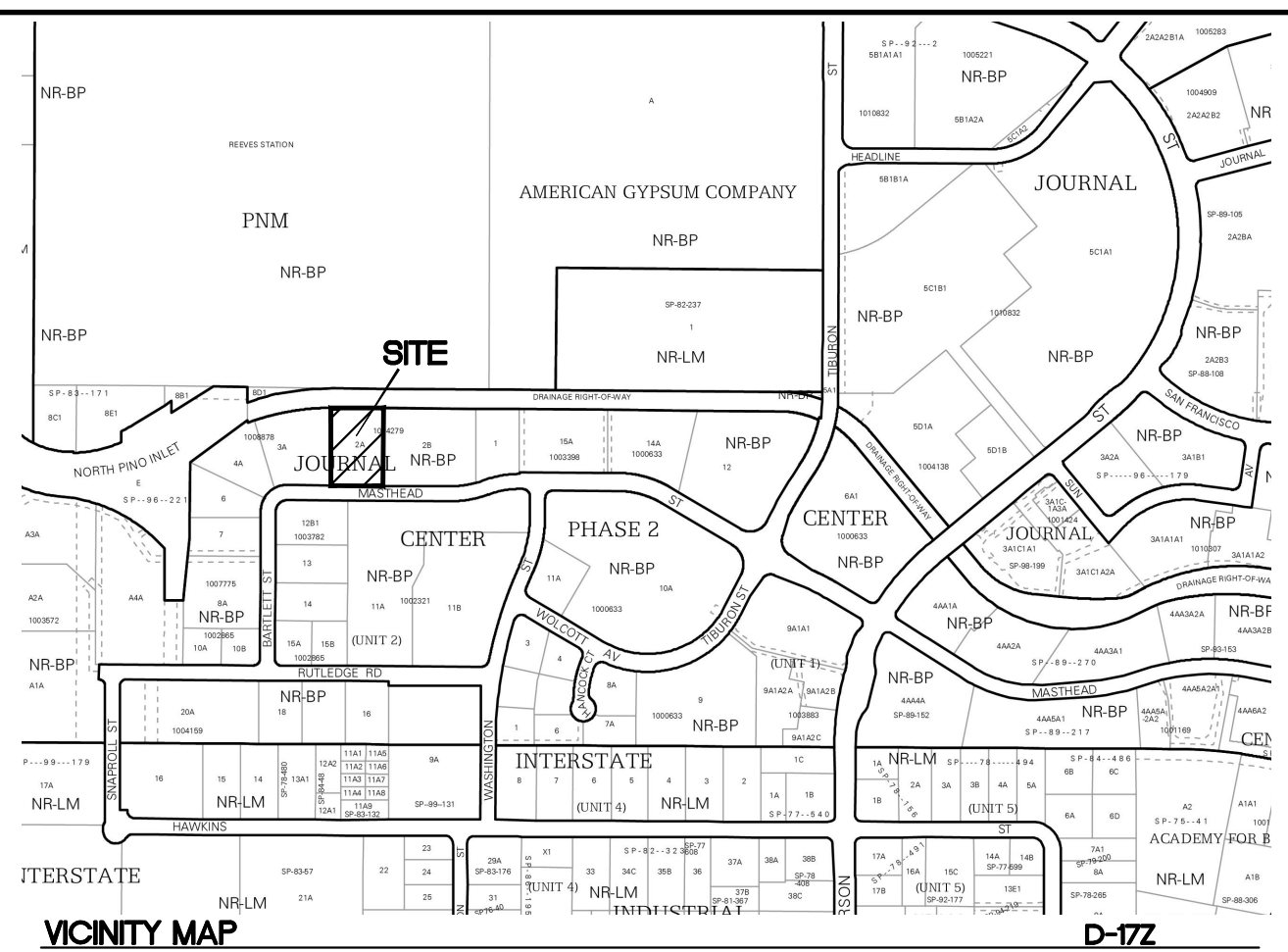
DRAWN BY
pm

DATE
1-4-23

DRAWING

SHEET #
GR-1

JOB #
2022002



LEGAL DESCRIPTION

LOT 2A JOURNAL CENTER PHASE 2, UNIT 2