

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 30, 2023

Tate Fishburn, RA
Tate Fishburn Architect
PO Box 2941
Corrales, NM 87084

Re: New Office/ Warehouse
3831 Masthead St. NE
Traffic Circulation Layout
Architect's Stamp 03-30-23 (D17-D095A)

Dear Mr. Fishburn,

The TCL submittal received 03-17-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

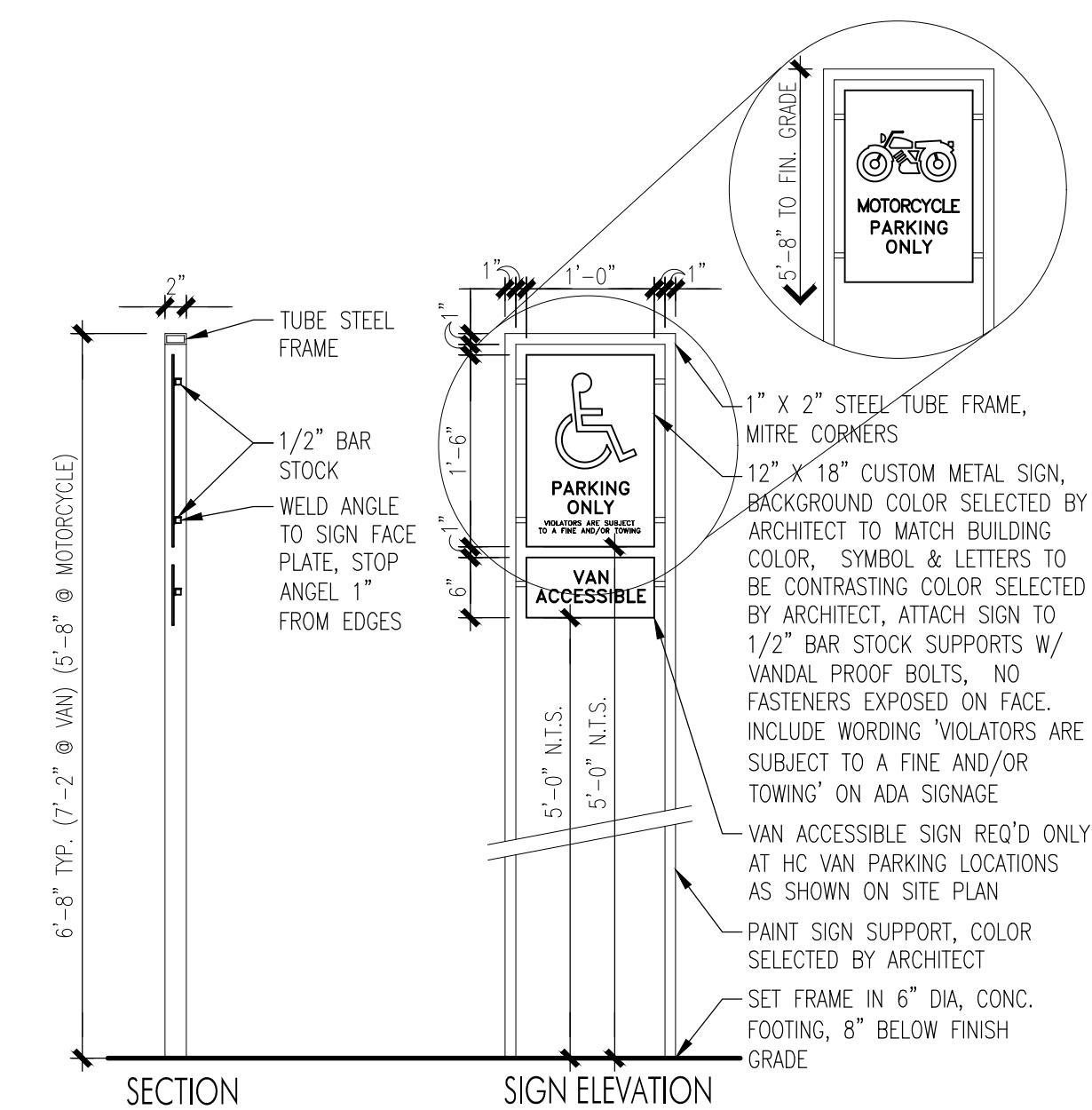
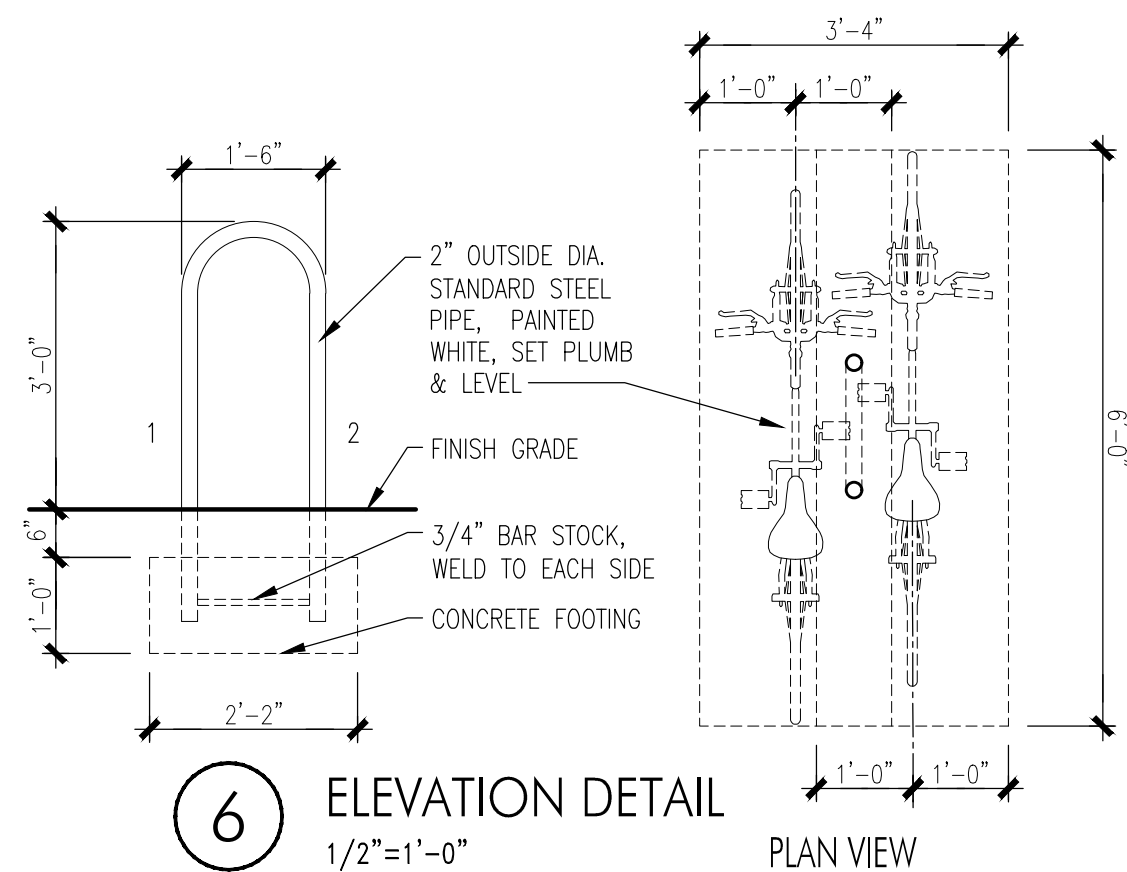
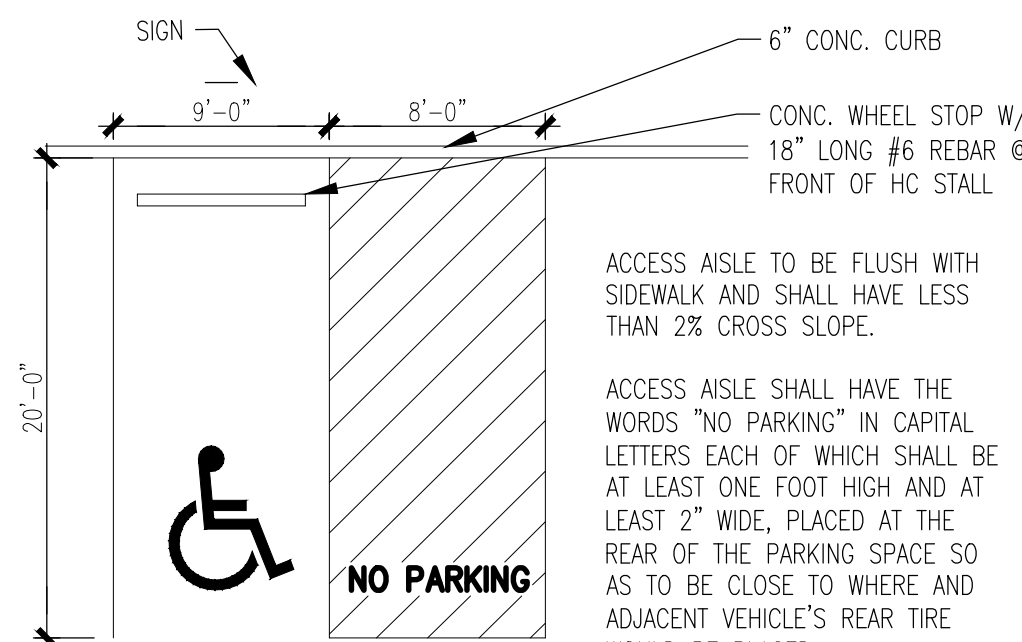
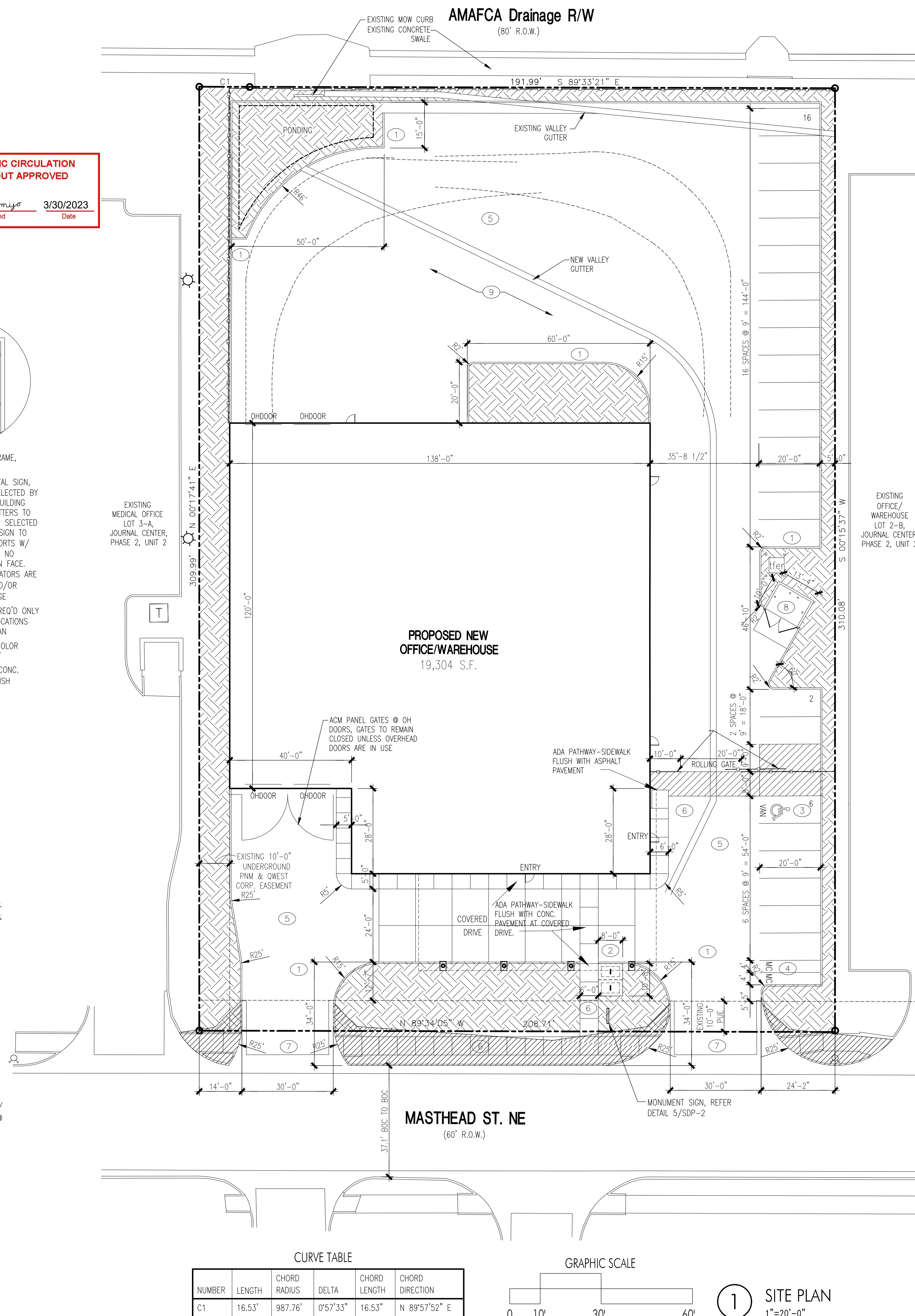
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

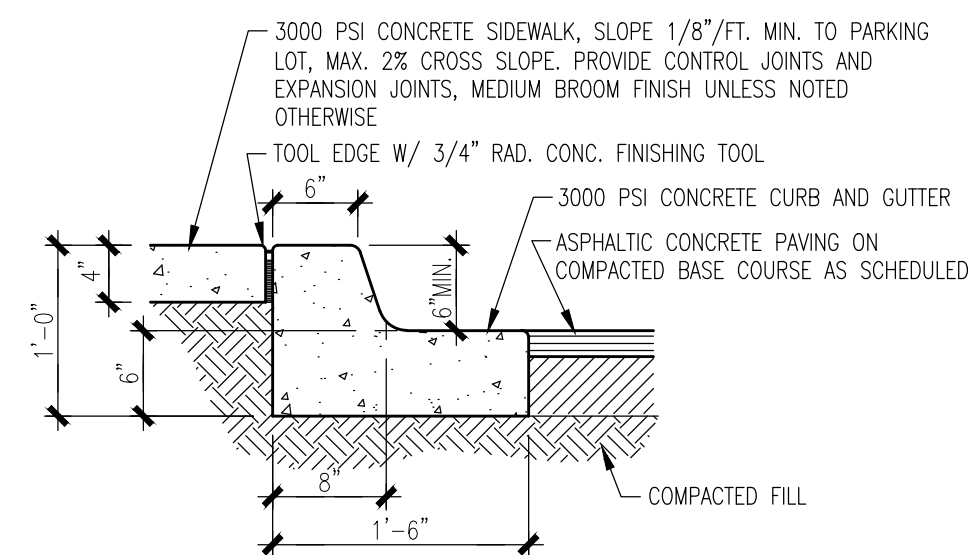
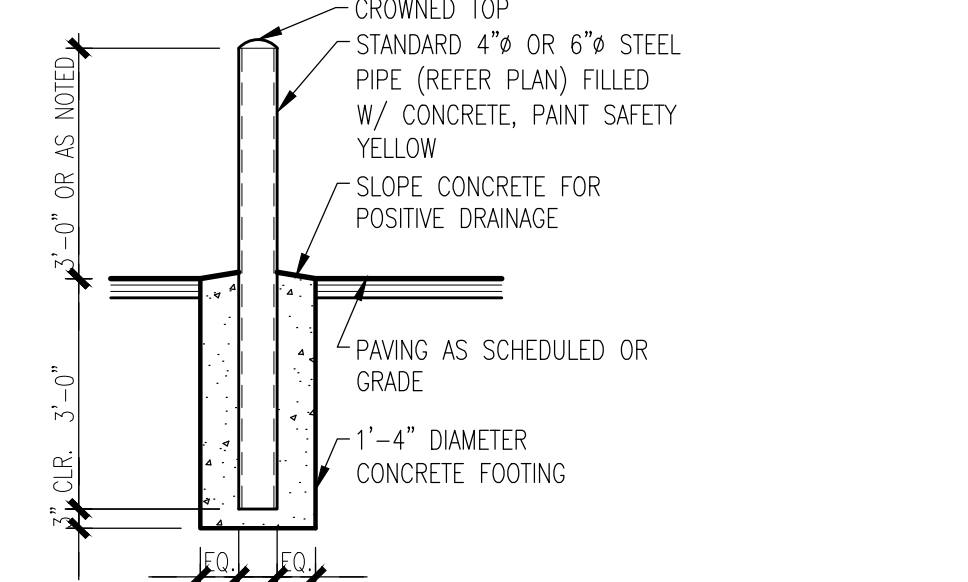
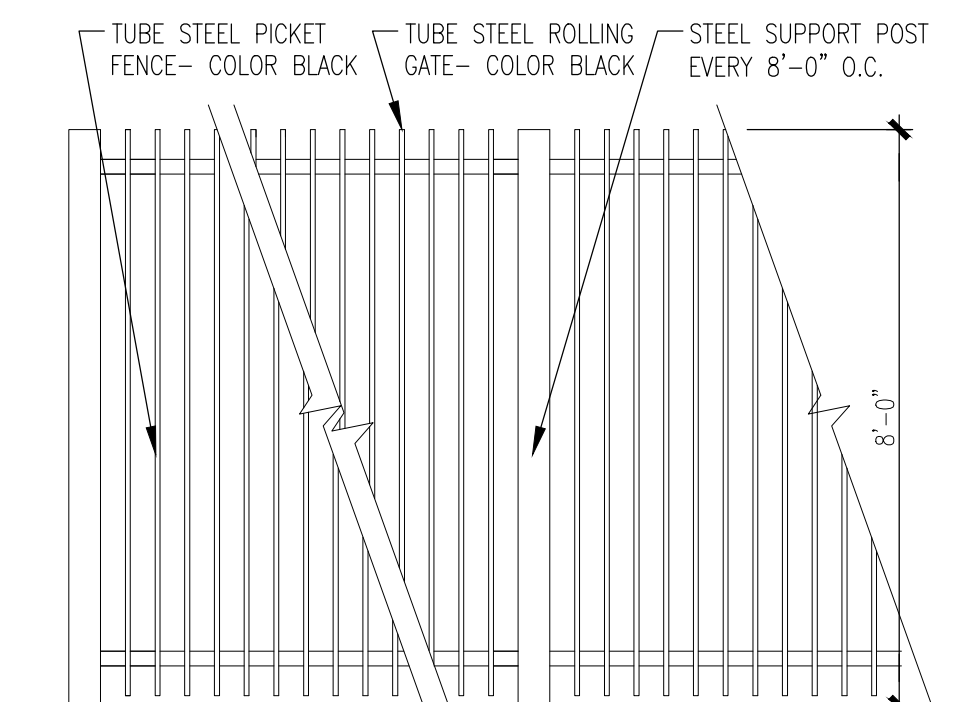
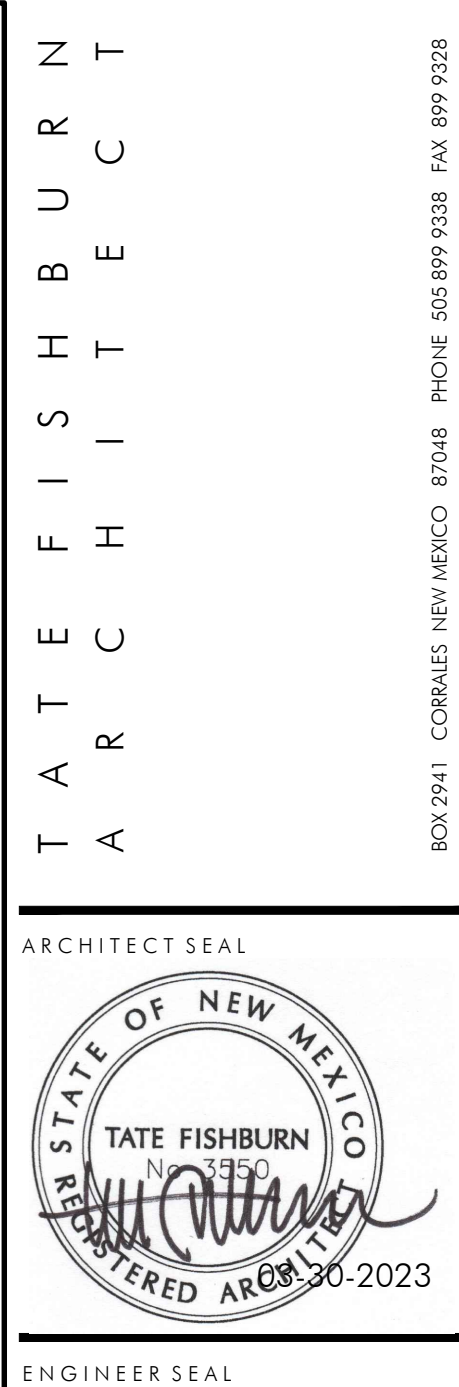
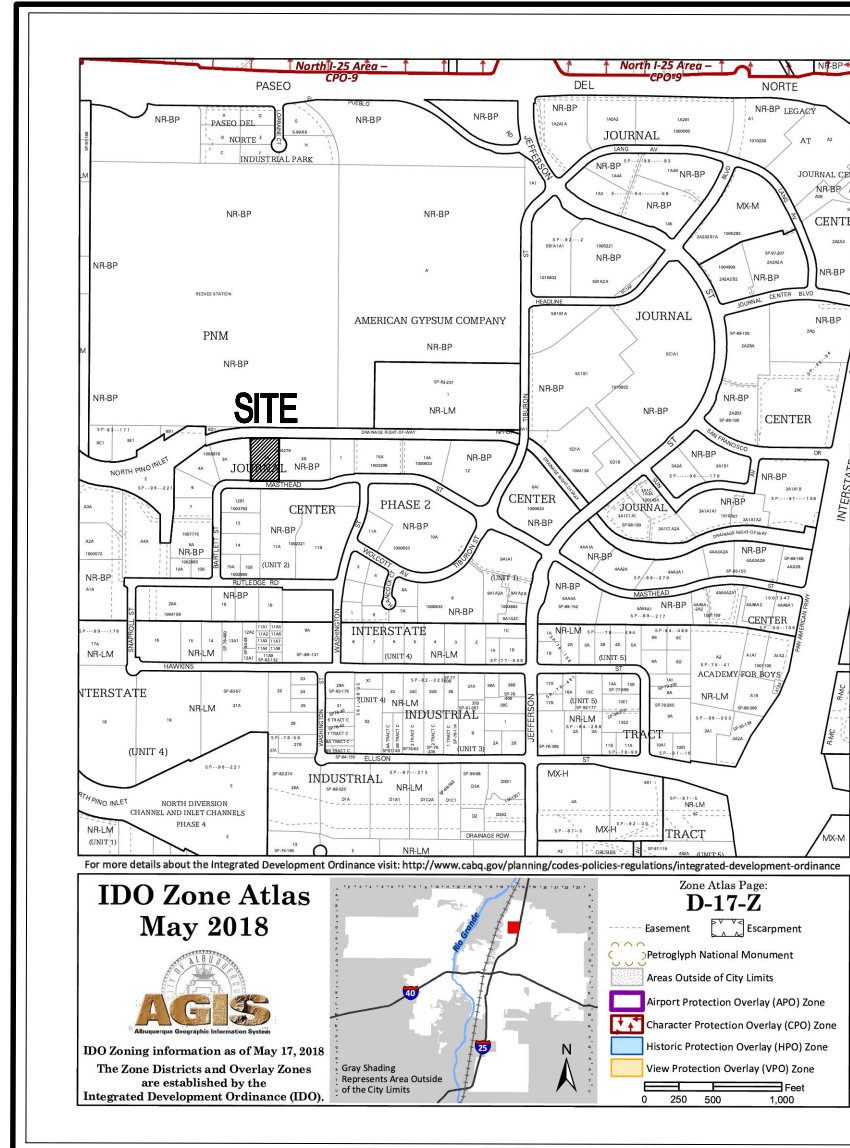
1. WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
2. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 3/30/2023
Signed Date


$$3/4'' = 1' - 0''$$

$$1/2'' = 1' - 0''$$

$$1/8'' = 1' - 0''$$


- ① CONCRETE CURB, REFER DETAIL 4/SDP-1
- ② (4) BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL, REFER DETAIL 6/SDP-1
- ③ HC PARKING, RAMP & SIGN, REFER DETAILS 5&7/SDP-1
- ④ (2) 4'X20' MOTORCYCLE PARKING SPACE, REFER DETAIL 7/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS "MC" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
- ⑤ 2" ASPHALT PAVING OVER 4" BASE COURSE
- ⑥ SIDEWALK & RAMPS PER COA STD DWG 2426
- ⑦ NEW ENTRANCE DRIVE PER COA STD DWG 2426
- ⑧ NEW REFUSE ENCLOSURE, REFER DETAIL 8/SDP-1
- ⑨ EXISTING BLANKET PRIVATE DRAINAGE EASEMENT BENEFITING LOT2- TO BE MAINTAINED BY THE OWNER OF LOT 2-A
- ⑩ BOLLARDS, REFER DETAIL 3/SDP-1


$$1'' = 1' - 0''$$

$$1/2'' = 1' - 0''$$

$$1/2'' = 1' - 0''$$











PROJECT:	NEW OFFICE/WAREHOUSE
LOCATION:	MATTHEAD STREET, NE ALBUQUERQUE, NEW MEXICO
OWNER:	JIM GUTHRIE
ARCHITECT:	TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION:	TRACT 2-A JOURNAL CENTER, PHASE 2, UNIT 2
CURRENT ZONING CLASSIFICATION:	NR-BP
NET SITE AREA:	64,793 SF 1.49 ACRES
BUILDING AREA:	OFFICE 2,744 GSF

FAR:

PARKING ANALYSIS:

OFF-STREET PARKING				
OFFICE	2,744 GSF		3.5:1000 =	10 SPACES
WAREHOUSE	16,560 GSF			NO REQUIREMENT
			REQUIRED	10 SPACES
		TOTAL SPACES	PROVIDED	24 SPACES
HANDICAP PARKING	(1-25 PRVD)	=	REQUIRED	1 SPACE TOTAL (VAN)
			PROVIDED	1 SPACE TOTAL (VAN)
MOTORCYCLE PARKING	(1-25 PRVD)	=	REQUIRED	1 SPACE
			PROVIDED	2 SPACE
BICYCLE PARKING	(10% ROD PARKING SPACES)	=	REQUIRED	3 SPACES
			PROVIDED	4 SPACES

LEGEND

	PROPERTY LINE
	EASEMENT LINE
	LANDSCAPED AREA
	PONDING AREA
	SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(0)(5)(iii) and 7-4(0)(5)(iv). LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE
	HANDICAP PARKING PAVEMENT MARKING
	EXISTING FIRE HYDRANT
	25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS
	8' TALL PAINTED TUBE STEEL PICKET FENCING REFER DETAIL 2/SDP-1

GENERAL NOTES

1. THIS SITE PLAN MEETS THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN. THE IDO WILL APPLY TO ANY REQUIREMENTS NOT SPECIFIED IN THE JOURNAL CENTER MASTER PLAN.
2. ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
3. PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
4. ALL LIGHT FIXTURES SHALL BE FULLY SHEilded HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
5. ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW. MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
6. SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2426.

DATE MARCH 30, 2023

NORTH

SCALE

1"=20'-0"

OR AS NOTED

DRAWING NAME

TRAFFIC
CIRCULATION
LAYOUT

SHEET NUMBER

TCL-1

NEW OFFICE/WAREHOUSE
3831 MASTHEAD STREET, NE
ALBUQUERQUE, NEW MEXICO