

SPECIFICATIONS

CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WMM OR EQ.. SLOPE TO DRAIN 1/8" PER FOOT.

APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WMM OR EQ. 12'X8'X6' WITH 1/2" EXPANSION JOINT

FOOTING: AS REQUIRED PER DESIGN

BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

PROJECT NUMBER: 1002865

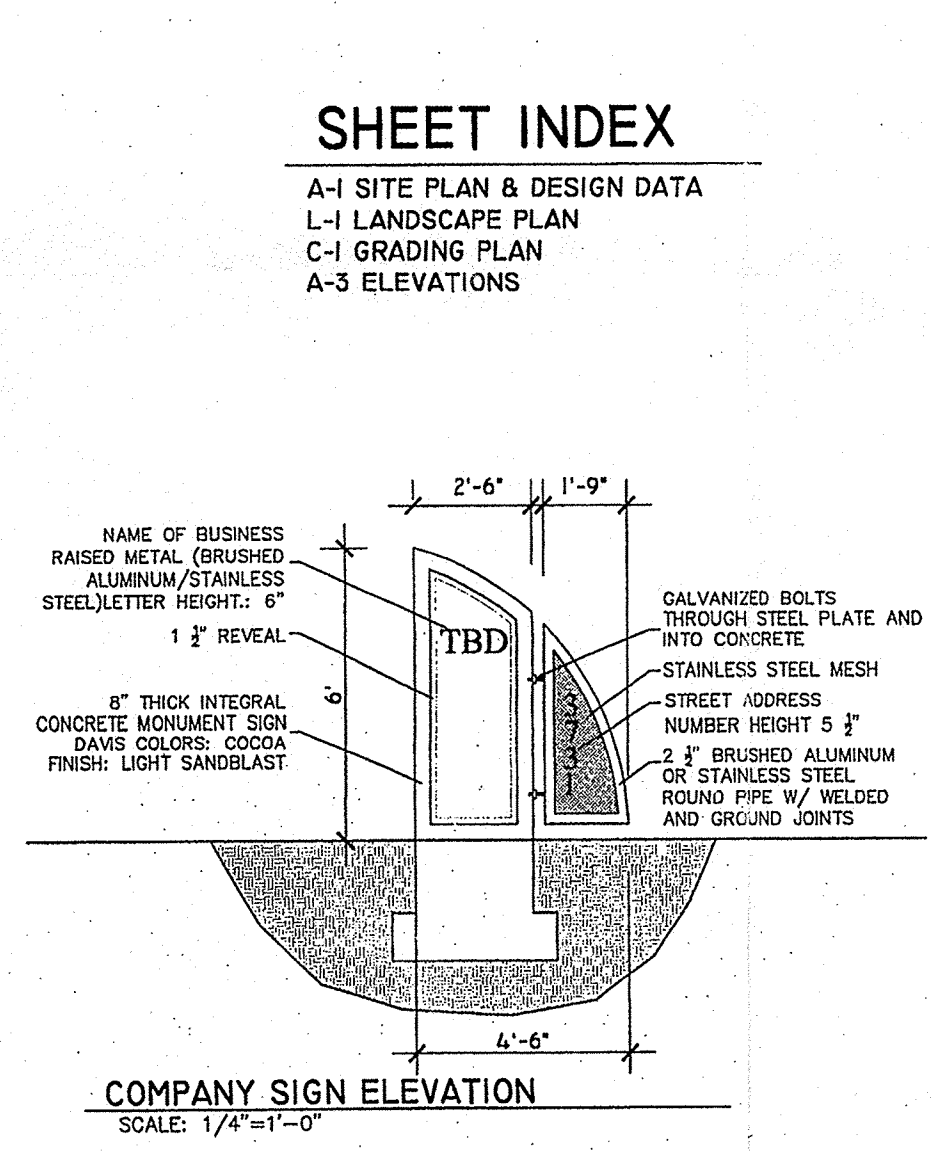
Application Number: 05DRB-00712

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeffrey S. Green</i> Engineering, Transportation Division Utilities Department City Engineer	6-2-05 5/11/05 5/11/05 5/11/05
<i>Christine Sandoval</i> Parks and Recreation Department City Engineer	5/11/05 5/11/05
<i>Michael Holton</i> Solid Waste Management City Engineer	5-25-05 6/15/05
<i>DRB Chairperson, Planning Department</i>	

This Plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, Z-79-80-2) and the IP zone.
*Environmental Health, if necessary



BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT 10A
3731 RUTLEDGE RD
ALBUQUERQUE, NM 87109

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998

II. BUILDING FLOOR AREA

OFFICE B	3325 SF
WAREHOUSE S-1	4164 SF
TOTAL BUILDING AREA	7489 SF

III. OCCUPANCY GROUP (IBC CHAPTER 3)
OFFICE B
WAREHOUSE S1

IV. EXTERIOR WALLS AND OPENINGS
IBC TABLE 602

V. BUILDING HEIGHT
BUILDING 1 - ONE STORY 24'-0"

VI. TYPE OF CONSTRUCTION
IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE-TYPE V-B

VII. BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,000 S.F.
WAREHOUSE-S1-9,000 S.F.
MIXED USE OCCUPANCY W/ NON SEPARATED USE PROVISION UTILIZING THE PROVISION UNDER THE S1 OCCUPANCY

VIII. FIRE RESISTIVE REQUIREMENTS
IBC TABLE 601: TYPE V-B

IX. OCCUPANT LOAD
OFFICE: 3,325 S.F. / 100 = 33
OFFICE: 4,164 S.F. / 500 = 8

X. EXIT REQUIREMENTS
NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50 = 1 EXIT REQ. 2 PROVIDED

XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1
OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ. 2 W.C. PROVIDED
OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ. 2 LAVATORY PROVIDED
WAREHOUSE: 1 PER 100 REQ. 1 W.C. & 1 LAVATORY PROVIDED

XII. SEISMIC ZONE: 2B, CATEGORY II BLDG.

XIII. WIND SPEED: 75 MPH

XIV. EXPOSURE: C

XV. SOIL BEARING CAP. 1500 PSF

XVI. ROOF LOAD(TOTAL) 40 PSF

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	3220 SF
2300 / 200 = 12	
NET WAREHOUSE:	3975 SF
3975 / 2000 = 2	
= 2 REQUIRED PARKING SPACES	

PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	14 CARS
TOTAL ON SITE PARKING PROVIDED	15 CARS
TOTAL REQUIRED PARKING:	14 CARS

NOTES:

- SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- SIGN SHALL BE SET DIRECTLY FACING THE OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
- SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
- EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL, HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
- 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.

NORTH

HLB
HAROLD L. BENNETT
P.E.

SCALE: 1"=10'-0"

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

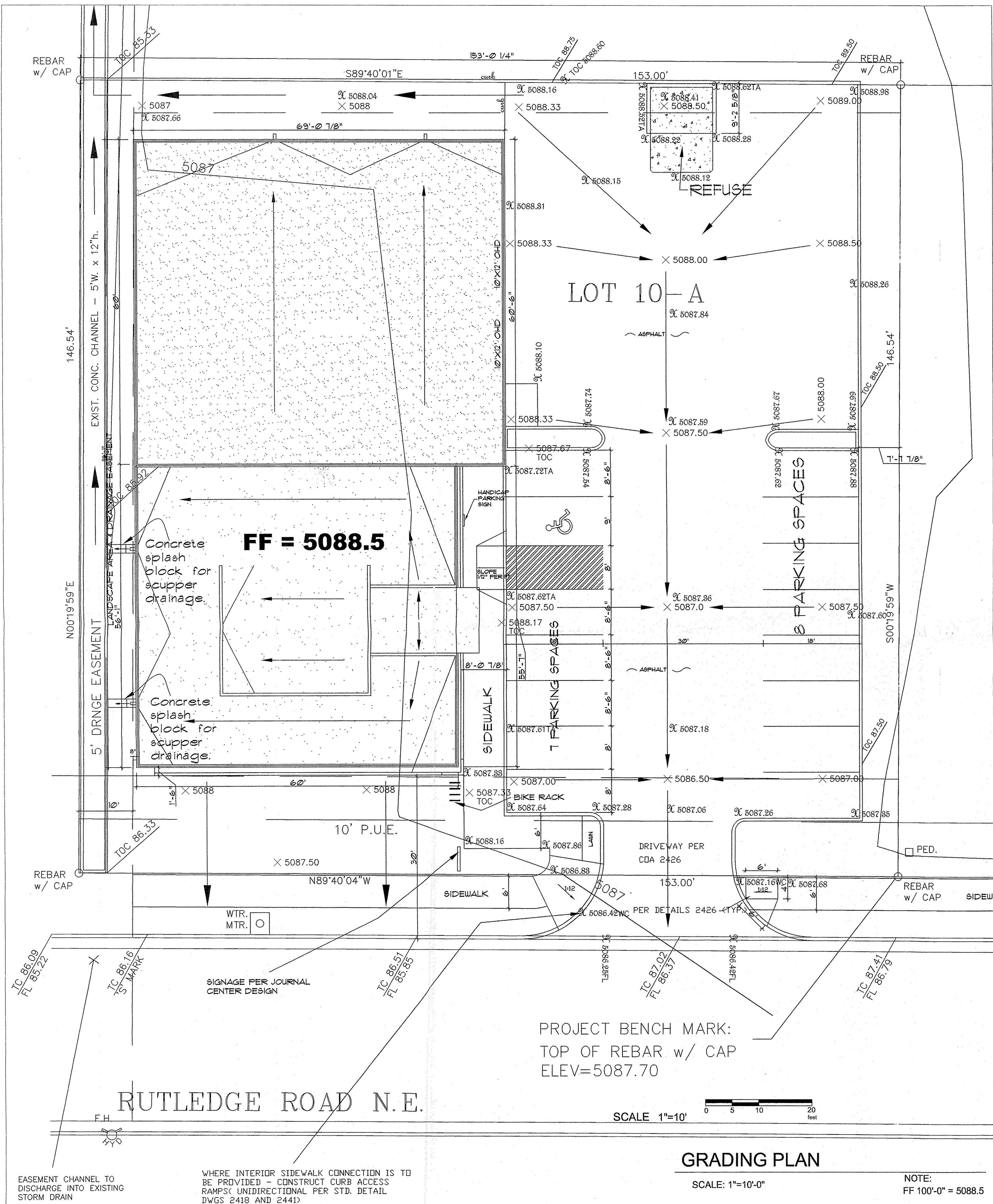
JOB TITLE:
JOURNAL CENTER LOT 10A

REVISION:	FILE NAME	JOB NO.	DATE
05-10-05			04-18-05

SHEET TITLE:
SITE PLAN FOR BLDG. PERMIT

DRAWN BY:
RI

A-1



GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:

- VICINITY MAP
- DRAINAGE CALCULATIONS

JOURNAL CENTER LOT 10-A

BUILDING AREA = 0.1755 ACRES (7,646.310SF)
LANDSCAPE AREA = 0.098 ACRES (4,280SF)
PARKING/ASPHALT AREA = 0.272 ACRES (11,869SF)
TOTAL SITE = 0.5137 ACRES (22,380SF)

PRECIPITATION: 360 = 2.35 IN.
1440 = 2.75 IN.
10DA = 3.95 IN.

EXISTING CONDITIONS:

TREATMENT A 0.5137 AC.
TREATMENT B 0 AC.
TREATMENT C 0 AC.
TREATMENT D 0 AC.

PROPOSED CONDITIONS:

0 AC.
0.178 AC.
0 AC.
0.422 AC.

EXCESS PRECIPITATION:

TREATMENT A 0.53 IN.
TREATMENT B 0.78 IN.
TREATMENT C 1.13 IN.
TREATMENT D 2.12 IN.

PEAK DISCHARGE:

CFS/AC. 1.56
CFS/AC. 2.28
CFS/AC. 3.14
CFS/AC. 4.07

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.53 X 0) + (0.78 X 1.78) + (1.13 X 0) + (2.12 X 4.22) = 1.034 IN.
V100 = 1.04(0.612) = 0.612 AC.FT.

EXISTING DISCHARGE:

WEIGHTED E = 0.6(0.53) = 0.4 CFS
V100 = 4(0.612) = 0.05 AC.FT.

PROPOSED PEAK DISCHARGE

Q100 = 0.178(2.28) + 0 + 4.22(4.7) = 2.39 CFS

BENCHMARK:

PROJECT BENCHMARK OF 87.70 LOCATED ON CURB @ SOUTHEAST CORNER OF PROPERTY

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN

A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.

B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

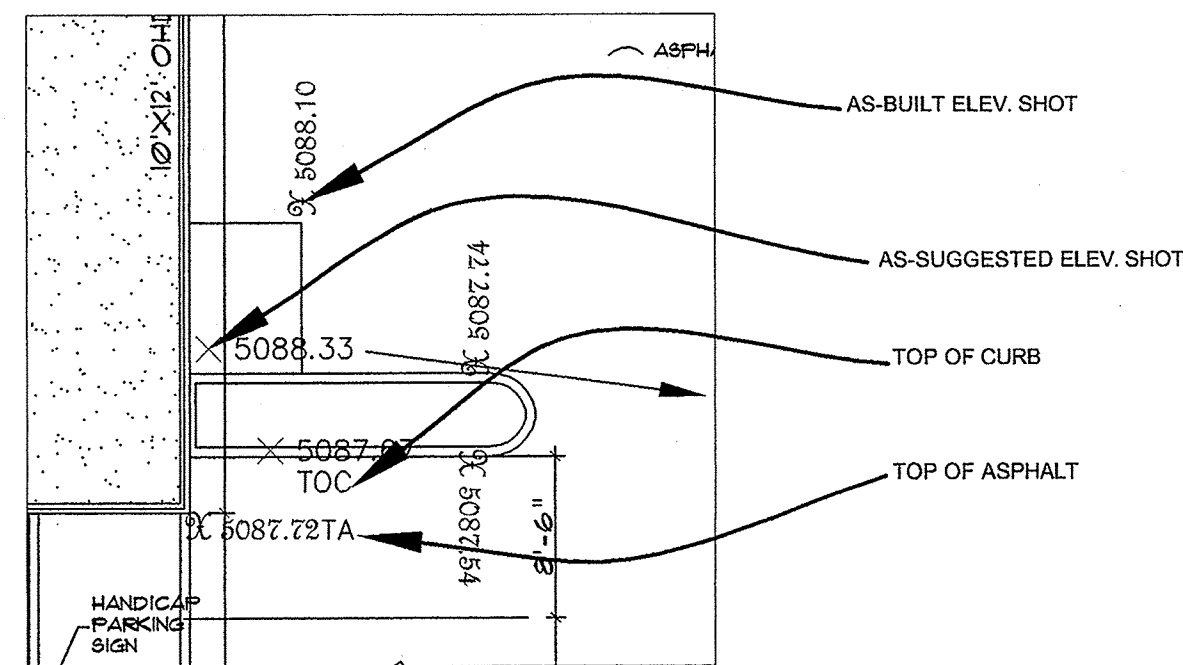
EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.51 ACRES AND IS LOCATED WEST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

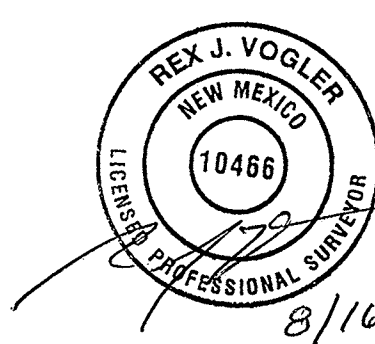
PROPOSED CONDITIONS

43.13% OF PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. AND INTO CITY STORM DRAIN JUST WEST OF PROPERTY LINE ON NORTH SIDE OF RUTLEDGE RD. 56.87% OF PROJECT TO DRAIN INTO EXISTING CONCRETE CHANNEL, WHICH DISCHARGES NORTH, PER DESIGN AND DRAWINGS FROM BOHANNAN HUSTON. PLEASE SEE INSPECTION BY BILL VREEKE AT BOHANNAN HUSTON FOR CLARIFICATION.

NO OFFSITE FLOWS



As Built Elevations by:



DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12-28-01

DRAINAGE CERTIFICATION

I, Harold L. Bennett, NMPE 10770, OF THE FIRM HLB, HEREBY CERTIFY THAT THIS PROJECT HAS BEE GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-19-06. THE RECO INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Ree Vreeke, NMPS 10-966, OF THE FIRM HLB. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-14-07, REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanet Seal.

ANY EXCEPTIONS AND/OR QUALIFICATIONS AS LISTED BELOW:

N/A

ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS AS LISTED BELOW:

N/A

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

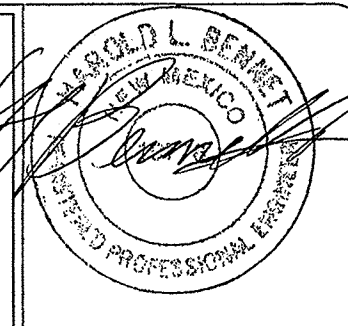
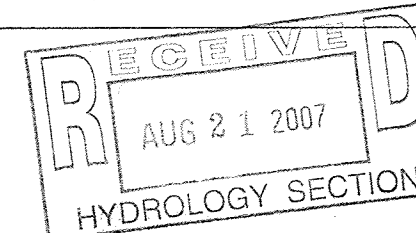
Harold L. Bennett
NMPE
8-15-07

DATE

APPROVED BY THE EXECUTIVE COMMITTEE ON 4-9-02



DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS



JOB TITLE:	JOURNAL CENTER LOT 10A
REVISION:	8/14/07
FILE NAME:	C-1
JOB NO.:	04-18-05
DATE:	8-14-07
SHEET TITLE:	GRADING PLAN
DRAWN BY:	RI

