

- GENERAL NOTES**
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
 - ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE. AT THE TIME OF CONSTRUCTION, THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREON, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 - THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/ DRAINAGE PLAN

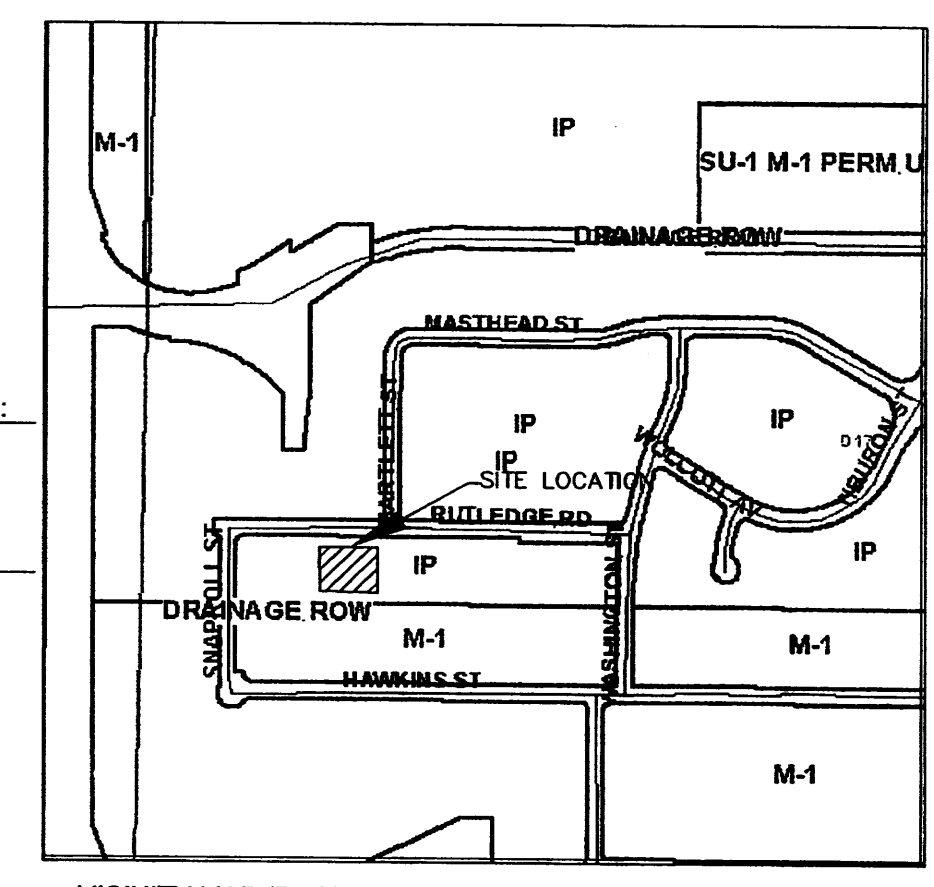
THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:

- VICINITY MAP
- DRAINAGE CALCULATIONS

JOURNAL CENTER LOT 10-B

BUILDING AREA = 0.1384 ACRES (6,029.34 SF)
 LANDSCAPE AREA = 0.1119 ACRES (4,877.192 SF)
 PAVING/ASPHALT AREA = 0.2835 ACRES (12,474.703 SF)

TOTAL SITE = 0.5146 ACRES (22,417 SF)
 PRECIPITATION: 360 = 2.35 IN.
 1440 = 2.75 IN.
 1000 = 3.95 IN.



EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0.5146 AC.	0 AC.
TREATMENT B 0 AC.	0.12 AC.
TREATMENT C 0 AC.	0 AC.
TREATMENT D 0 AC.	0.394 AC.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 IN.	CFS/AC. 1.56
TREATMENT B 0.78 IN.	CFS/AC. 2.28
TREATMENT C 1.13 IN.	CFS/AC. 3.14
TREATMENT D 2.12 IN.	CFS/AC. 4.07

EXISTING EXCESS PRECIPITATION:
 WEIGHTED E = (0.53 X 0) + (0.78 X 178) + (1.13 X 0) + (2.12 X 408) = 1466.183 IN.
 V100 = 1.04 (89.15) = 93.17 AC.FT.

EXISTING DISCHARGE:
 WEIGHTED E = 0.40 (0.53) = 0.4 CFS
 V100 = 40 (0.4) = 16 AC.FT.

PROPOSED PEAK DISCHARGE
 Q100 = 0.178(2.28) + 0 + 4.22(4.7) = 2.39 CFS

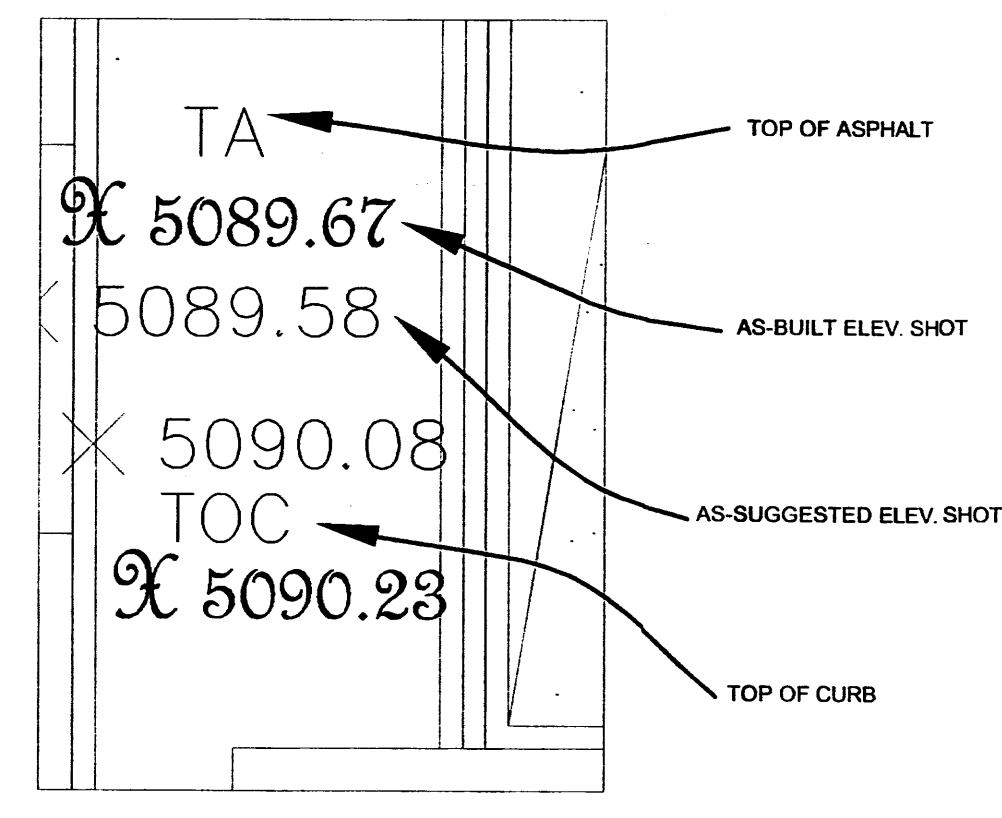
BENCHMARK:
 PROJECT BENCHMARK OF 87.70 LOCATED ON CURB @ SOUTHWEST CORNER OF PROPERTY

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS
 AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.51 ACRES AND IS LOCATED WEST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS
 50.5% OF PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED WEST OF SUBJECT PROPERTY ON NORTH SIDE OF RUTLEDGE RD. 49.5 % OF PROJECT TO DRAIN EAST TO BARTLETT ST. AND THEN TO DRAIN NORTH TO CITY STORM DRAIN ON WEST SIDE OF BARTLETT STREET.
 NO OFFSITE FLOWS



DRAINAGE CERTIFICATION

I, Harold L. Bennett PE 10776, OF THE FIRM CJT & LEM, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-19-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ N.M.P.S. OF THE FIRM _____.

VISITED THE PROJECT SITE ON _____ REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR _____.

ANY EXCEPTIONS AND/OR QUALIFICATIONS AS LISTED BELOW: _____

ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS AS LISTED BELOW: _____

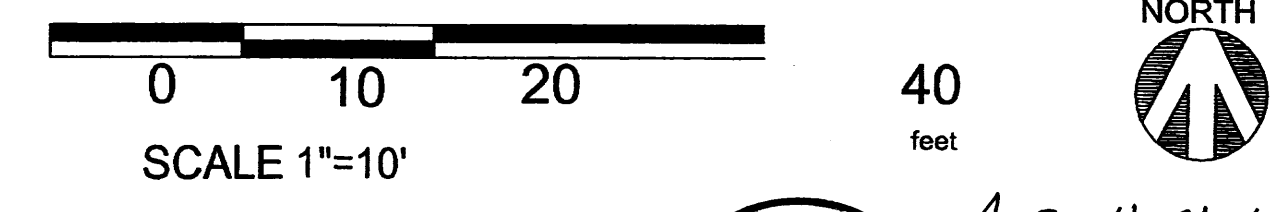
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Harold L. Bennett PE 10776
 N.M.P.S. (SEAL)

DATE 10-3-07
 APPROVED BY THE EXECUTIVE COMMITTEE ON 4-9-02

PROJECT BENCH MARK:
 TOP OF REBAR w/ CAP
 ELEV=5087.70

WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED -
 CONSTRUCT CURB ACCESS RAMPS UNIDIRECTIONAL PER STD. DETAIL
 DWGS 2418 AND 2441



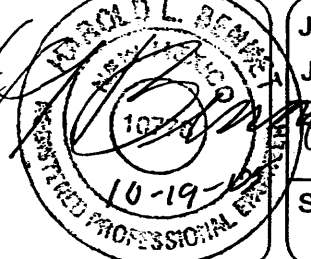
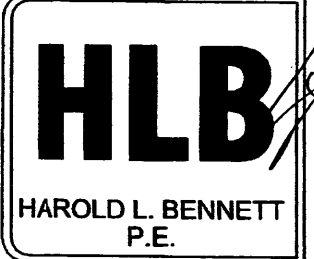
RUTLEDGE ROAD N.E.

GRADING PLAN
 SCALE: 1"=10'-0"

NOTE:
 FF 100'-0" = 5090.5



As-Built Elev's by
[Signature]
 10/05/07

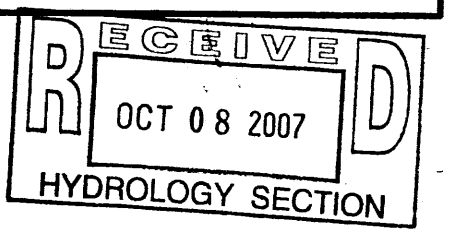
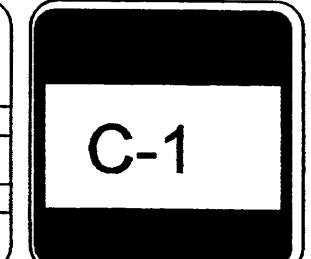


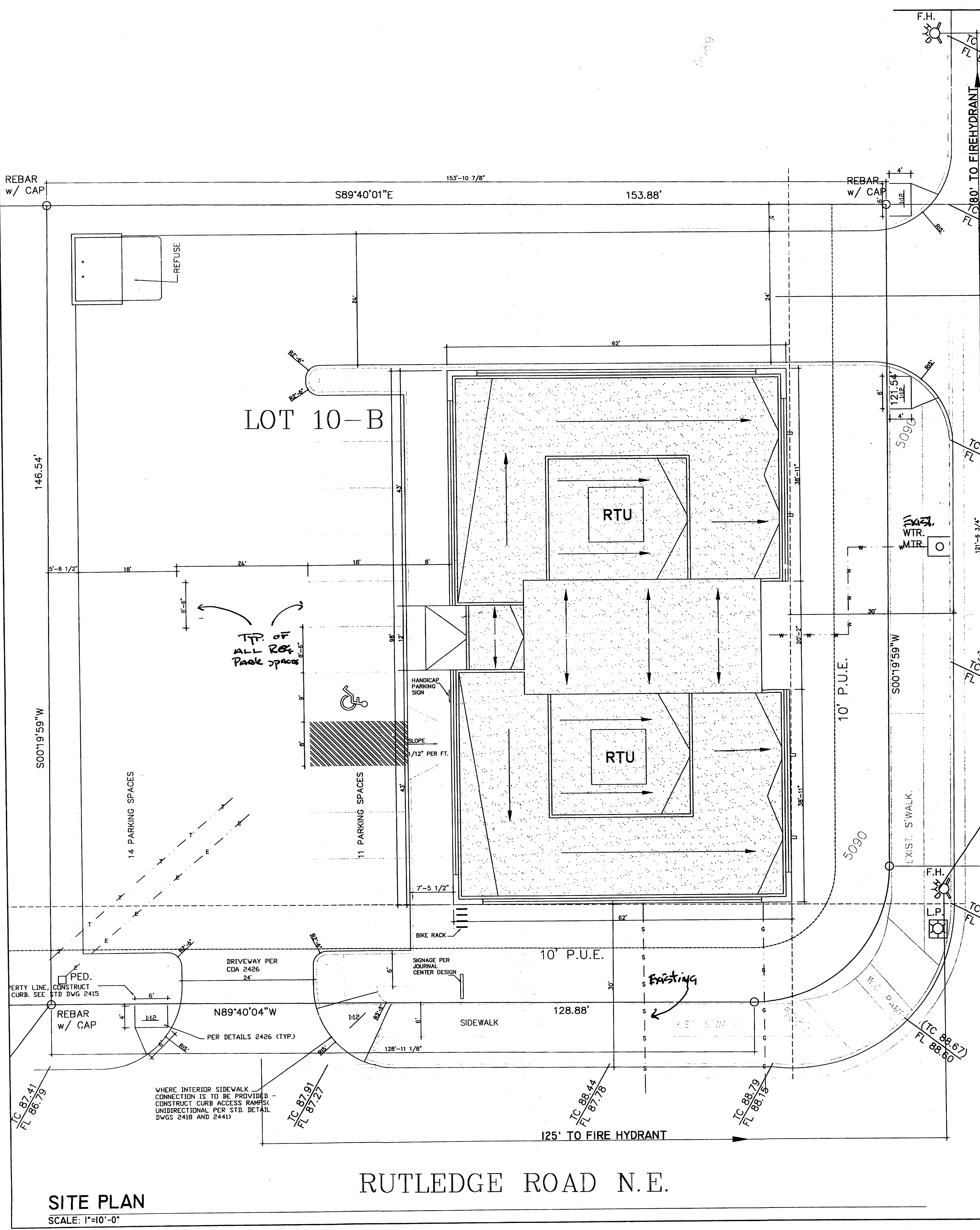
JOB TITLE: JOURNAL CENTER LOT 10-B

REVISION:	FILE NAME	JOB NO.	DATE
09/19/07	C-1		04-18-05

SHEET TITLE: GRADING PLAN

DRAWN BY: RI





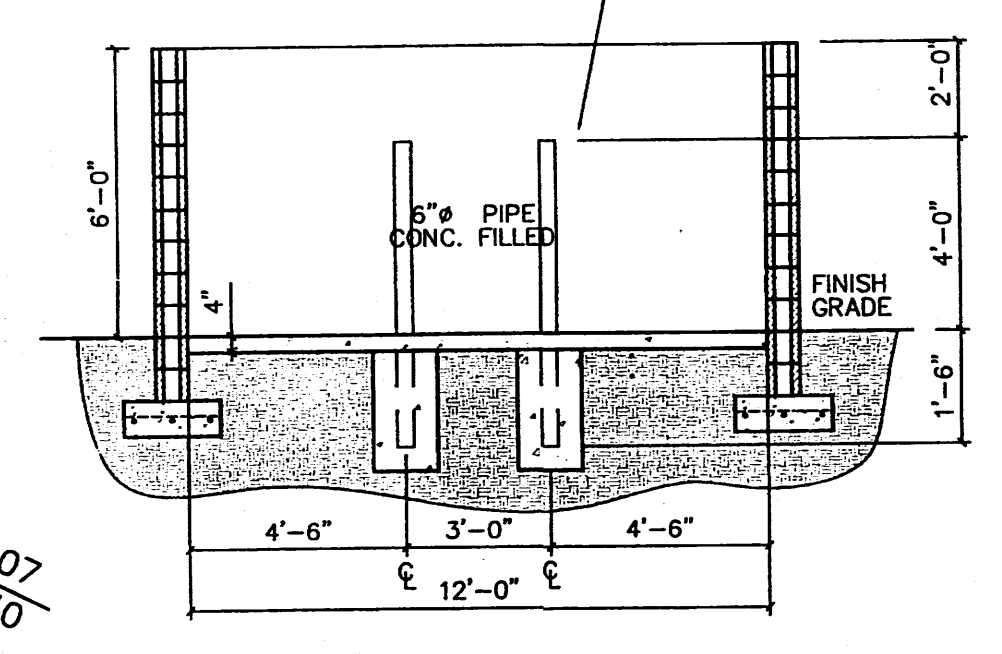
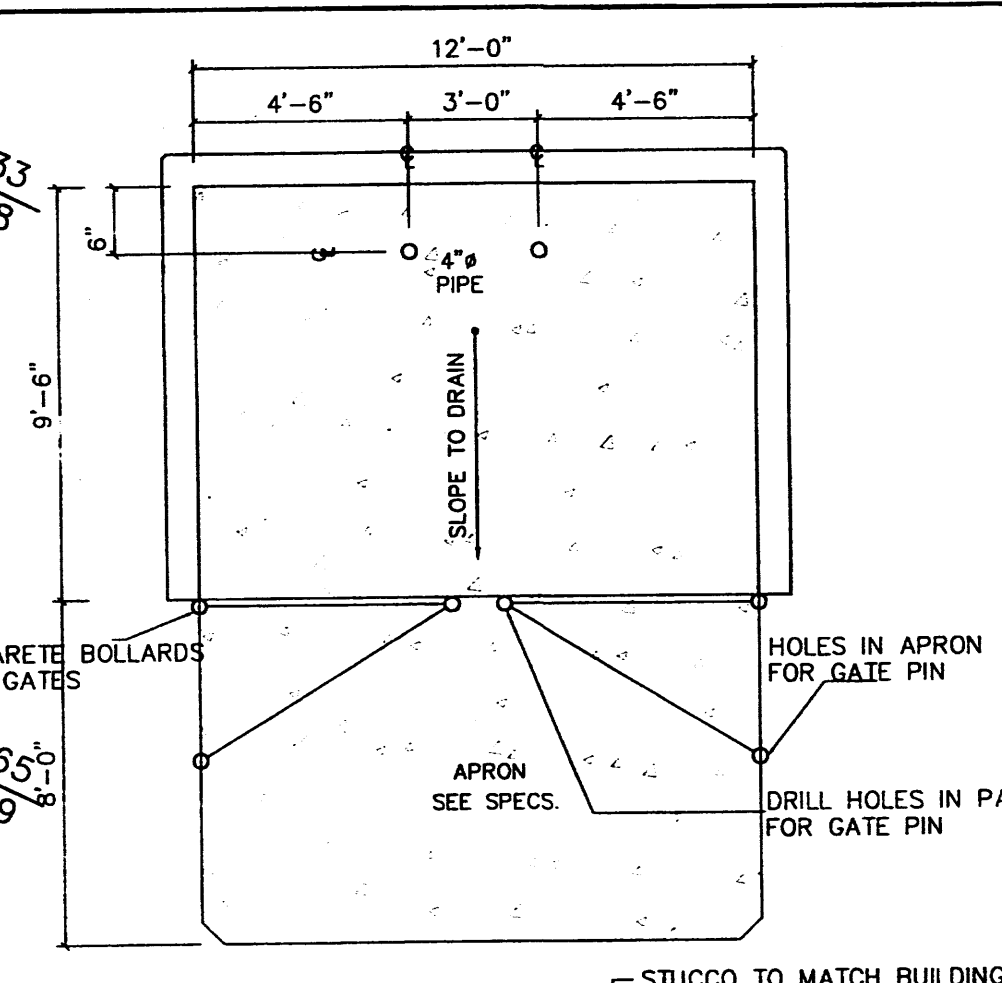
SITE PLAN
SCALE: 1"=10'-0"

RUTLEDGE ROAD N.E.

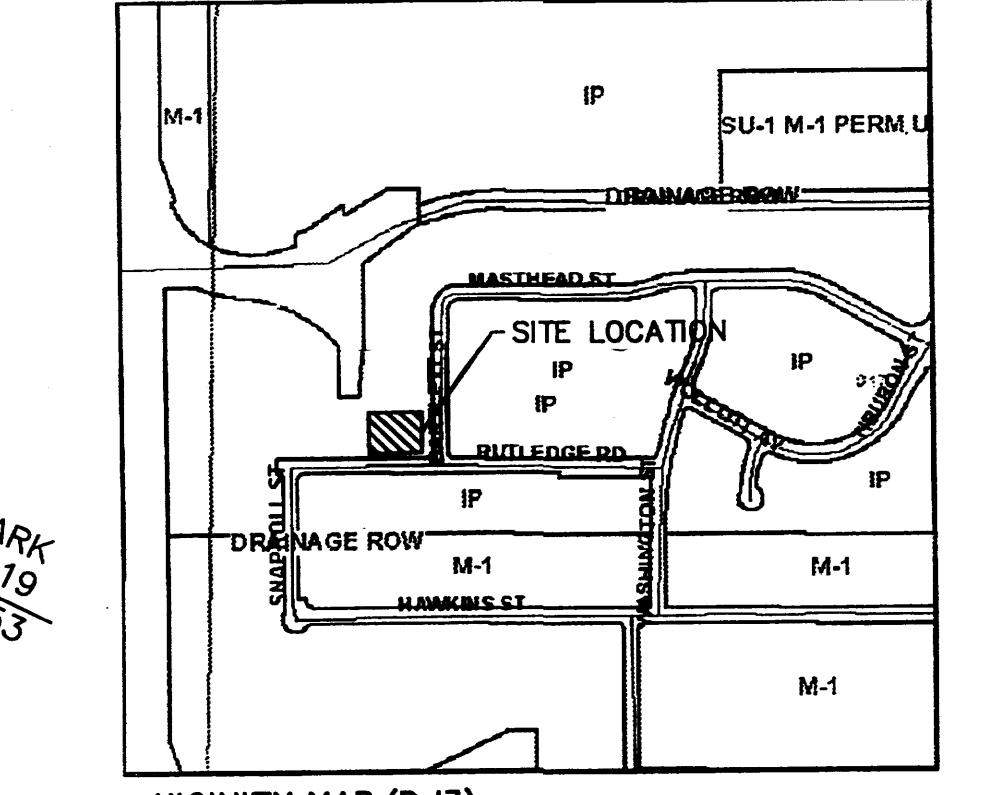
BARTLETT ST. N.E.

SPECIFICATIONS

- CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.
- APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ. 12'X8'X6" WITH 1/2" EXPANSION JOINT
- FOOTING: AS REQUIRED PER DESIGN
- BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

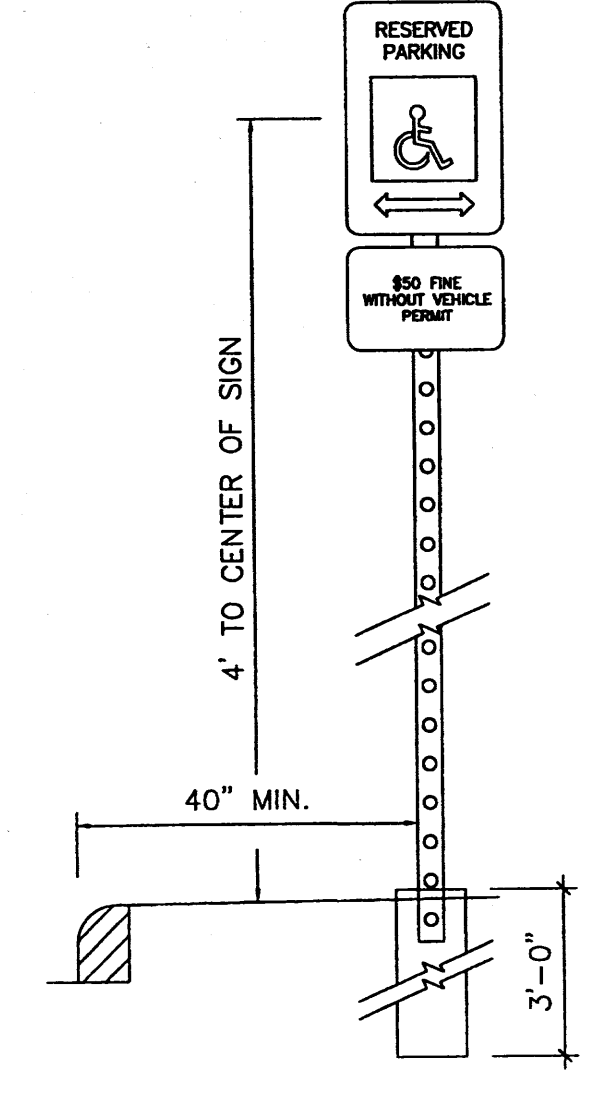


REFUSE DETAILS
NOT TO SCALE



VICINITY MAP (D-17)
NOT TO SCALE

PROJECT BENCH MARK:
WEST BONNET BOLT
ON FIRE HYDRANT
ELEV=5092.07



PROJECT NUMBER: 1002865
Application Number: 05DRB-00711

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

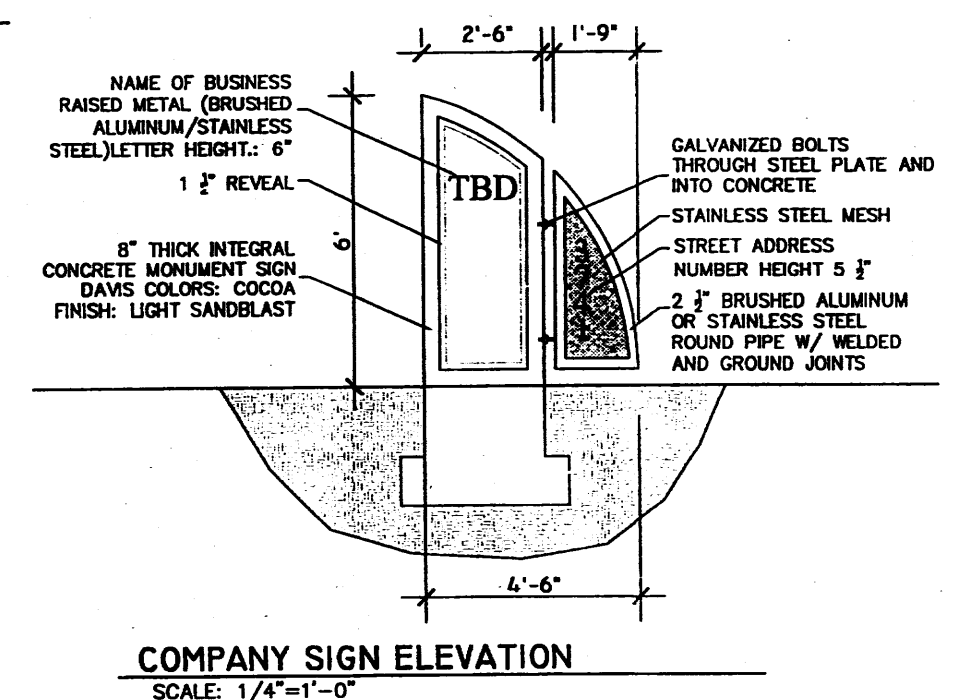
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division Date: 6-7-05	<i>[Signature]</i> Date: 5/11/05
<i>[Signature]</i> Utilities Department Date: 5/11/05	<i>[Signature]</i> Date: 5/11/05
<i>[Signature]</i> Parks and Recreation Department Date: 5/11/05	<i>[Signature]</i> Date: 5-25-05
<i>[Signature]</i> City Engineer Date: 6/15/05	
<i>[Signature]</i> Environmental Health Department (conditional) Date:	
<i>[Signature]</i> Solid Waste Management Date:	
<i>[Signature]</i> DRB Chairperson, Planning Department Date:	

This Plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1989 (A3-79-13, 2-79-89-3) and the IP map.
*Environmental Health, if necessary.
12-18-05

SHEET INDEX

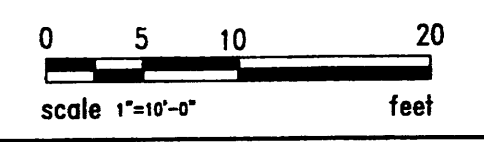
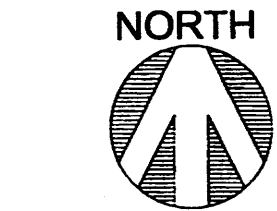
- A-1 SITE PLAN & DESIGN DATA
- L-1 LANDSCAPE PLAN
- C-1 GRADING PLAN
- A-3 ELEVATIONS



COMPANY SIGN ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

- SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- SIGN SHALL BE SET DIRECTLY FACING THE OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
- SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
- EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
- 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.



BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT 10B
3741 RUTLEDGE RD
ALBUQUERQUE, NM 87109

DESIGN DATA

- APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998
- BUILDING FLOOR AREA
OFFICE B UNITA 2,828 SF
OFFICE B UNITB 2,828 SF
TOTAL BUILDING AREA 5656 SF
- OCCUPANCY GROUP (IBC CHAPTER 3)
OFFICE B
- EXTERIOR WALLS AND OPENINGS
IBC TABLE 602
- BUILDING HEIGHT
BUILDING 1 - ONE STORY 24'-0"
- TYPE OF CONSTRUCTION
IBC TABLE 503: OFFICE-TYPE V-B
- BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,500 S.F.
MIXED USE OCCUPANCY W/ NON SEPARATED USE PROVISION UTILIZING THE PROVISION UNDER THE S1 OCCUPANCY
- FIRE RESISTIVE REQUIREMENTS
IBC TABLE 601: TYPE V-B
- OCCUPANT LOAD
OFFICE UNIT A : 2,828 S.F. / 100 = 28
OFFICE UNIT B : 2,828 S.F. / 100 = 28
- EXIT REQUIREMENTS
NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50 = 1 EXIT REQ. 2 PROVIDED
- PLUMBING REQUIREMENTS: IBC TABLE 2902.1
OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ. 2 W.C. PROVIDED
OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ. 2 LAVATORY PROVIDED
- SEISMIC ZONE: 2B, CATEGORY II BLDG.
- WIND SPEED: 75 MPH
- EXPOSURE: C
- SOIL BEARING CAP. 1500 PSF
- ROOF LOAD(TOTAL) 40 PSF

PARKING REQUIREMENTS (CALC'S)

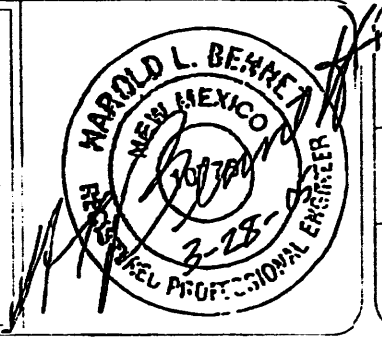
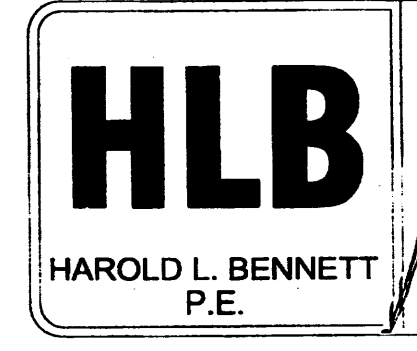
NET OFFICE:	UNIT A	2000 SF
2000 / 200 = 10		
NET OFFICE:	UNIT B	2000 SF
2000 / 200 = 10		
= 20 REQUIRED PARKING SPACES		

PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	24 CARS
TOTAL ON SITE PARKING PROVIDED	25 CARS
TOTAL REQUIRED PARKING:	20 CARS



DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS



JOB TITLE: JOURNAL CENTER LOT 10B

REVISION:	FILE NAME	JOB NO.	DATE
05-10-05			06-18-05

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT
DRAWN BY: RI

