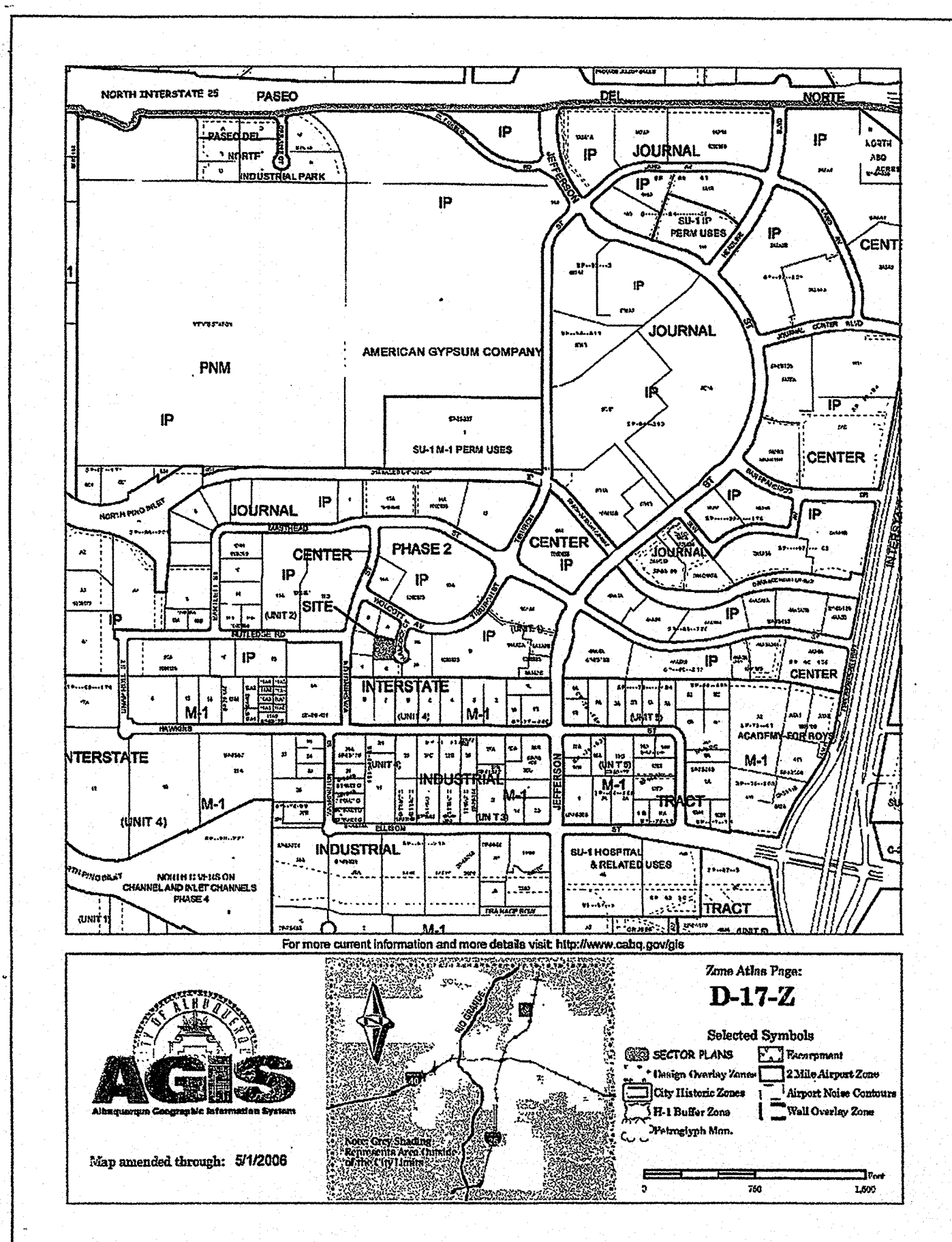
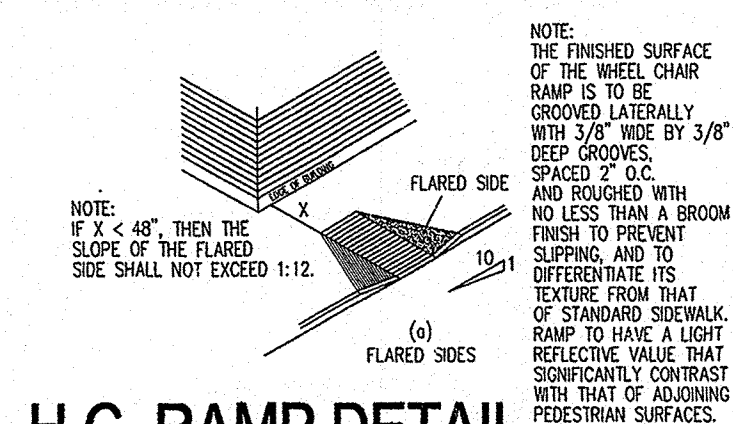




VICINITY MAP

LEGAL:
LOT NUMBERED (5) OF JOURNAL CENTER PHASE 2, UNIT 1, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 25, 2001, IN PLAT BOOK 2000C, FOLIO 84. 5016 AC UPLC#101706320317230804



H.C. RAMP DETAIL

SIGNATURE BLOCK

PROJECT NUMBER: 1006780

APPLICATION NUMBER: 07DRB-70215

IS AN INFRASTRUCTURE LIST REQUIRED? YES ☒ NO ☐ IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH PUBLIC RIGHT-OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Richard D. Dush
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

Roger A. Allen
ABCWUA

Christina Sandoval
PARKS AND RECREATION DEPARTMENT

Bradley D. Brigham
CITY ENGINEER

N/A
*ENVIRONMENTAL HEALTH DEPT.. (CONDITIONAL)

Michael Holten
SOLID WASTE MANAGEMENT

Don Nelson
DRB CHAIRPERSON, PLANNING DEPARTMENT

*ENVIRONMENTAL HEALTH IF NECESSARY

9-19-07
DATE

7-19-07
DATE

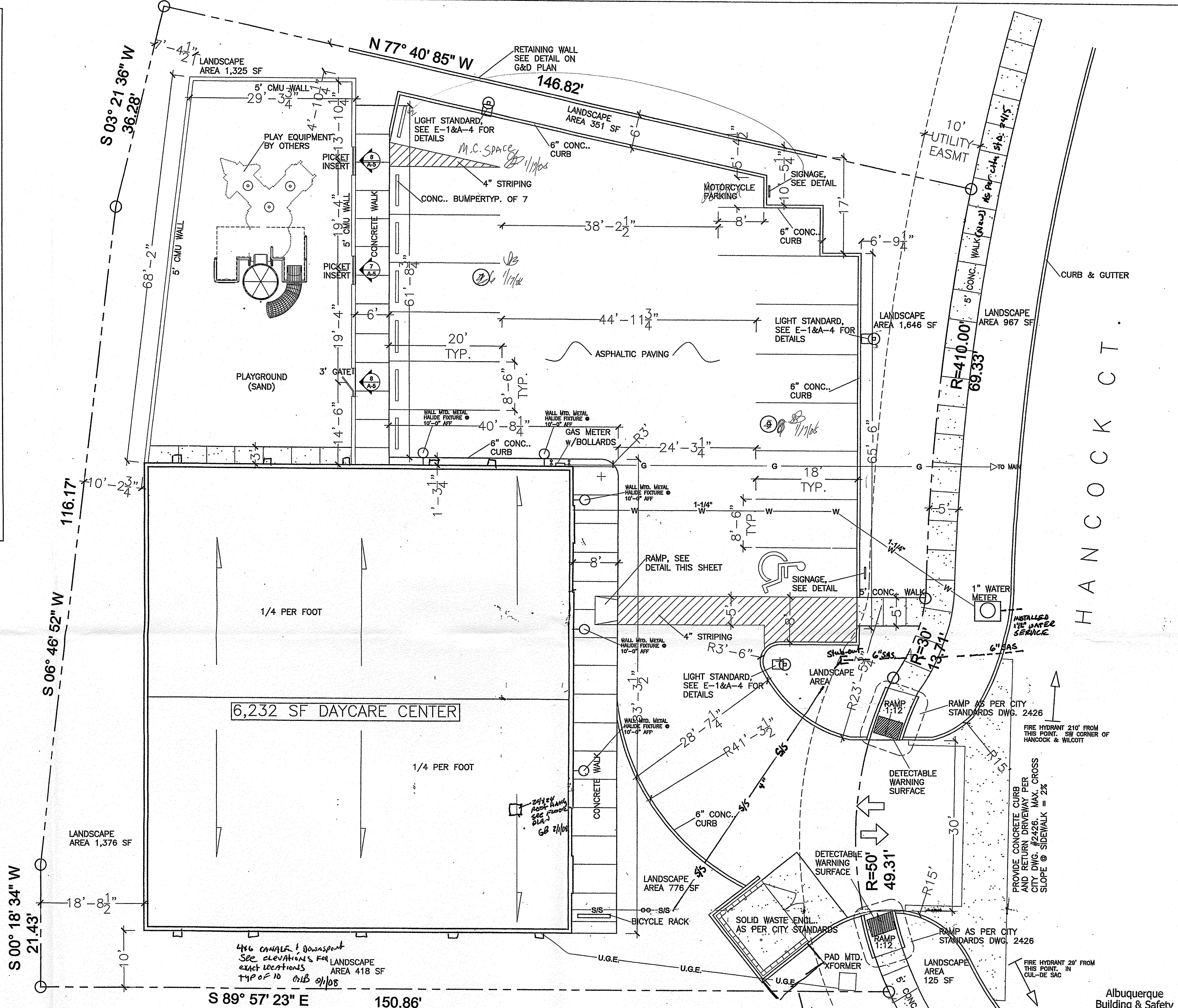
9/19/07
DATE

9/19/07
DATE

DATE

9/19/07
DATE

10/26/07
DATE

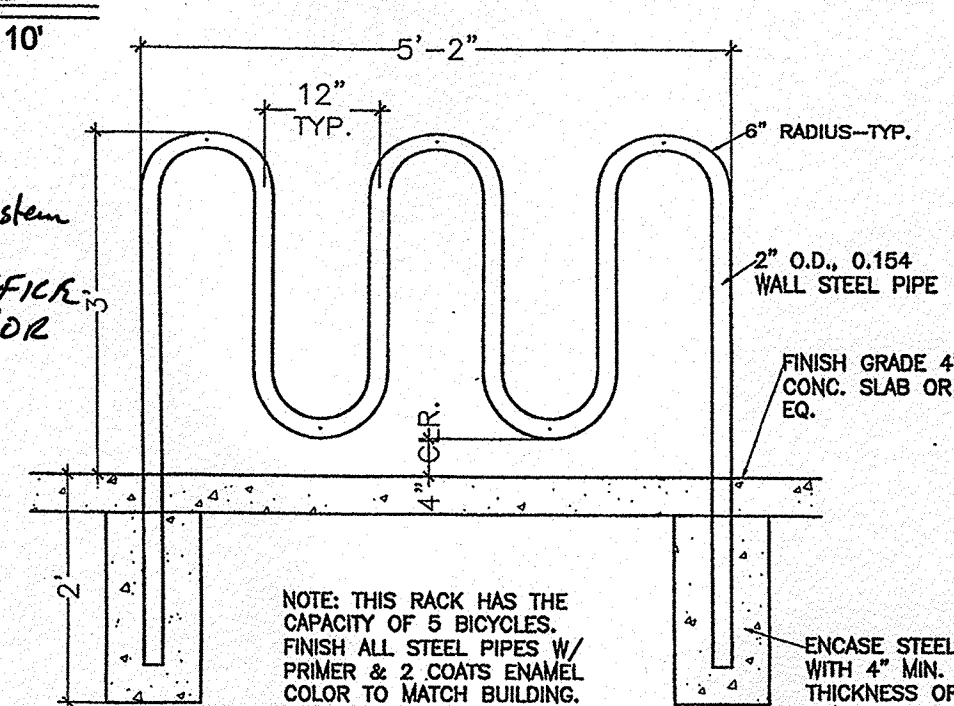


SITE PLAN

SCALE: 1"= 10'

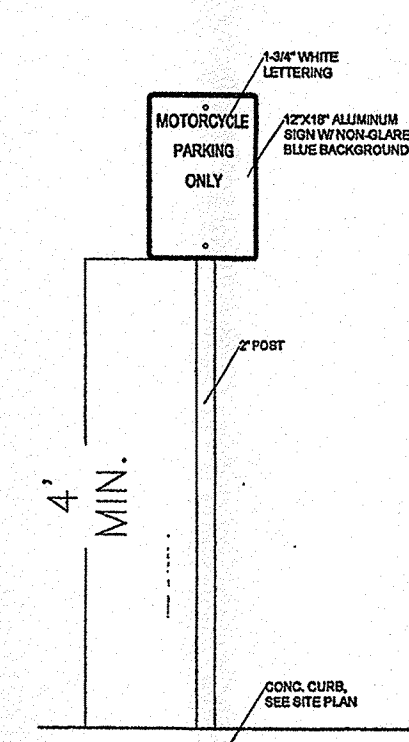
NOTE: 6/5 1/17/08

1. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A FIRE ALARM SYSTEM
2. PROVIDE TO FIRE MARSHALS OFFICE A FIRE ALARM SHOP DRAWINGS PRIOR TO INSTALLATION



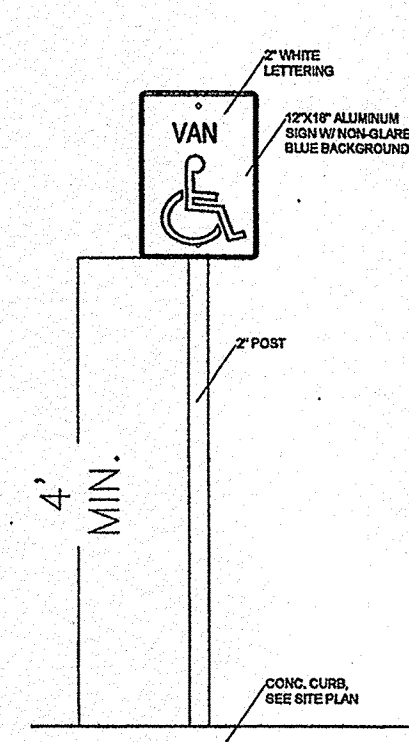
BICYCLE RACK

N.T.S.



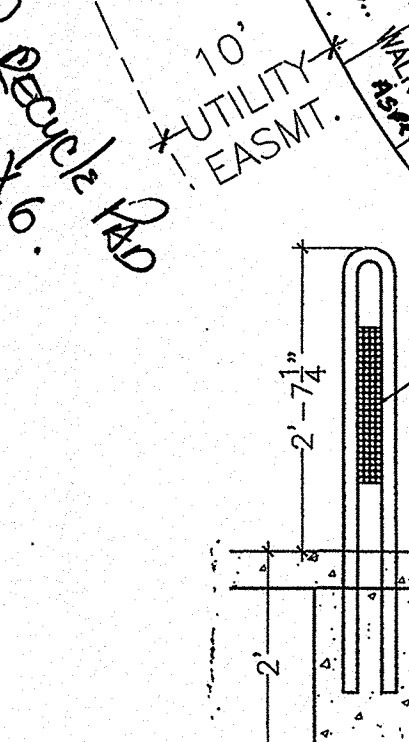
M.C. SIGN DETAIL

N.T.S.



H.C. SIGN DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.

INDEX OF DRAWINGS:	
C-13	SITE DEVELOPMENT PLAN
C-2-3	GRADING AND DRAINAGE PLAN
L-1	LANDSCAPE PLAN
S-1	FOUNDATION PLAN
S-2	FRAMING PLAN
A-1	FLOOR PLAN & SCHEDULES
A-2	DETAILS & BUILDING SECTIONS
A-3	REFLECTED CEILING PLAN
A-4	ELEVATIONS
A-5	DETAILS & SECTIONS
E-1	LIGHTING PLAN
E-2	POWER PLAN
M-1	MECHANICAL PLAN
P-1	WASTE PIPING PLAN
P-2	WATER AND GAS PIPING PLAN

PROJECT DATA:

PROJECT: LIL' SQUIRRELS PRE-SCHOOL
7411 HANCOCK CT. NE
ALBUQUERQUE, NM 87122
(505) 797-2272

OWNER: MATT AND SHIRLEY PADILLA
8301 FLORENCE AVE NE
ALBUQUERQUE, NEW MEXICO
87122

ARCHITECT: GARLAN BRYAN ARCHITECT
NM REG. #144
2403 SAN MATEO BLVD. NE
SUITE W-1
ALBUQUERQUE, NM 87110
505-884-8694

CONTRACTOR: M BUILDERS
P.O. BOX 90785
ALBUQUERQUE, NM
87199-0785
LIC.# 055919

ZONING: IP

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2003
NEW MEXICO BUILDING CODE (COMMERCIAL)

ACCESSIBILITY CODE: ICC/ANSI A 117.1-2003

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT III, (IE) 1.25

BUILDING AREA: 6,232 SF 6205 SF 8/17/08

CONST. TYPE: V-B

ALLOWABLE AREA: 9,500 SF

BUILDING HEIGHT: 16'-0"

OCCUPANCY: E-DAYCARE

OCCUPANT LOAD: OFFICE AREAS - 335 SF / 100=3.35
CLASSROOM - 3502 SF / 20=175.1
STORAGE - 102 SF / 300=34
TOILET/CIRC. - 2084 SF / 0=NA
TOTAL= 179 OCCUPANTS

FIXTURE COUNT: REQUIRED-MALE: 2 LAV., 2 W.C.
FEMALE: 2 LAV., 2 W.C.
2 DRINKING CUNTAIN
PROVIDED- CHILDREN: 7 LAV., 7 W.C.
1 UNISEX TOILET ROOM FOR STAFF.
2 DRINKING FOUNTAINS

PARKING REQ.: 2 SPACES + 1 FOR EACH 500 SF NET LEASABLE.
6,029 SF NET LEASABLE = 12 SPACES+2 SPACES
ONE OF WHICH MUST BE H.C. ACCESSIBLE.
1 MOTORCYCLE SPACE

PARKING PROVIDED: 15 SPACES, ONE OF WHICH IS H.C. ACCESSIBLE
+1 MOTORCYCLE SPACE

EXECUTIVE SUMMARY:

THE ADDITION OF A 6,232 S.F. DAYCARE FACILITY FOR CHILDREN THAT WILL INCLUDE STAFF OFFICES, WORK ROOM, CLASSROOMS, OPEN PLAY AREAS, STORAGE ROOMS, A FOYER, AND TOILET ROOMS. DESIGN CONCEPT ALSO INCLUDES AN OUTDOOR PLAY AREA (SECURE), PARKING, AND LANDSCAPING IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE. THE PROJECT DOES NOT EFFECT ADJACENT PROPERTIES. THE BUILDING WILL NOT HAVE A FIRE PROTECTION SPRINKLER SYSTEM DUE TO THE PROXIMITY OF FIRE HYDRANTS.

DESIGN DATA:

SOIL BEARING PRESSURE: 1,000 PSF
CONCRETE: 3,000 PSI RED-MIX
ROOF LOADING: 25PSF + 20PSF SNOW LOAD
PRE-ENGINEERED WOOD TRUSS DRAWINGS
ATTACHED.

GENERAL NOTES:

1. PREMISE IDENTIFICATION SHALL CONSIST OF 6" HIGH (MIN.) NUMBERS ON A CONTRASTING BACKGROUND PLACED IN A LOCATION THAT IS PLAINLY VISIBLE FROM THE STREET.

REVISIONS:

RECEIVED
OCT 07 2008
LAND DEVELOPMENT SECTION

LIL' SQUIRRELS PRE-SCHOOL

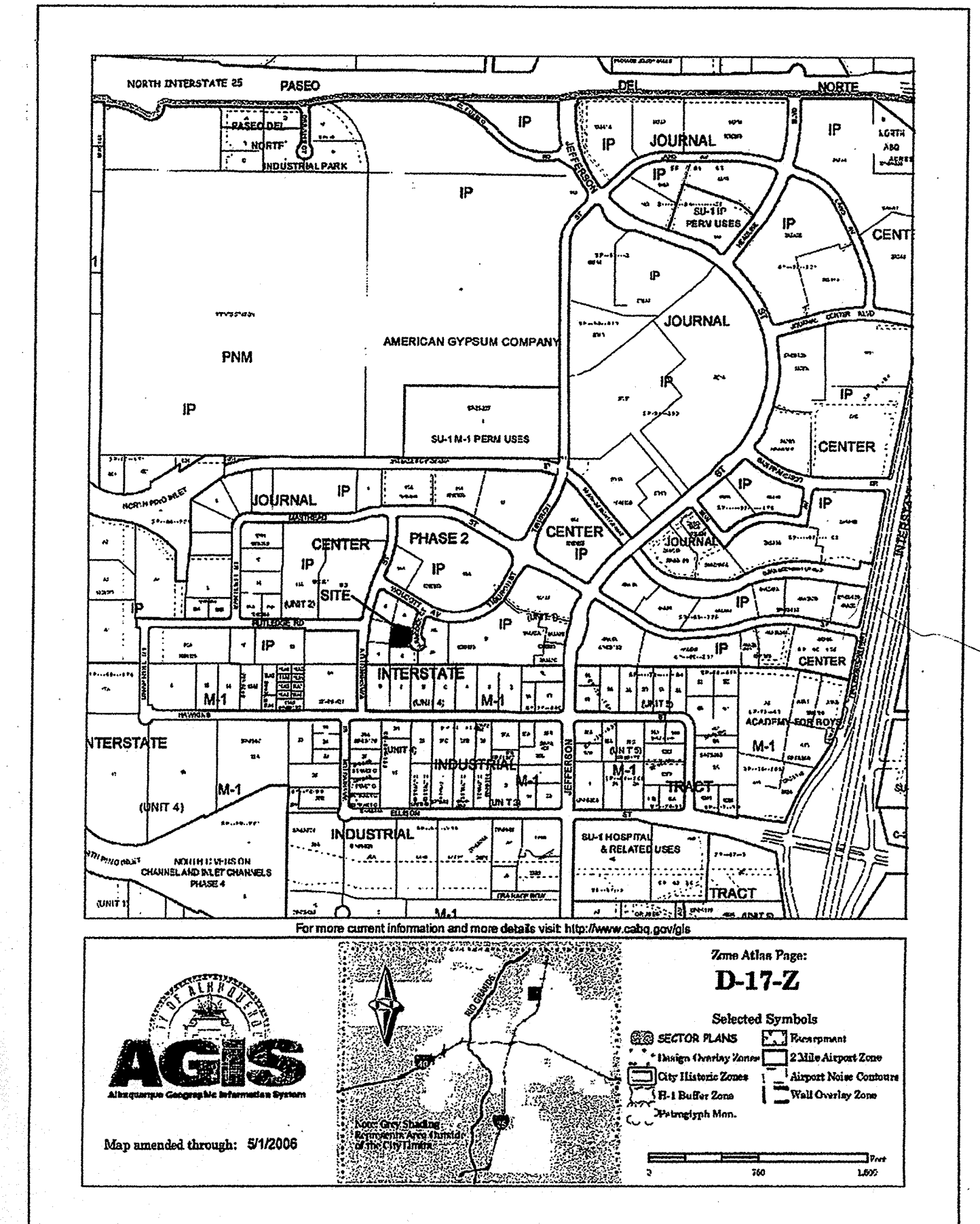
GARLAN BRYAN, ARCHITECT
2403 SAN MATEO BLVD., N.E.
ALBUQUERQUE, NEW MEXICO

C-1A SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT

GARLAN D. BRYAN
REGISTERED ARCHITECT
No. 144

DATE: 9/10/07

GARLAN D. BRYAN
REGISTERED ARCHITECT
No. 144



N.T.S.

LOT NUMBERED (5) OF JOURNAL CENTER PHASE 2, UNIT 1, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 25, 2001, IN PLAT BOOK 2000C, FOLIO 84. .5016 AC UPC#101706320317230604

PROJECT: LIL' SQUIRRELS PRE-SCHOOL
7411 HANCOCK CT. NE
ALBUQUERQUE, NM 87122
(505) 797-2272

OWNER: MATT AND SHIRLEY PADILLA
8301 FLORENCE AVE NE
ALBUQUERQUE, NEW MEXICO
87122

AS-BUILT



RECEIVED
AUG 25 1988
HYDROLOGY
SECTION

Municipal, Civil and Environmental Design Engineers

220 COPPER AVE. NW
SUITE 650
Albuquerque, NM 87102

Phone: 505-379-3671
Fax: 810-885-1946
email: acgeng@aol.com



SHEET C.1
GRADING AND DRAINAGE PLAN
WITH SITE DETAILS

The property is approximately 1/2 acre in size and located in a improved business subdivision within the Journal Center. The site plan was previously approved by the DRB, case number 07DRB-70215. The pad site was designed with an existing 10' drainage easement on the east side of the property that drains west to a storm drain culvert. The cul-de-sac that adjoins the property on the east (entrance) also has a storm drain culvert.

DEVELOPED CONDITIONS

It is proposed to construct a new 6,232 square foot daycare center building and playground area. The parking lot will be paved with curb and gutter to direct drainage flows to the east cul de sac storm drain. The landscape areas will be drained with swales directed to the west 10' drainage easement. The drainage around the landscape areas will be contained with retaining walls to control erosion and direct the flows around the building. The playground will be sand and extraneous flows will leave the area via garden wall holes that release drainage flows to the west and eventually to the 10' drainage easement.

FIRM MAP

SITE PLAN



SCALE: 1"= 10'