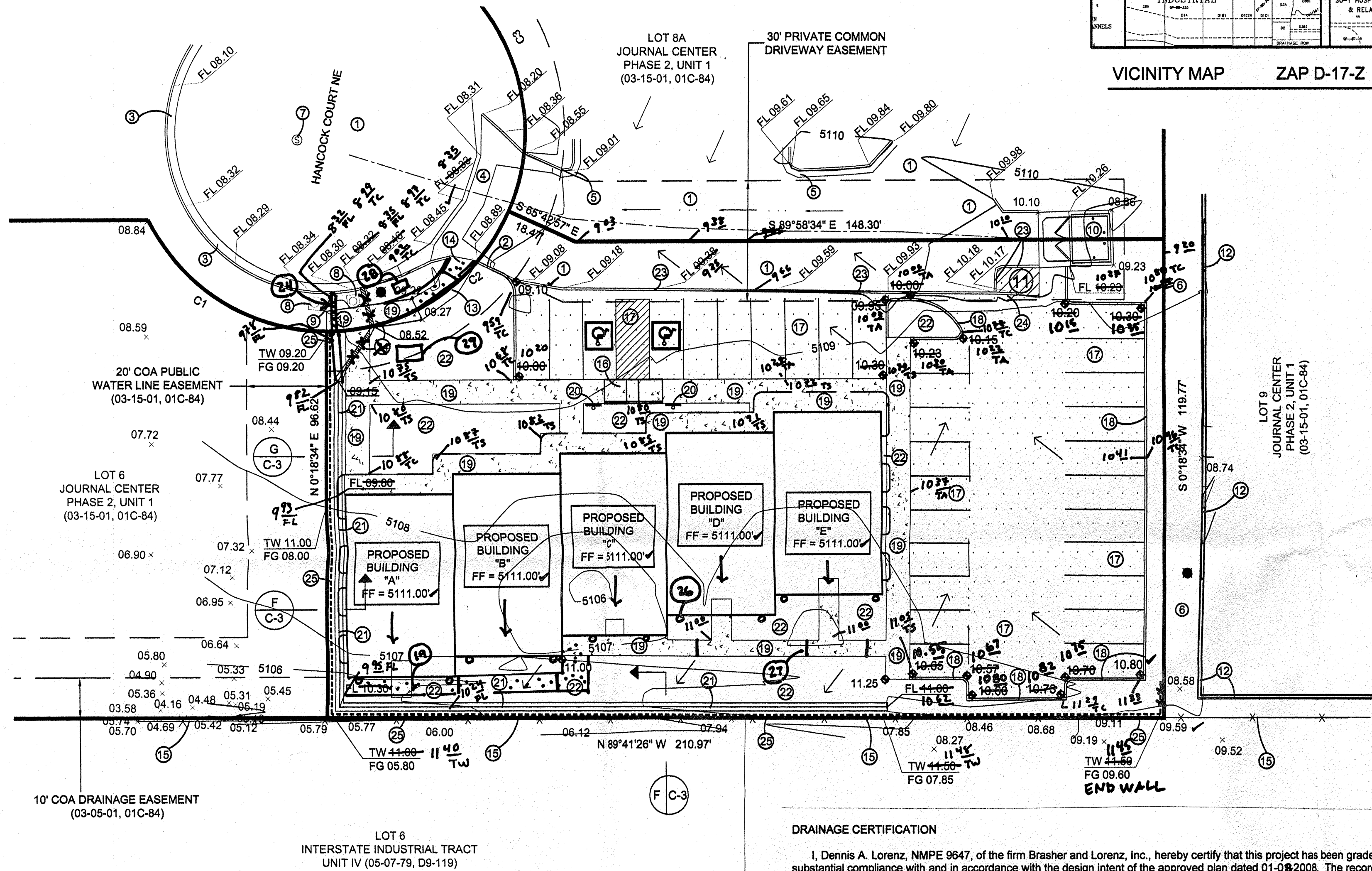


NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°21'28"	N 20°14'28" E	50.0'	55.29'	52.52'
C2	66°19'11"	N 57°09'16" W	50.0'	57.87'	54.70'
C3	73°49'37"	N 12°55'08" W	50.0'	64.43'	60.06'



## DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

## KEYED NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING HEADER CURB TO BE REMAIN.
- EXISTING STANDARD CURB AND GUTTER.
- EXISTING CONCRETE VALLEY GUTTER.
- EXISTING 6" CURB AND GUTTER.
- EXISTING LANDSCAPING.
- EXISTING SAS MANHOLE. RIM = 5108.61' INV (SE) = 5097.60' INV (SW) = 5097.56' INV (N) = 5097.36'
- EXISTING WATER METER.
- EXISTING FIRE HYDRANT.
- EXISTING REFUSE ENCLOSURE.
- EXISTING ASPHALT TO BE REMOVED AND REPLACED.
- EXISTING WALL.
- EXISTING CONCRETE SIDEWALK - REMOVED.
- EXISTING HANDICAP RAMP.
- EXISTING CHAIN LINK FENCE.
- CONSTRUCT NEW HANDICAP ACCESS RAMP. SEE DETAIL C/C-3
- NEW ASPHALT PAVEMENT.
- NEW HEADER CURB.
- NEW CONCRETE SIDEWALK.
- NEW HANDICAP SIGNAGE.
- NEW CONCRETE VALLEY GUTTER.
- NEW LANDSCAPING. SEE DETAIL C/C-3
- EXISTING HEADER CURB TO BE REMOVED AND DISPOSED.
- NEW 12" SIDEWALK CULVERT. PER COA STD DWG 2236.
- NEW RETAINING WALL. SEE DETAIL C/C-3
26. ROOF DRAIN (10 GA)
27. SLOTTED SW DRAIN (5 GA)
28. NW MAILBOX
29. PRIMARY ELEC METER

## DRAINAGE CERTIFICATION

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 01-08-2008. The record information edited onto the original design document has been obtained by Preston E. Hall, NMPS 10042.

I further certify that I have personally visited the project site on 09-16-2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage of the project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dennis A. Lorenz, NMPE 9647  
Date: 9-16-08

PROJECT HYDROLOGY									
AHYMO									
ZONE:	2	HANCOCK OFFICE BUILDING							
P <sub>6</sub> HOUR	2.35"								
P <sub>10</sub> DAY	3.95"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
1	0.04	0.00	0.00	0.00	0.04	2.12	0.2	0.007	
2	0.53	0.00	0.00	0.00	0.53	0.53	0.8	0.023	
QS - 1	0.03	0.00	0.00	0.03	0.00	1.13	0.1	0.003	
QS - 2	0.19	0.00	0.00	0.06	0.13	1.80	0.8	0.028	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A	0.57	0.00	0.00	0.05	0.52	2.03	2.6	0.096	
QS - 1	0.11	0.00	0.00	0.03	0.00	1.13	0.1	0.003	
QS - 2	0.19	0.00	0.00	0.06	0.13	1.80	0.8	0.028	

## HANCOCK OFFICE BUILDING

## EXISTING BASIN MAP NTS

## GRADING & DRAINAGE PLAN

### PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF LOT 7A BY CONSTRUCTING AN OFFICE BUILDING WITH ASSOCIATED SITE IMPROVEMENTS. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

### EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 0.57 ACRES AND IS LOCATED AT 7400 HANCOCK COURT NE, JUST SOUTH OF WOLCOTT AVENUE NE. THE SITE IS UNDEVELOPED WITH THE EXCEPTION OF A PAVED ACCESS DRIVE LOCATED ALONG THE NORTH PROPERTY LINE. THE SITE IS BOUNDED TO THE NORTH AND EAST BY OFFICE BUILDINGS, TO THE SOUTH BY INDUSTRIAL PROPERTIES AND TO THE WEST BY AN UNDEVELOPED PROPERTIES. CURRENTLY, THE SITE SLOPES FROM NORTH TO SOUTH AT APPROXIMATELY 0.5 TO 2 PERCENT. ON-SITE RUNOFF FROM THE PAVED ACCESS DRIVE DRAINS NORTH ONTO HANCOCK COURT NE AND THE UNDEVELOPED PORTION OF THE SITE DRAINS SOUTH TO A DITCH LOCATED ALONG THE SOUTHERN PROPERTY LINE WHERE THE RUNOFF DRAINS INTO LOT 6, INTERSTATE INDUSTRIAL TRACT, UNIT IV. OFFSITE RUNOFF IMPACTS THE SITE FROM THE NORTH AND THE EAST. OFFSITE RUNOFF FROM THE PARKING LOT TO THE NORTH, DRAINS ONTO THE PAVED ACCESS DRIVE WHERE IT IS CHANNLED ALONG WITH THE ON-SITE RUNOFF, TO HANCOCK COURT NE. FROM THE EAST, A SMALL PORTION OF OFFSITE RUNOFF FROM LOT 9 DRAINS TO THE ABOVE MENTIONED DITCH WHERE IT COMBINES WITH THE ON-SITE RUNOFF.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

### PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING AN OFFICE BUILDING WITH RELATED SITE IMPROVEMENTS. ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES. DUE TO LIMITED DOWNSTREAM IMPROVEMENTS WITHIN THE 10' COA DRAINAGE EASEMENT WITHIN LOT 6A, ALL RUNOFF WILL BE ROUTED TO HANCOCK CT. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. OFFSITE RUNOFF WILL CONTINUE TO FLOW IN ITS HISTORIC CONDITIONS. THIS IS AN INFILL SITE. ON-SITE PONDING IS NOT RECOMMENDED.

### TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SINCE THE SITE CONTAINS LESS THAN 1.0 ACRES, A SWPPP IS NOT REQUIRED.

### CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

### BAR SCALE

5' 0' 10' 20'  
(IN FEET)

1" = 20'

### PROJECT DATA

#### PROPERTY ADDRESS

7400 HANCOCK CT. NE

#### LEGAL DESCRIPTION

LOT 7A  
JOURNAL CENTER  
PHASE 2, UNIT 1  
ALBUQUERQUE, NM 87121

#### PROPERTY ZONING

IP

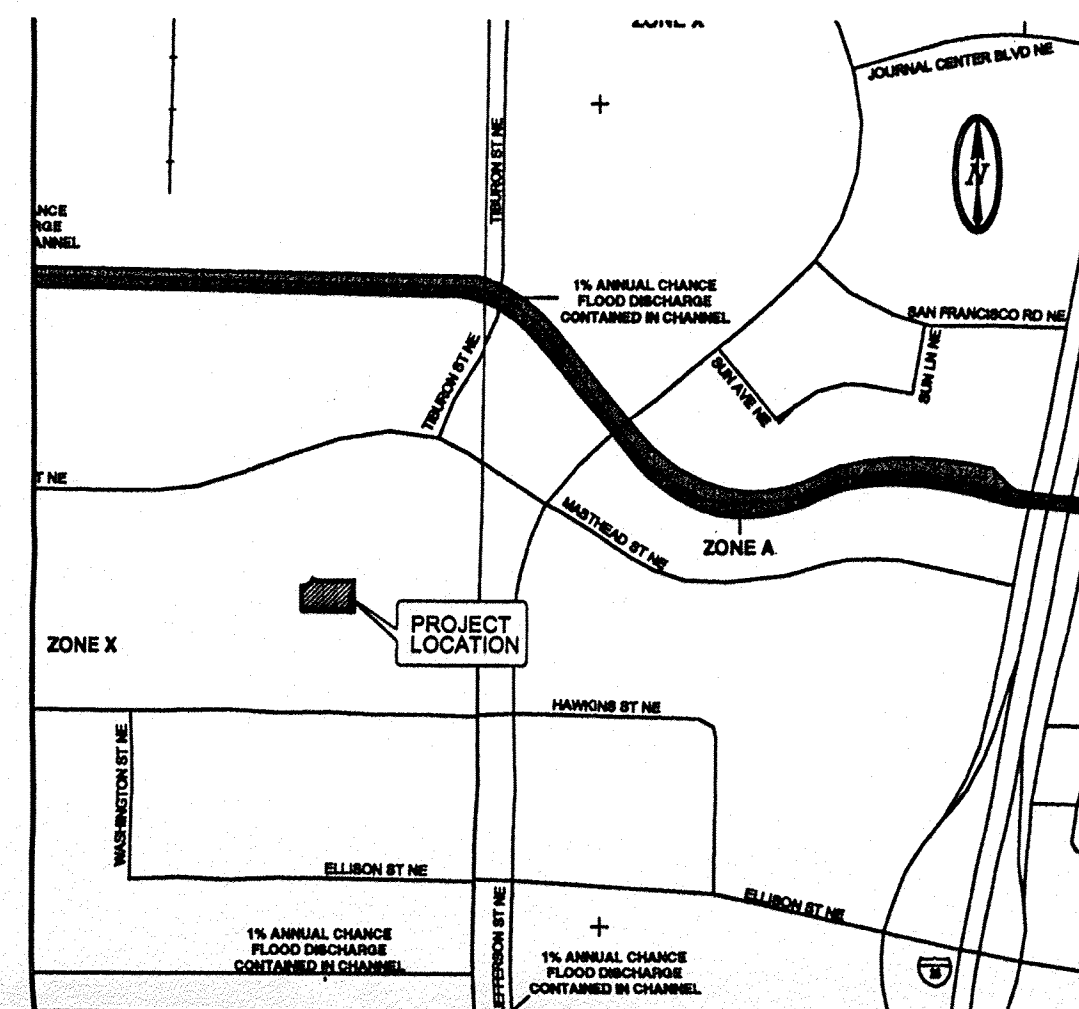
#### MAPPING

ALL PROJECT SURVEYING  
BY BRASHER & LORENZ, INC.  
DECEMBER, 2007

#### PROJECT BENCHMARK

ACS MONUMENT "13, D16"  
ELEVATION: 5073.471 FEET  
ACS MONUMENT "REEVES-2"  
HORIZONTAL DATUM  
1988 NGVD

## PROPOSED BASIN MAP NTS



## FIRM PANEL 35001C0339E NTS

## LEGEND

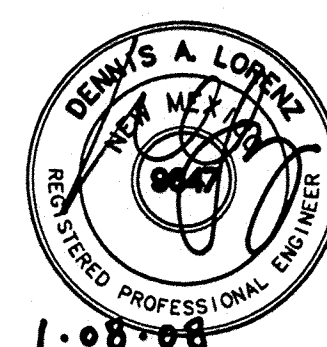
ITEM	EXISTING	PROPOSED
HEADER CURB		
CURB & GUTTER		
VALLEY GUTTER		
LIGHT POLE		
OVERHEAD UTILITY WITH POWER POLE		
SPOT ELEV. (AS SHOWN)		
EASEMENT		
FLOWLINE ELEV.		
CONTOUR W/ ELEVATION		
BASIN BOUNDARY		
ASPHALT PAVING		
EXISTING ASPHALT TO BE REMOVED		
CONCRETE		
BUILDING		
CHAIN LINK FENCE		
MANHOLE		
DRAINAGE SWALE		
DIRECTION OF FLOW		
RIGHT OF WAY BOUNDARY		
SINGLE WATER SERVICE		
FIRE HYDRANT		
WATER VALVE		
RETAINING WALL		
SIDEWALK CULVERT		

RECEIVED  
SEP 18 2008  
LAND DEVELOPMENT SECTION

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1300  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

HANCOCK OFFICE BUILDING  
GRADING AND DRAINAGE PLAN  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0761

REVISION DATE  
9-16-08 G+D  
CERT  
D.L.



1-08-08

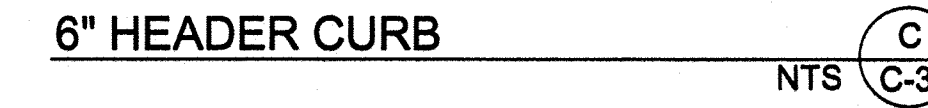
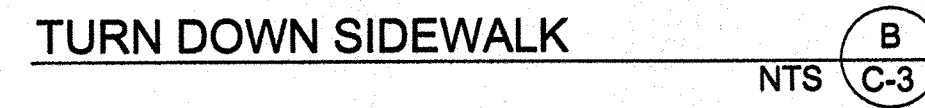
rick hammett  
ARCHITECTS  
1100 First Avenue SW - Albuquerque, New Mexico 87102  
(505) 242-1859 • Fax (505) 242-6630 • rick@rickhammett.com

DATE  
01-07-2008

SHEET NUMBER

C-2

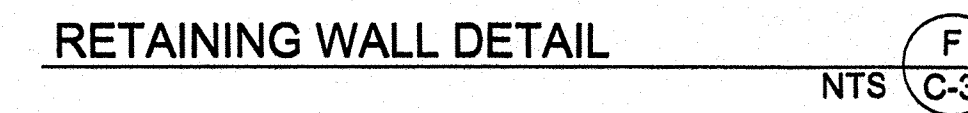
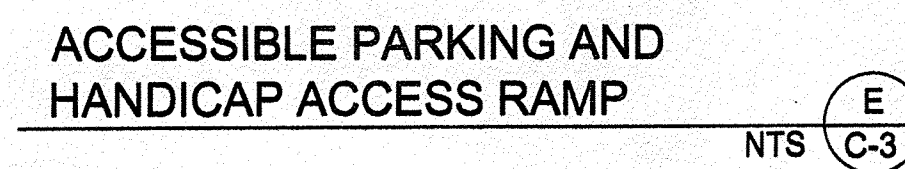




ACCESSIBLE PARKING AND  
HANDICAP ACCESS RAMP

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NTS D  
C-3



DATE \_\_\_\_\_

RECEIVED  
SEP 18 2008  
LAND DEVELOPMENT SECTION

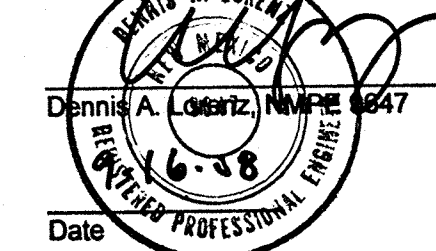


ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT  
CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Site Plan/Traffic Circulation Layout prepared by Rick Bennett Architects, approved by DRB on 6-16-2008.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

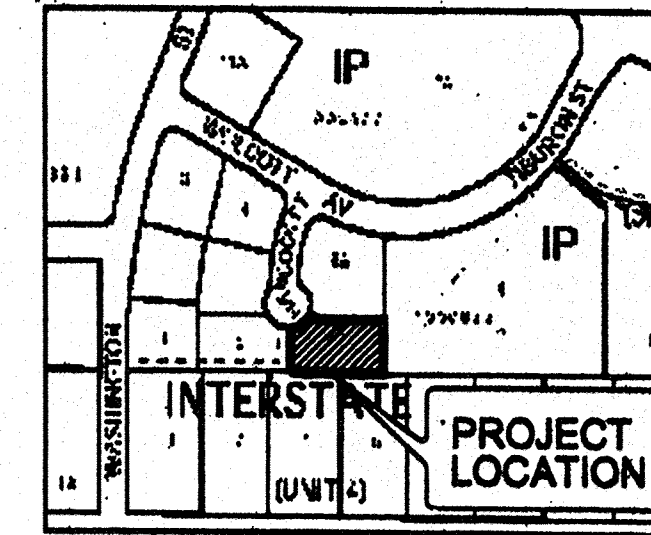
The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



**PARKING REQUIREMENTS**

PARKING REQUIRED:	4,875 S.F. NET S.F. / 200 = 24 SPACES
HC. SPACES REQUIRED:	2 HC. SPACES (1 VAN SPACE)
PARKING REQUIRED:	24 REG. SPACES
HC. PARKING PROVIDED:	2 HC. SPACES (24 x 25% = 6)
SMALL CAR 25% OF REQ. MOTORCYCLE SPACE	17 REG. SPACES 9 SMALL CAR SPACES 1 SPACES PROVIDED
TOTAL PARKING PROVIDED:	28 TOTAL PARKING SPACES
BICYCLE RACK REQUIRED	2 PROVIDED

LOT 8A  
JOURNAL CENTER  
PHASE 2, UNIT 1  
(03-15-01, 01C-84)



VICINITY MAP

**KEYED NOTES**

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING HEADER CURB TO BE REMAIN.
- EXISTING STANDARD CURB AND GUTTER.
- EXISTING CONCRETE VALLEY GUTTER.
- EXISTING 6" CURB AND GUTTER.
- EXISTING LANDSCAPING.
- EXISTING SAS MANHOLE, RIM = 5108.61'  
IN (SE) = 5097.80'  
IN (SW) = 5097.58'  
IN (N) = 5097.36'
- EXISTING 1" WATER METER.
- EXISTING FIRE HYDRANT.
- EXISTING REFUSE ENCLOSURE.
- EXISTING ASPHALT TO BE REMOVED AND REPLACED.
- EXISTING WALL.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING H.C. ACC. RAMP, TO BE REMOVED AND NEW H.C. ACC. TO BE BUILT.
- EXISTING CHAIN LINK FENCE.
- CONSTRUCT NEW HANDICAP ACCESS RAMP, SEE DETAIL 5/C-2
- NEW ASPHALT PAVEMENT.
- NEW HEADER CURB.
- NEW CONCRETE SIDEWALK.
- NEW HANDICAP SIGNAGE, SEE DETAIL 4/C-1
- NEW CONCRETE VALLEY GUTTER.
- NEW LANDSCAPING, SEE LANDSCAPING PLAN.
- EXISTING HEADER CURB TO BE REMOVED AND DISPOSED.
- NEW 12" SIDEWALK CULVERT, PER COA STD DWG 2236.
- NEW RETAINING WALL, SEE DETAIL 6/C-2
- NEW CONCRETE WHEEL STOPS.
- NEW H.C. ACC. CONCRETE RAMP PER C.O.A. DRAWING 2428
- NEW BICYCLE RACK SEE DETAIL 7/C-2

PROJECT NUMBER: 1007258

Application Number: 09DRB-70200

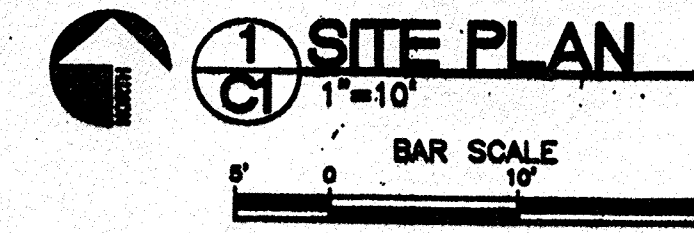
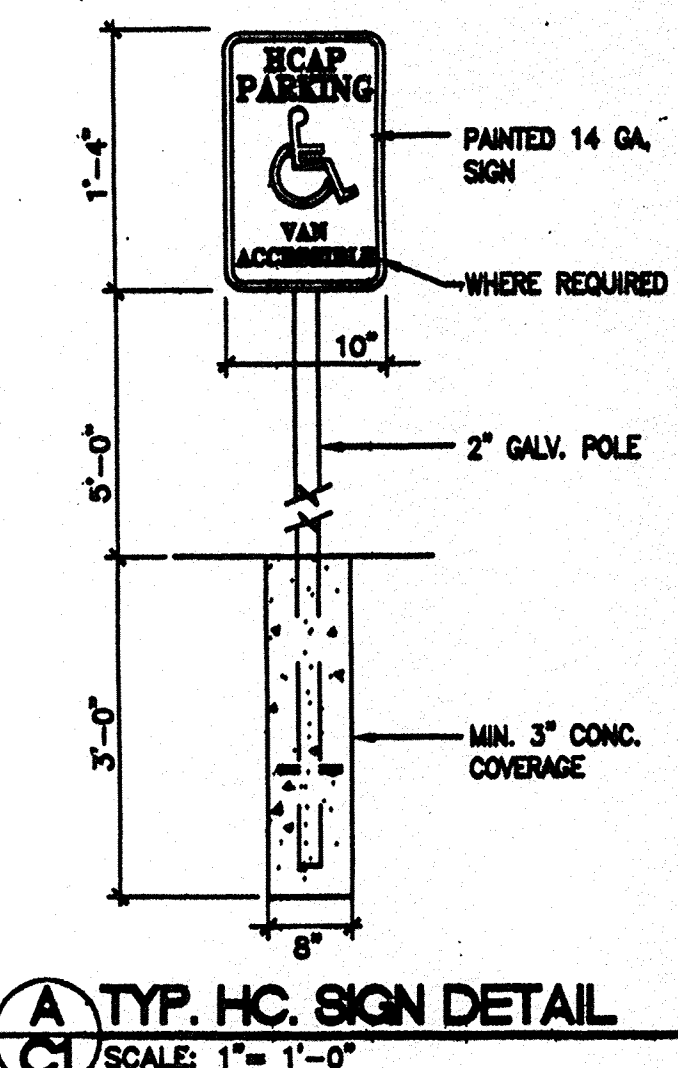
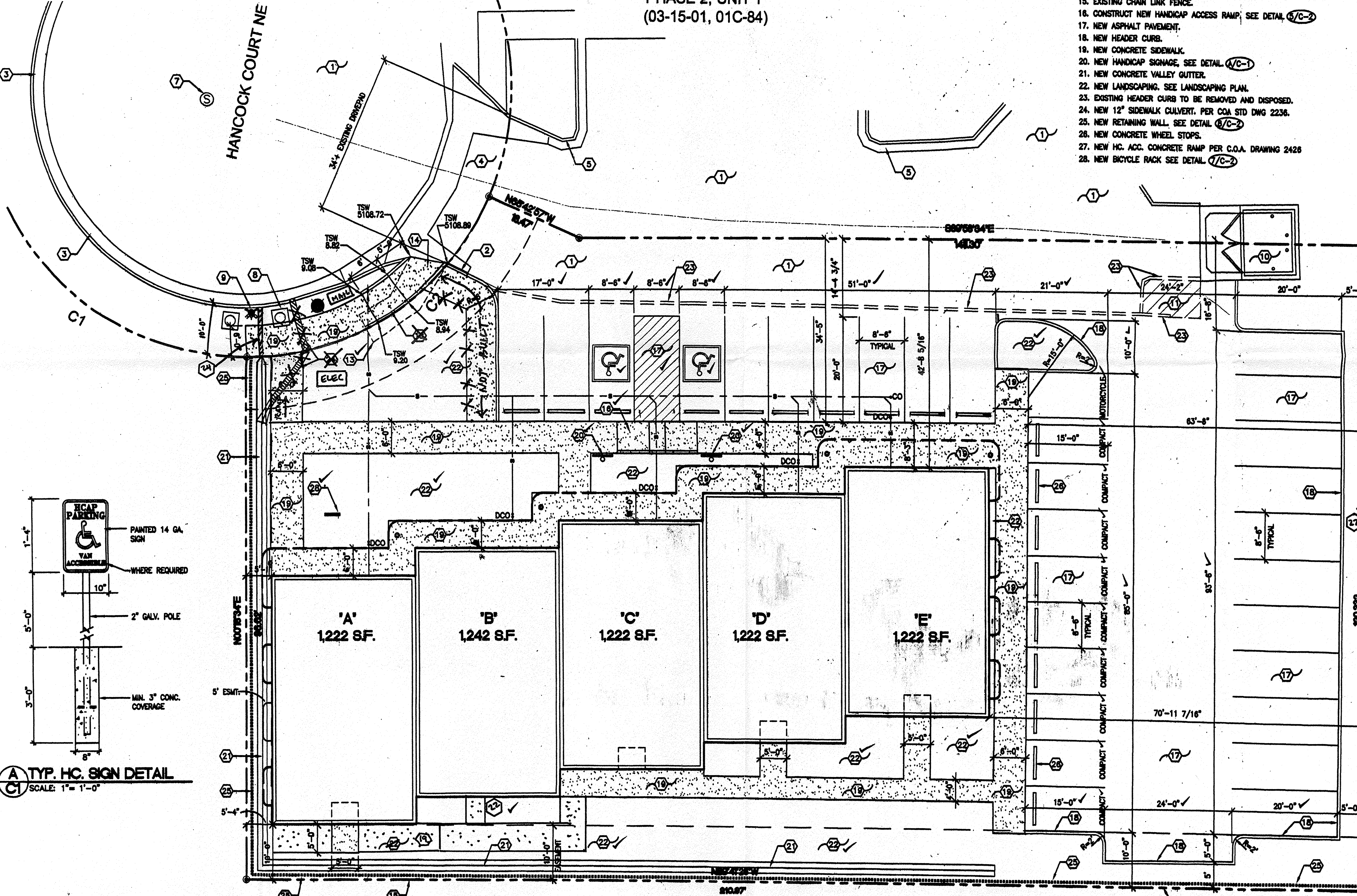
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	Date 6-13-08
Traffic Engineering, Transportation Division	
<i>[Signature]</i>	Date 5-21-08
Water Utility Department	
<i>[Signature]</i>	Date 5/21/08
Parks and Recreation Department	
<i>[Signature]</i>	Date 5/31/08
City Engineer	
N/A	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	Date 6/16/08
Solid Waste Management	
<i>[Signature]</i>	Date 6/16/08
DRB Chairperson, Planning Department	

**LINE LEGEND**

---	PROPERTY LINE
---	EASEMENT LINE
---	TO BE REMOVED
---	SAS



**LEGAL DESCRIPTION**  
LOT 2A, UNIT 1,  
JOURNAL CENTER PHASE 2  
ZONING IP  
ALBUQUERQUE, NEW MEXICO

**RECEIVED**  
SEP 18 2008  
LAND DEVELOPMENT SECTION

HANCOCK OFFICE BUILDING  
SITE PLAN  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0761

REVISION DATE  
06-21-2008  
TCL CEPT  
9-16-08 DL

DATE  
01-09-2008

SHEET NUMBER  
C-1

rick  
benett  
ARCHITECTS  
1001 1st Avenue SW - Albuquerque, New Mexico 87102  
(505) 242-1855 • Fax (505) 242-6200 • rick@rickbenett.com