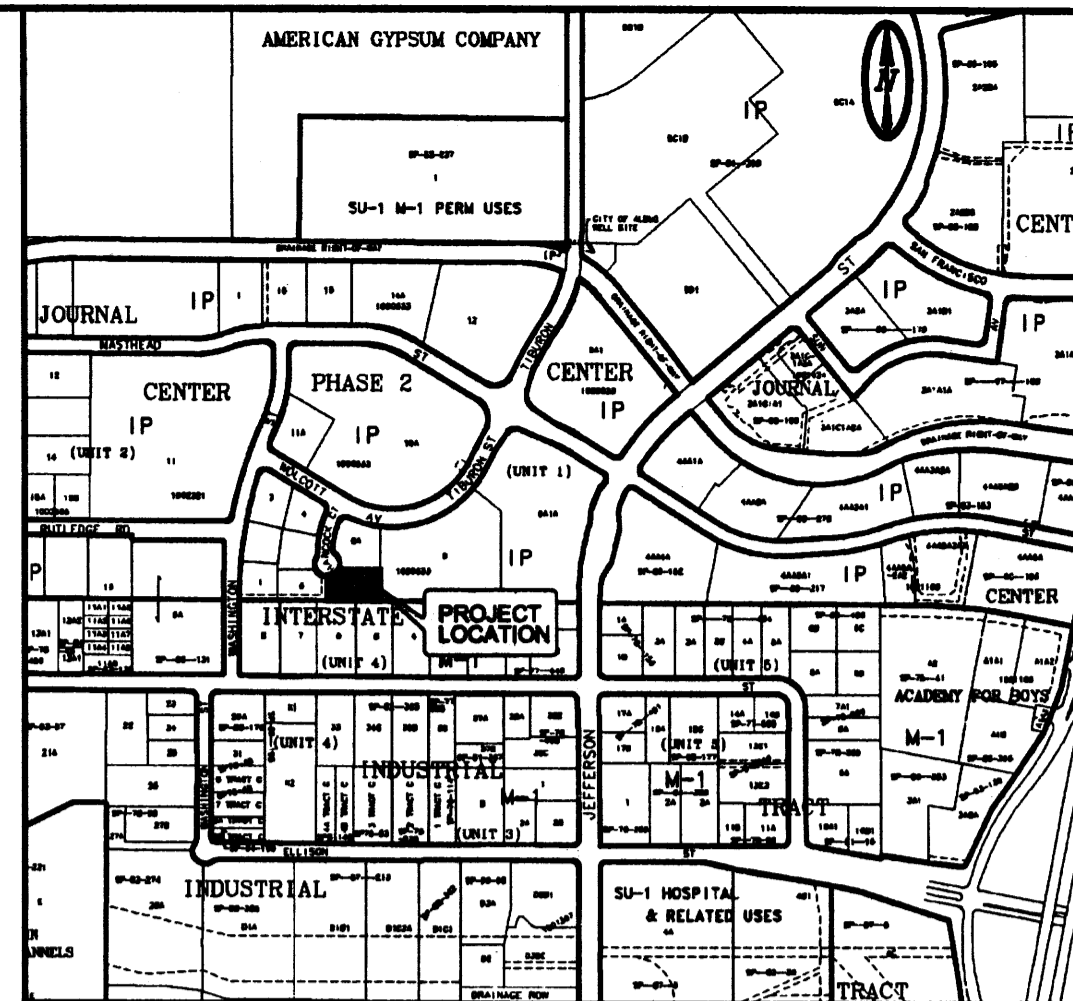
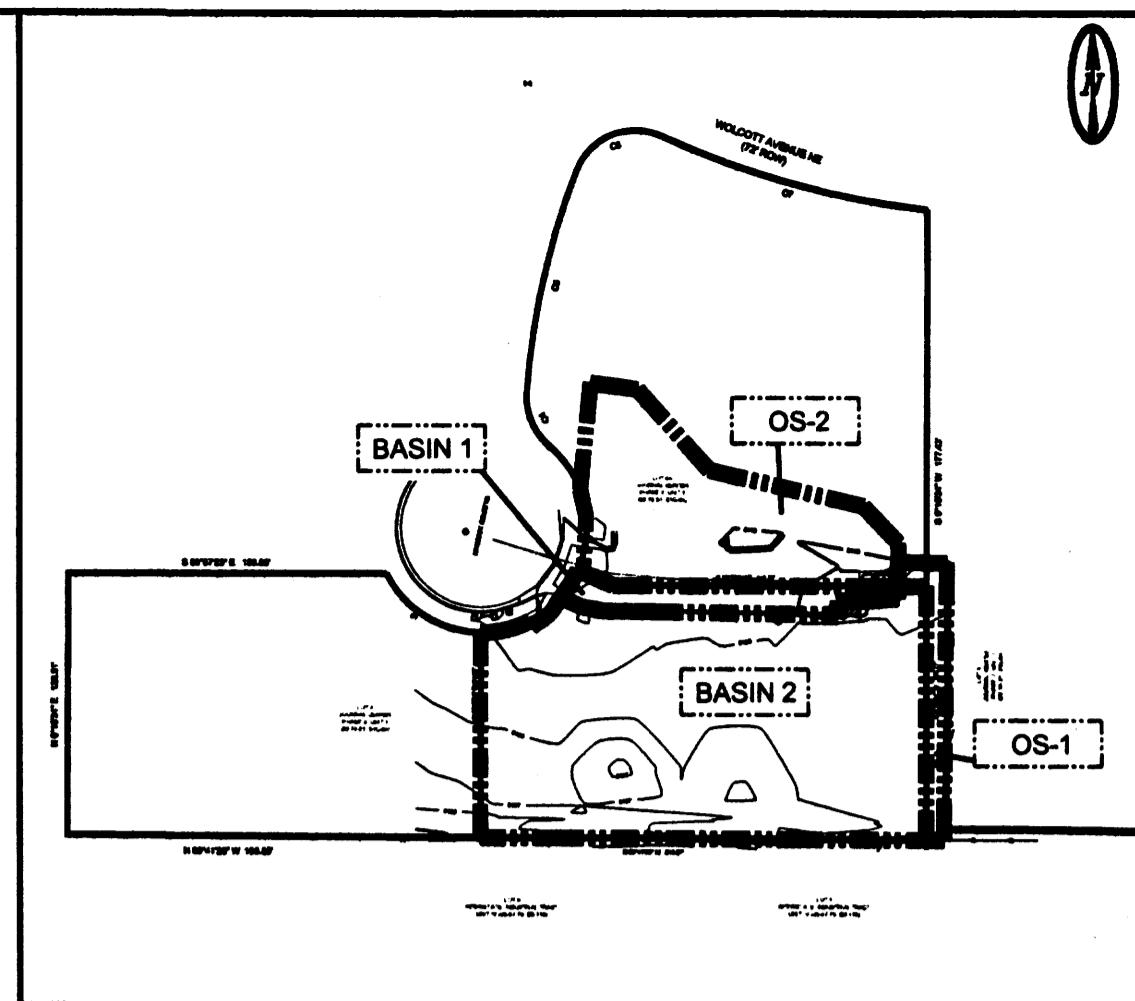


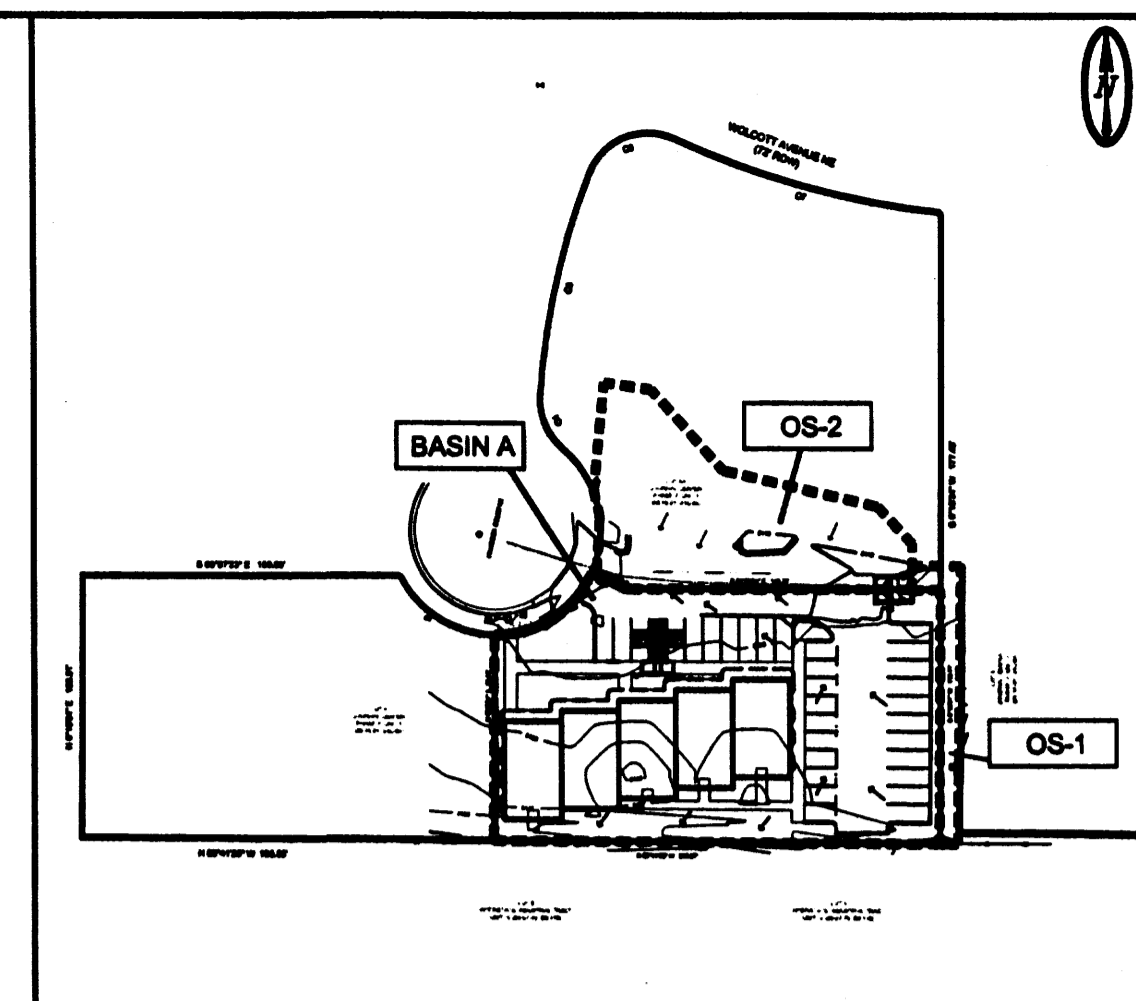
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	63°21'28"	N 20°14'28" E	50.0'	55.29'	52.52'
C2	66°19'11"	N 57°09'18" W	50.0'	57.87'	54.70'
C3	73°49'37"	N 12°55'08" W	50.0'	64.43'	60.06'



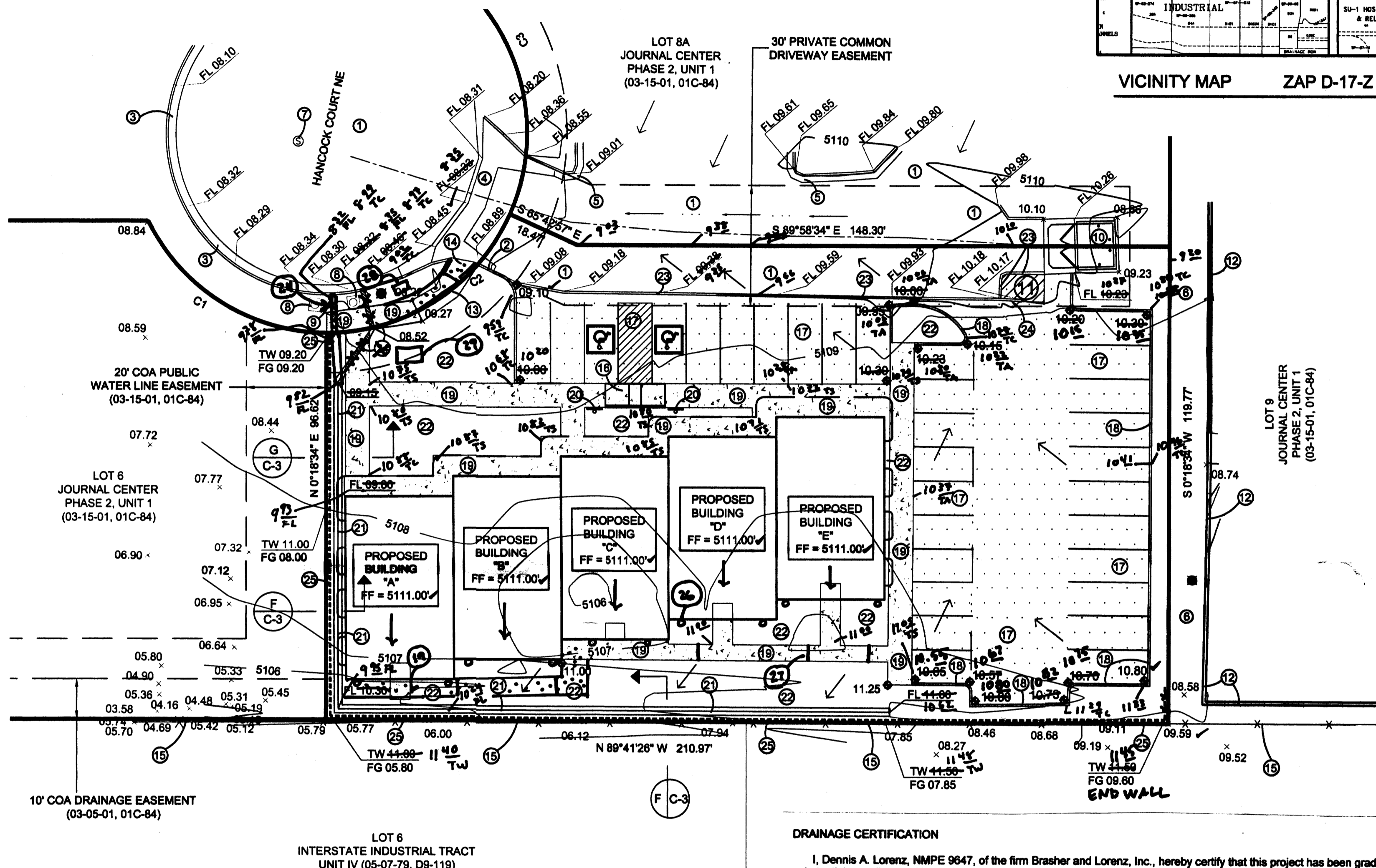
VICINITY MAP ZAP D-17-Z NTS



EXISTING BASIN MAP NTS



PROPOSED BASIN MAP NTS



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF LOT 7A BY CONSTRUCTING AN OFFICE BUILDING WITH ASSOCIATED SITE IMPROVEMENTS. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 0.57 ACRES AND IS LOCATED AT 7400 HANCOCK COURT NE, JUST SOUTH OF WOLCOTT AVENUE NE. THE SITE IS UNDEVELOPED WITH THE EXCEPTION OF A PAVED ACCESS DRIVE LOCATED ALONG THE NORTH PROPERTY LINE. THE SITE IS BOUNDED TO THE NORTH AND EAST BY OFFICE BUILDINGS, TO THE SOUTH BY INDUSTRIAL PROPERTIES AND TO THE WEST BY AN UNDEVELOPED PROPERTIES. CURRENTLY, THE SITE SLOPES FROM NORTH TO SOUTH AT APPROXIMATELY 0.5 TO 2 PERCENT. ON-SITE RUNOFF FROM THE PAVED ACCESS DRIVE DRAINS NORTH ONTO HANCOCK COURT NE AND THE UNDEVELOPED PORTION OF THE SITE DRAINS SOUTH TO A DITCH LOCATED ALONG THE SOUTHERN PROPERTY LINE WHERE THE RUNOFF DRAINS INTO LOT 6, INTERSTATE INDUSTRIAL TRACT, UNIT IV. OFFSITE RUNOFF IMPACTS THE SITE FROM THE NORTH AND THE EAST. OFFSITE RUNOFF, FROM THE PARKING LOT TO THE NORTH, DRAINS ONTO THE PAVED ACCESS DRIVE WHERE IT IS CHanneled ALONG WITH THE ON-SITE RUNOFF, TO HANCOCK COURT NE. FROM THE EAST, A SMALL PORTION OF OFFSITE RUNOFF FROM LOT 9 DRAINS TO THE ABOVE MENTIONED DITCH WHERE IT COMBINES WITH THE ON-SITE RUNOFF.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING AN OFFICE BUILDING WITH RELATED SITE IMPROVEMENTS. ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES. DUE TO LIMITED DOWNSTREAM IMPROVEMENTS WITHIN THE 10' COA DRAINAGE EASEMENT WITHIN LOT 6A, ALL RUNOFF WILL BE ROUTED TO HANCOCK CT. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. OFFSITE RUNOFF WILL CONTINUE TO FLOW IN ITS HISTORIC CONDITIONS. THIS IS AN INFILL SITE. ON-SITE PONDING IS NOT RECOMMENDED.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SINCE THE SITE CONTAINS LESS THAN 1.0 ACRES, A SWPPP IS NOT REQUIRED.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/8 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

BAR SCALE

5' 0' 10' 20'
(IN FEET)
1" = 20'

PROJECT DATA

PROPERTY ADDRESS

7400 HANCOCK CT. NE

LEGAL DESCRIPTION

LOT 7A
JOURNAL CENTER
PHASE 2, UNIT 1
ALBUQUERQUE, NM 87121

PROPERTY ZONING

IP

MAPPING

ALL PROJECT SURVEYING
BY BRASHER & LORENZ, INC.
DECEMBER, 2007

PROJECT BENCHMARK

ACS MONUMENT "13_D16"
ELEVATION: 5073.471 FEET
ACS MONUMENT "REEVES-2"
HORIZONTAL DATUM
1988 NGVD

DRAINAGE CERTIFICATION

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 01-08-2008. The record information edited onto the original design document has been obtained by Preston E. Hall, NMPS 10042.

I further certify that I have personally visited the project site on 08-15-2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dennis A. Lorenz, NMPE 9647
Date: 9/16/08

9/16/08

9/16/08

9/16/08

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9/16/08

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

KEYED NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING HEADER CURB TO BE REMAIN.
- EXISTING STANDARD CURB AND GUTTER.
- EXISTING CONCRETE VALLEY GUTTER.
- EXISTING 8" CURB AND GUTTER.
- EXISTING LANDSCAPING.
- EXISTING SAS MANHOLE. RIM = 5108.61'
INV (SE) = 5097.60'
INV (SW) = 5097.56'
INV (N) = 5097.36'
- EXISTING WATER METER.
- EXISTING FIRE HYDRANT.
- EXISTING REFUSE ENCLOSURE.
- EXISTING ASPHALT TO BE REMOVED AND REPLACED.
- EXISTING WALL.
- EXISTING CONCRETE SIDEWALK - REMOVED.
- EXISTING HANDICAP RAMP.
- EXISTING CHAIN LINK FENCE.
- CONSTRUCT NEW HANDICAP ACCESS RAMP. SEE DETAIL (D/C-3)
- NEW ASPHALT PAVEMENT.
- NEW HEADER CURB.
- NEW CONCRETE SIDEWALK.
- NEW HANDICAP SIGNAGE.
- NEW CONCRETE VALLEY GUTTER. SEE LANDSCAPING PLAN.
- EXISTING HEADER CURB TO BE REMOVED AND DISPOSED.
- NEW 12" SIDEWALK CULVERT. PER COA STD DWG 2236.
- NEW RETAINING WALL. SEE DETAIL (D/C-3)

- ROOF DRAIN (106A)
- GUTTERED SW DRAIN (56A)
- NH MAILBOX

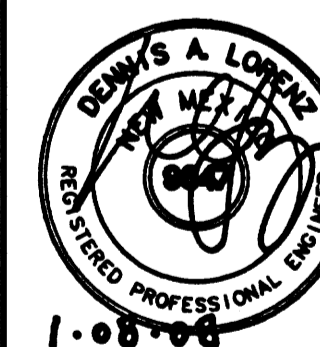
- PRIMARY ELEC METER

PROJECT HYDROLOGY									
AHYMO									
ZONE:	2	HANCOCK OFFICE BUILDING							
P ₆ HOUR	2.35"								
P ₁₀ DAY	3.95"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
1	0.04	0.00	0.00	0.00	0.04	2.12	0.2	0.007	
2	0.53	0.00	0.00	0.00	0.53	0.53	0.8	0.023	
QS - 1	0.03	0.00	0.00	0.03	0.00	1.13	0.1	0.003	
QS - 2	0.19	0.00	0.00	0.08	0.13	1.80	0.8	0.028	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A	0.57	0.00	0.00	0.05	0.52	2.03	2.8	0.096	
QS - 1	0.11	0.00	0.00	0.03	0.00	1.13	0.1	0.003	
QS - 2	0.19	0.00	0.00	0.08	0.13	1.80	0.8	0.023	

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

HANCOCK OFFICE BUILDING
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #0761

REVISION DATE
9-16-08 G+D
CPT
D.L.



1-08-08

1-08-08

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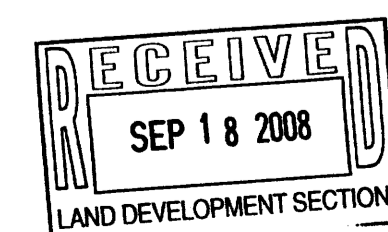
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DATE
01-07-2008

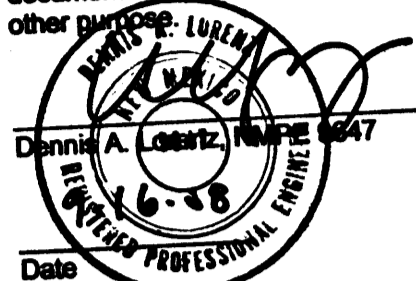
SHEET NUMBER
C-2

ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Braher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Site Plan/Traffic Circulation Layout prepared by Rick Bennett Architects, approved by DRB on 6-16-2008.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

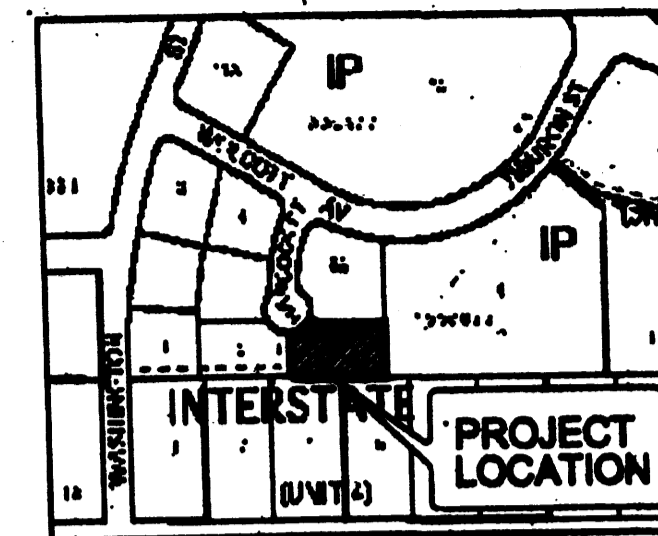
The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



PARKING REQUIREMENTS

PARKING REQUIRED:	4,875 S.F. NET S.F. / 200 = 24 SPACES
H.C. SPACES REQUIRED:	2 H.C. SPACES (1 VAN SPACE)
PARKING PROVIDED:	24 REG. SPACES
H.C. PARKING PROVIDED:	2 H.C. SPACES (24 x 25% = 6)
SMALL CAR 25% OF REQ.	17 REG. SPACES
MOTORCYCLE SPACE	9 SMALL CAR SPACES
TOTAL PARKING PROVIDED:	1 SPACES PROVIDED
BICYCLE RACK REQUIRED	29 TOTAL PARKING SPACES
	2 PROVIDED

LOT 8A
JOURNAL CENTER
PHASE 2, UNIT 1
(03-15-01, 01C-84)



VICINITY MAP

KEYED NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING HEADER CURB TO BE REMAIN.
- EXISTING STANDARD CURB AND GUTTER.
- EXISTING CONCRETE VALLEY GUTTER.
- EXISTING 6" CURB AND GUTTER.
- EXISTING LANDSCAPING.
- EXISTING SAS MANHOLE, RM = 5108.61'
IN (SE) = 5097.80'
IN (SW) = 5097.56'
IN (N) = 5097.36'
- EXISTING 1" WATER METER.
- EXISTING FIRE HYDRANT.
- EXISTING REFUSE ENCLOSURE.
- EXISTING ASPHALT TO BE REMOVED AND REPLACED.
- EXISTING WALL.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING H.C. ACC. RAMP, SEE DETAIL 17C-1.
- EXISTING CHAIN LINK FENCE.
- CONSTRUCT NEW HANDICAP ACCESS RAMP, SEE DETAIL 17C-2.
- NEW ASPHALT PAVEMENT.
- NEW HEADER CURB.
- NEW CONCRETE SIDEWALK.
- NEW HANDICAP SIGNAGE, SEE DETAIL 17C-1.
- NEW CONCRETE VALLEY GUTTER.
- NEW LANDSCAPING, SEE LANDSCAPING PLAN.
- EXISTING HEADER CURB TO BE REMOVED AND DISPOSED.
- NEW 12" SIDEWALK CULVERT, PER COA STD DWG 2234.
- NEW REMAINING WALL, SEE DETAIL 17C-3.
- NEW CONCRETE WHEEL STOPS.
- NEW H.C. ACC. CONCRETE RAMP PER COA DRAWING 2428.
- NEW BICYCLE RACK SEE DETAIL 17C-2.

EXISTING F.H.
150' FROM
N.E. CORNER
OF BLDG.

PROJECT NUMBER: 1007258

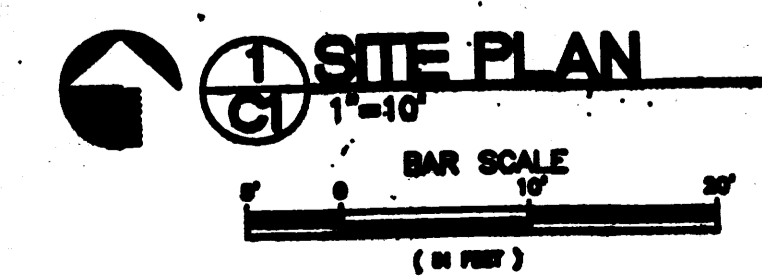
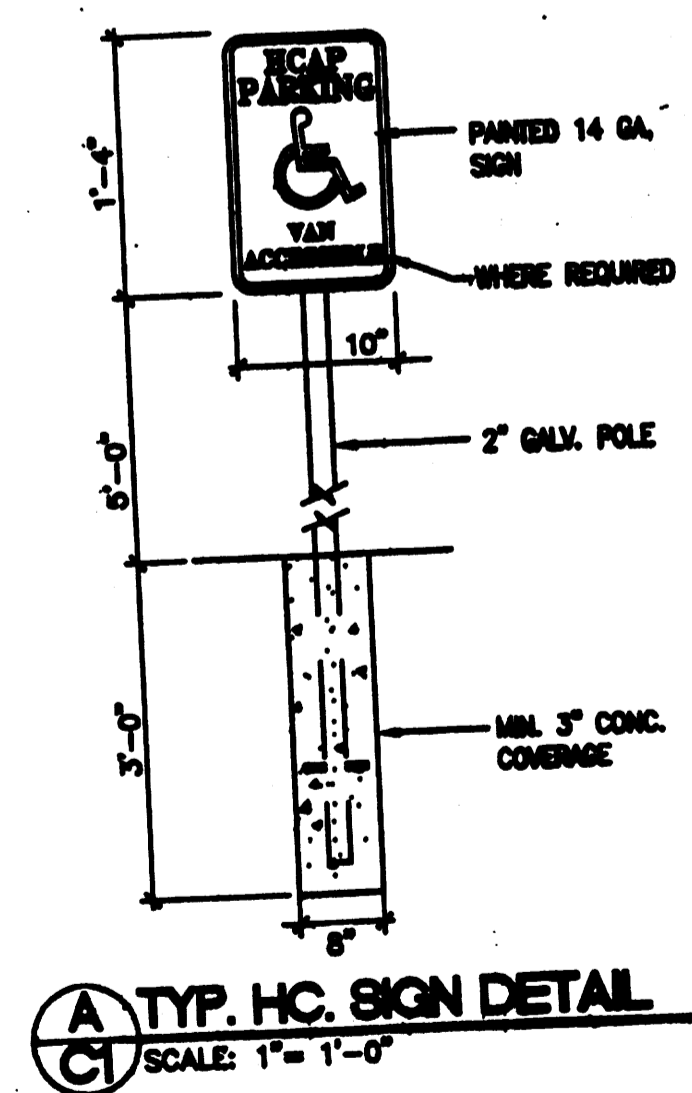
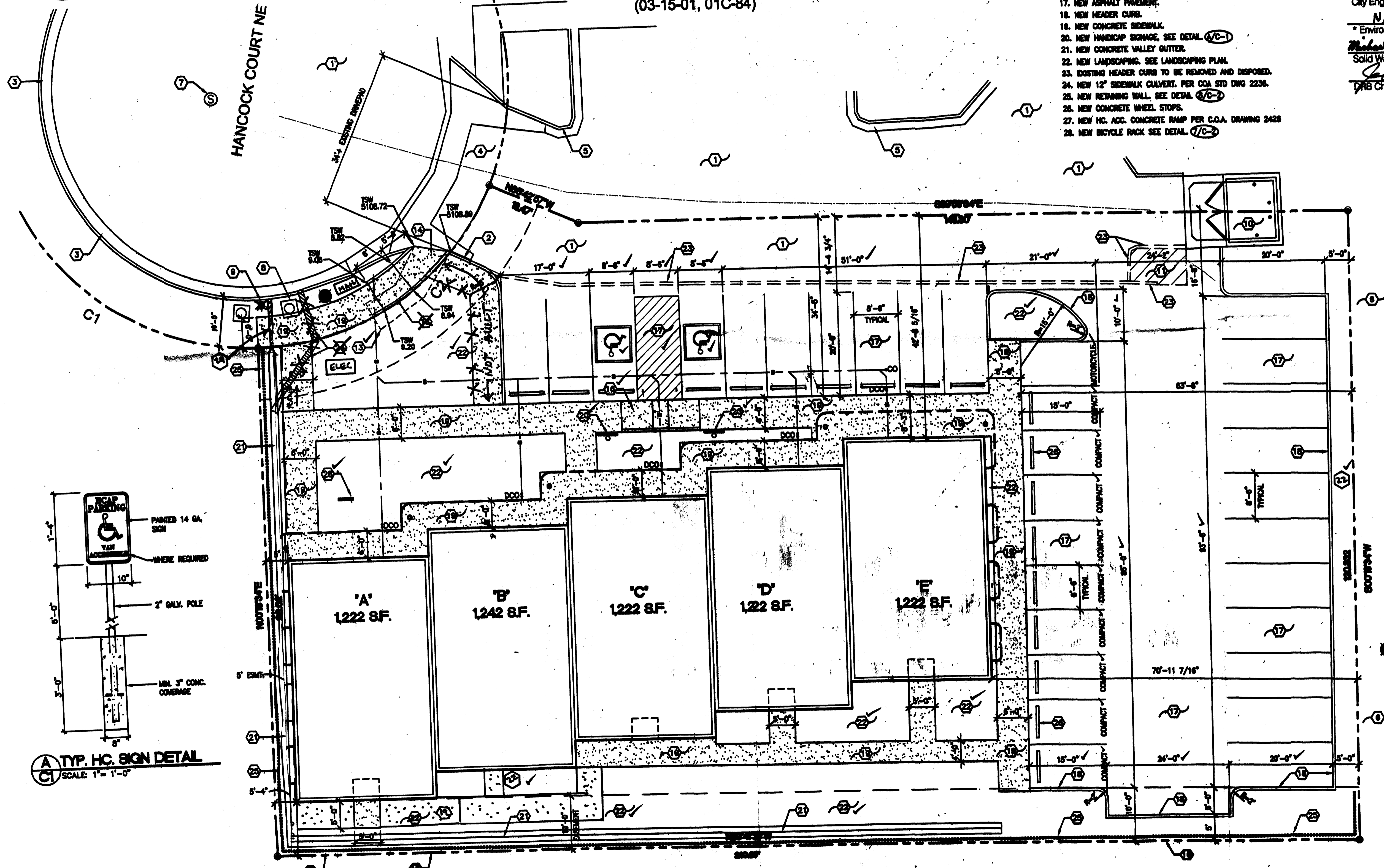
Application Number: 08DRB-70200

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

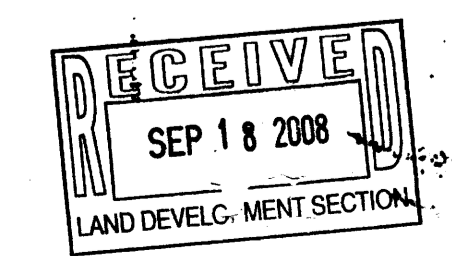
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	Date 6-13-08
Traffic Engineering, Transportation Division	
<i>[Signature]</i>	Date 5-21-08
Water Utility Department	
<i>[Signature]</i>	Date 5/21/08
Parks and Recreation Department	
<i>[Signature]</i>	Date 5/21/08
City Engineer	
N/A	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	Date 6/16/08
Solid Waste Management	
<i>[Signature]</i>	Date 6/16/08
DRB Chairperson, Planning Department	

LINE LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE
---	TO BE REMOVED
---	SAS



LEGAL DESCRIPTION
LOT 2A, UNIT 1
JOURNAL CENTER PHASE 2
ZONING 1P
ALBUQUERQUE, NEW MEXICO



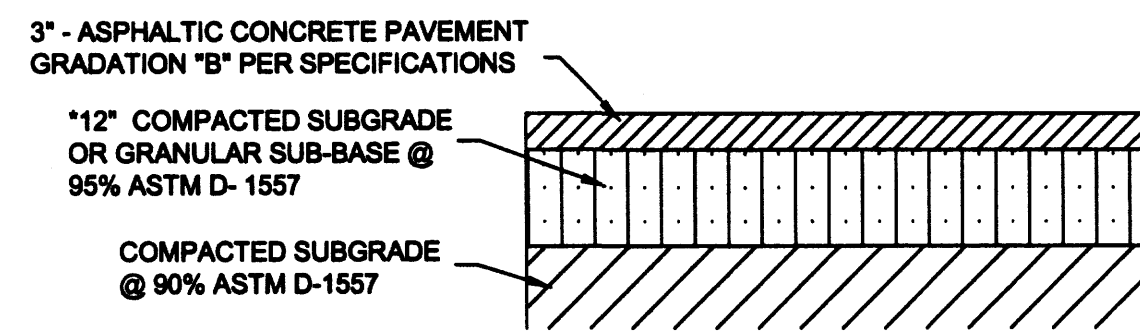
HANCOCK OFFICE BUILDING
SITE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT 80761

REVISION DATE
08-21-2008
TCL CPT
9-16-08 DL

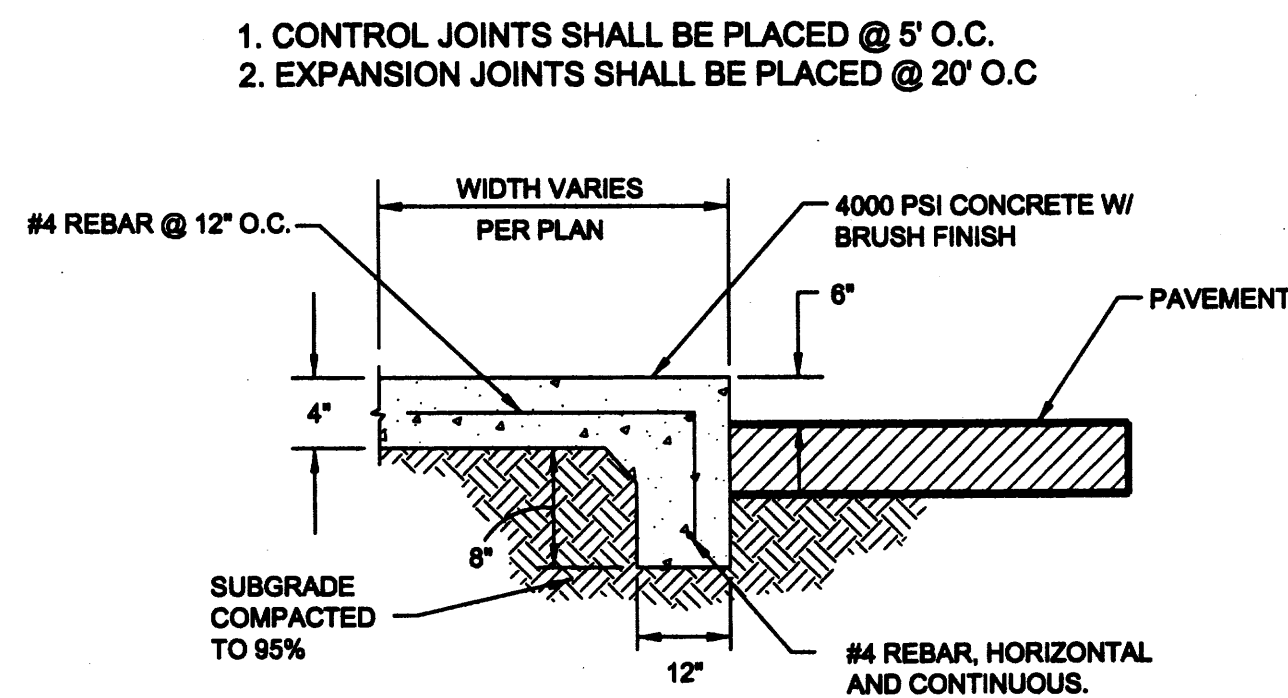
DATE
01-08-2008

SHEET NUMBER
C-1

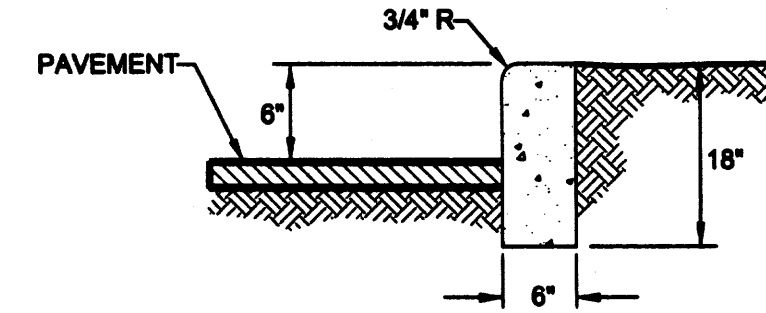
rick
bennett
ARCHITECTS
1001 First Avenue SE - Albuquerque, New Mexico 87102



PAVEMENT SECTION A
NTS C-3



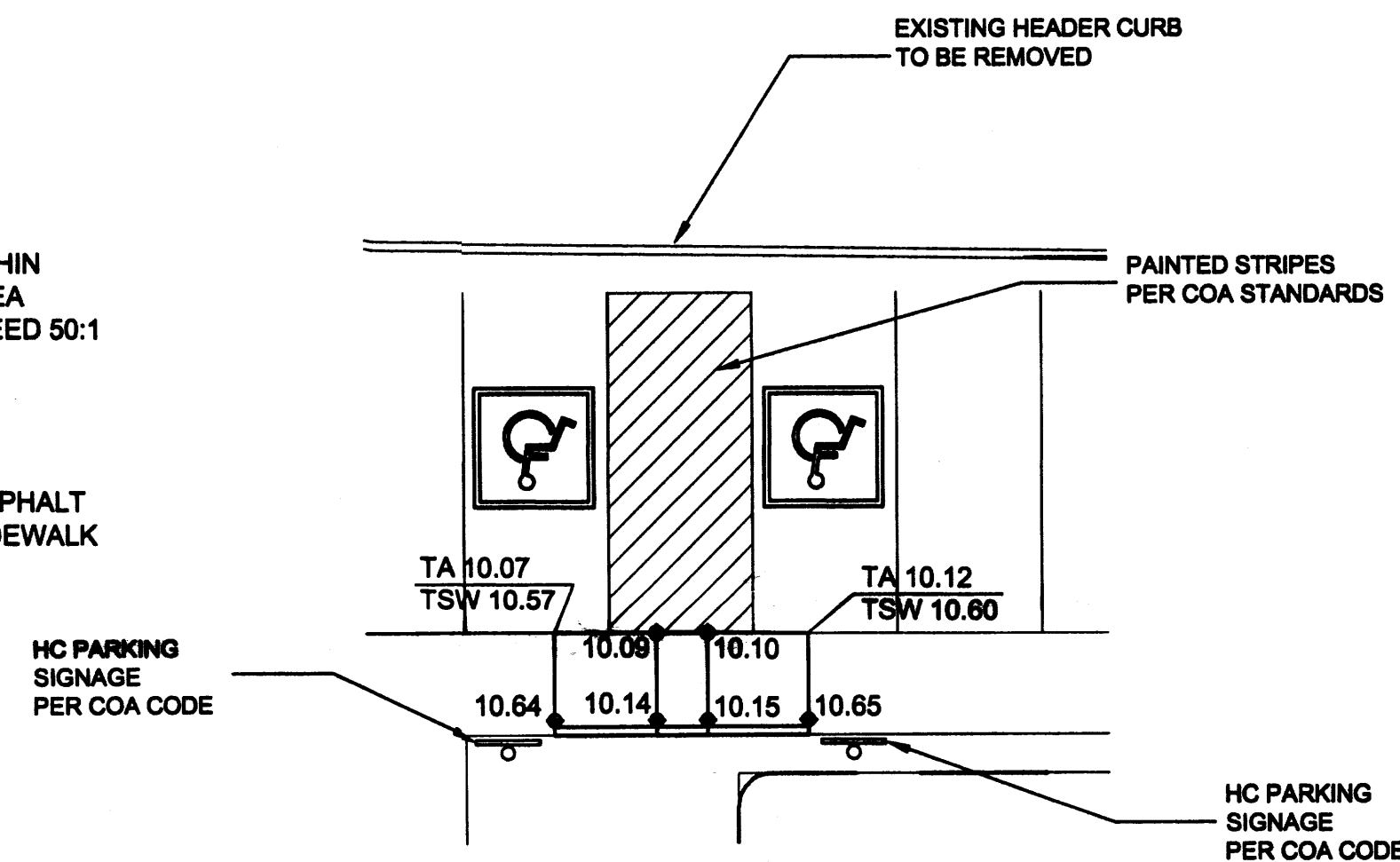
TURN DOWN SIDEWALK B
NTS C-3



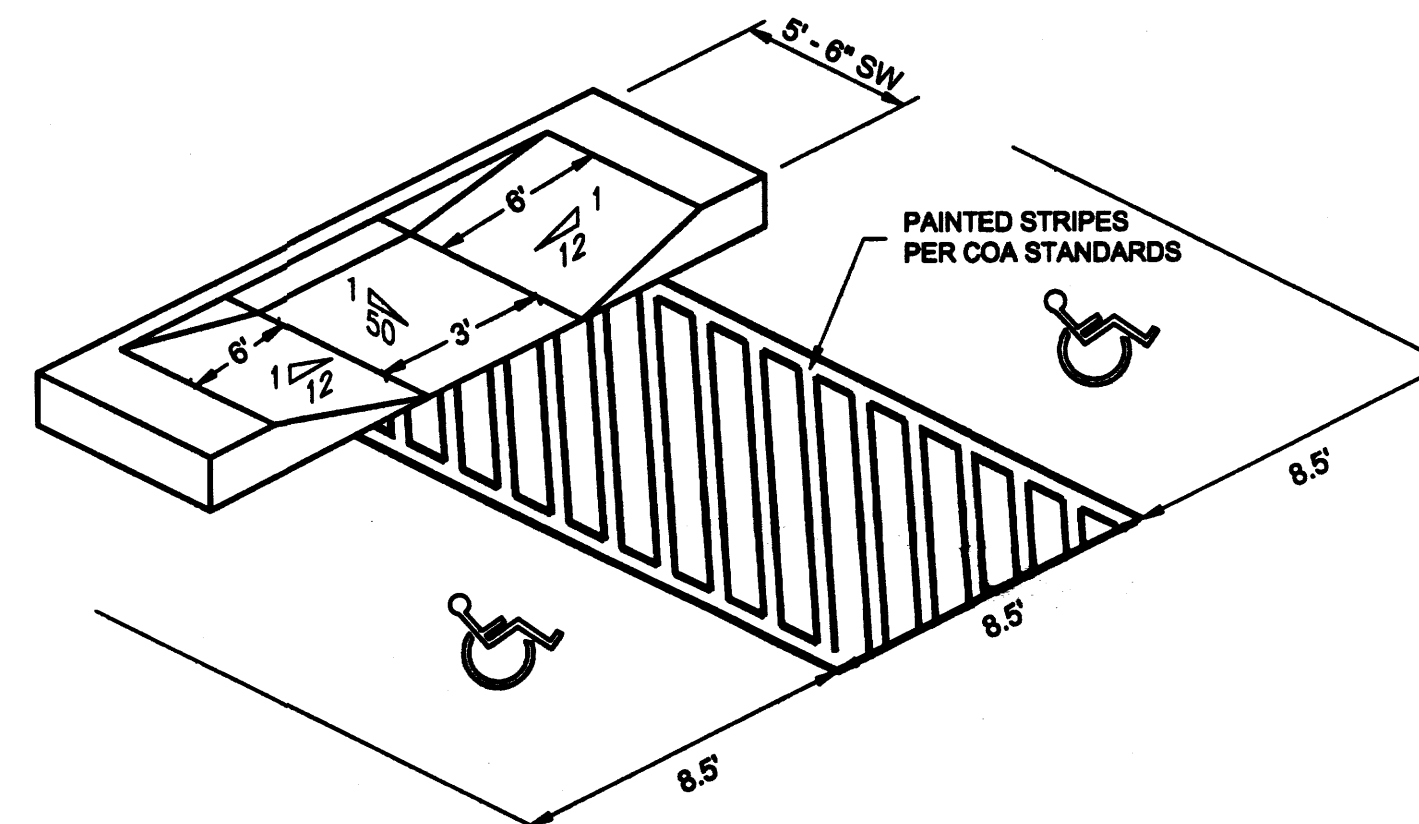
6" HEADER CURB C
NTS C-3

NOTE:
ALL SLOPES WITHIN
ACCESSIBLE AREA
SHALL NOT EXCEED 50:1

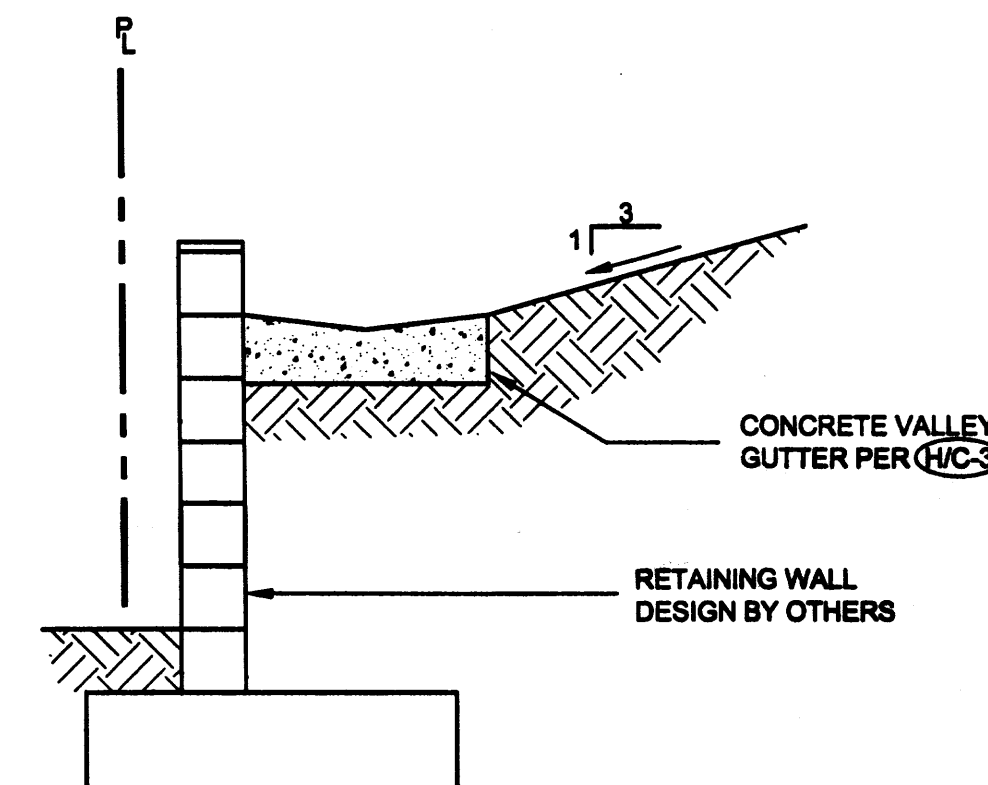
LEGEND
TA TOP OF ASPHALT
TSW TOP OF SIDEWALK



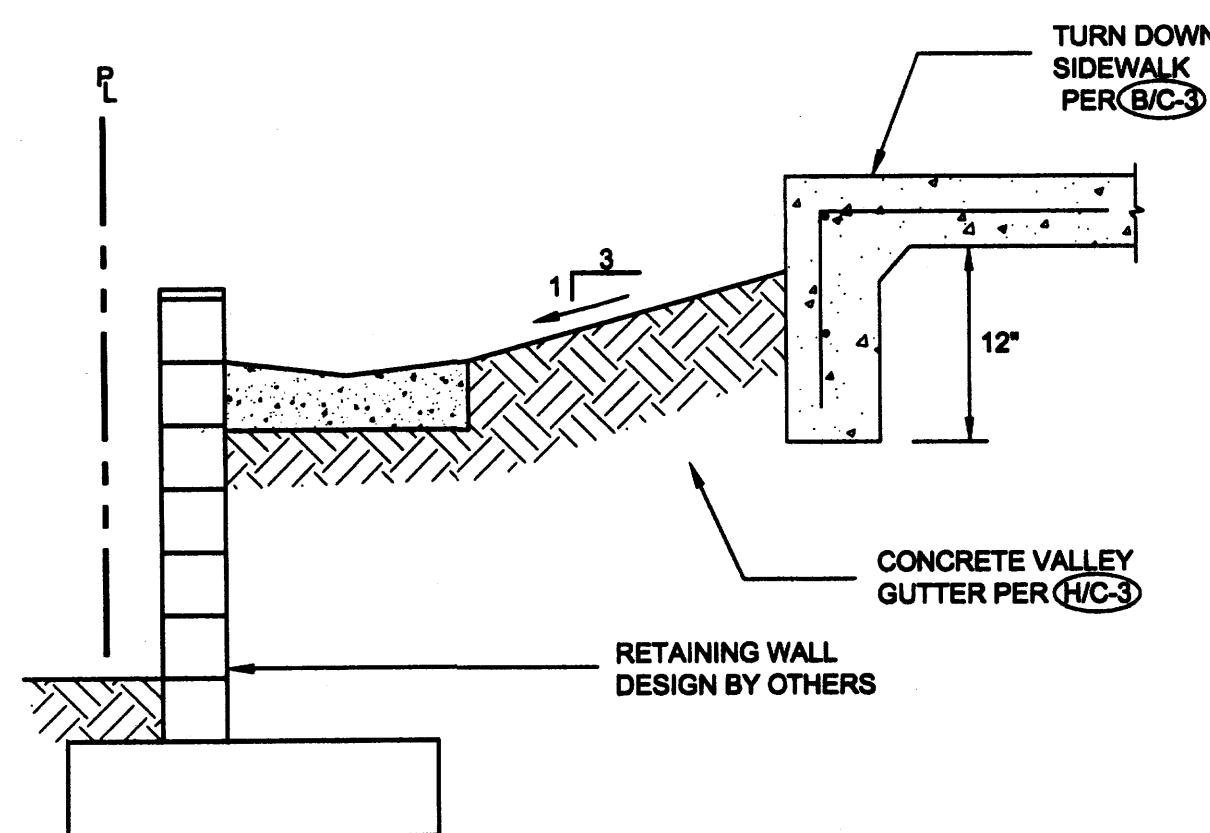
ACCESSIBLE PARKING AND
HANDICAP ACCESS RAMP D
NTS C-3



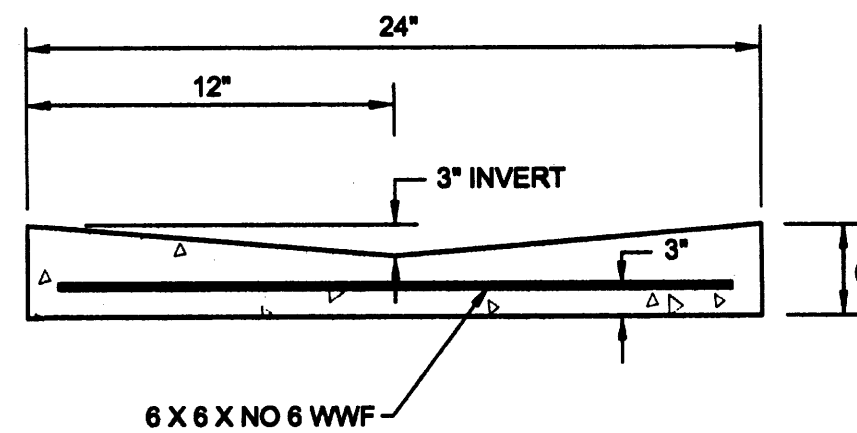
ACCESSIBLE PARKING AND
HANDICAP ACCESS RAMP E
NTS C-3



RETAINING WALL DETAIL F
NTS C-3



RETAINING WALL DETAIL G
NTS C-3



24" VALLEY GUTTER H
NTS C-3

- DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR**
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
 3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS

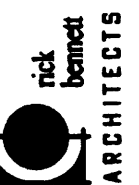
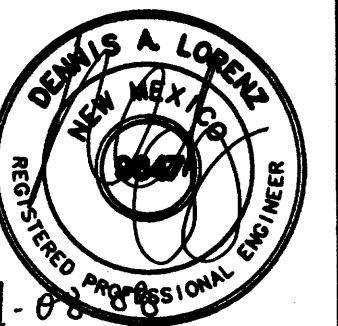
INSPECTOR

DATE

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

HANCOCK OFFICE BUILDING
GRADING AND DRAINAGE DETAILS
ALBUQUERQUE, NEW MEXICO
PROJECT #0761

REVISION DATE



DATE
01-07-2008

SHEET NUMBER
C-3

