

# CITY OF ALBUQUERQUE



December 24, 2015

Richard J. Berry, Mayor

Mike Walla, P.E.  
Walla Engineering, Ltd  
6501 Americas Parkway NE, Suite 301  
Albuquerque, NM, 87110

**RE: Kinesio Headquarters  
Grading and Drainage Plan  
Engineer's Stamp Date 11-30-2015 (File: D17D103)**

Dear Mr. Walla:

Based upon the information provided in your submittal received 12-3-2015, and information provided for DRB (12/23/2015) action, the above-referenced plan is approved for Site Plan for Building Permit.

The following comments, however, need to be addressed prior to Building Permit approval:

PO Box 1293

1. We understand that the license agreement with AMAFCA is in progress for the drainage outlet onto their Right of Way. Concurrence that the license agreement is completed (or that it will be completed) will be needed. Provide a calculation of the capacity of the outlet opening/structure to show that the peak flow of the pond is controlled.

Albuquerque

2. Provide a capacity vs required flow calculation for the rundown just downstream of the last roof drain to show that the peak flow is contained in the structure.

New Mexico 87103

3. Beginning January 15<sup>th</sup>, 2016, the City will amend the standard city street section (std drawing 2405A and B) to include a depressed landscape buffer between the sidewalk and back of curb. We request that you consider implementing this detail for the landscape buffer on the Masthead Street frontage.

www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

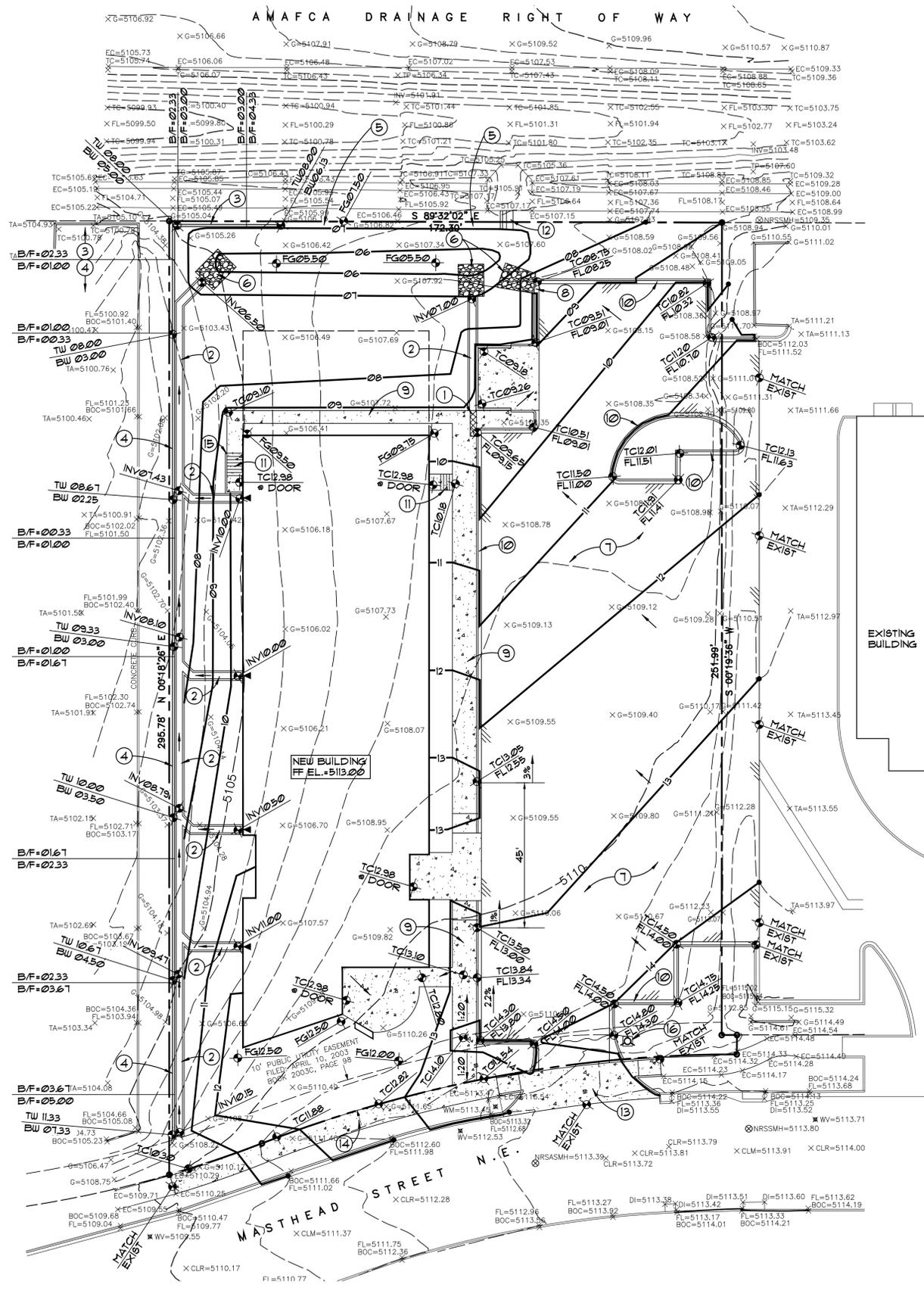
- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1 | grading and drainage plan  
 1"=20'  
 0 10' 20' 40' 60'

### KEYED NOTES

- 2'-0" WIDE SIDEWALK CULVERT PER COA STANDARD DRAWING 2236
- 2'-0" WIDE CONCRETE RUNDOWN PER 1/2C101
- SITE RETAINING WALL PER 3/2C101
- SITE RETAINING WALL PER 4/2C101
- PROVIDE DIRT BERM AT NORTH EDGE OF POND
- 8'-0" W.D. x 10'-0" LONG 4" TO 6" RIPRAP PAD AT CHANNEL OUTLET PER 5/C201
- 3" THICK ASPHALT PAVING PER 2/C201
- 2'-0" WIDE BREAK IN CURB FOR DRAINAGE OUTLET
- 4" 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK W/ MAXIMUM 2% CROSS SLOPE
- 4000 PSI, AIR-ENTRAINED CONCRETE CURB AND GUTTER PER 6/C201
- 4000 PSI, AIR-ENTRAINED CONCRETE STAIR PER 1/C201
- SAWCUT EXISTING CURB AND REMOVE AS REQUIRED FOR NEW POND OUTLET - CONSTRUCT INFILTRATION/DISSIPATION CHANNEL PER 9/C201
- CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2425
- CONCRETE SIDEWALK IN CITY ROW, PER C.O.A. STANDARD DRAWING 2430
- CONCRETE RETAINING WALL AT STAIR AND LANDING PER 8/C201
- NEW FIRE HYDRANT PER ABCUWA STANDARD DRAWING 2340

### LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- - - 5110 - - - EXISTING CONTOUR
- NEW CONTOUR
- X G=5109.55 EXISTING SPOT ELEVATION
- 1050 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- EC EDGE OF CONCRETE
- DI DROP INLET
- FL FLOW LINE
- TG TOP OF GRATE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- BOC BACK OF CURB
- NR88MH NORTH RIM SANITARY SEWER MANHOLE
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- [Symbol] ROOF DRAIN LOCATION
- [Symbol] SWALE

### HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2  
 DESIGN STORM: (IN)

	1hr	6hr	24hr	4day	10day
	2.01	2.35	2.75	3.30	3.95

EXISTING CONDITIONS

LAND TRTMT	AREA (ACRE)	AREA %	F6 (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0
C	1.074	100%	1.13	3.14	3.31	4.401	4.401	4.401
D	0.000	0%	2.12	4.10	0.00	0	0	0
<b>TOTALS</b>	<b>1.074</b>	<b>100%</b>		<b>3.31</b>	<b>4.401</b>	<b>4.401</b>	<b>4.401</b>	<b>4.401</b>

PROPOSED CONDITIONS

LAND TRTMT	AREA (ACRE)	AREA %	F6 (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.382	36%	0.78	2.28	0.81	1.082	1.082	1.082
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.692	64%	2.12	4.10	3.25	5.325	6.330	7.112
<b>TOTALS</b>	<b>1.074</b>	<b>100%</b>		<b>4.12</b>	<b>6.401</b>	<b>7.412</b>	<b>8.793</b>	<b>10.426</b>

FIRST FLUSH: 30130 SF x 0.44"/2 IN PER FT = 1105 CF  
 POND VOLUME: 2205 SF x 125"/2 = 1378 CF

### LEGAL DESCRIPTION

LOT NUMBERED ONE (1) IN PHASE 2 UNIT2, JOURNAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "13-ET", HAVING AN ELEVATION OF 5141.036, NAVD 1988

### DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 9800 SF BUILDING AND PARKING LOT TO BE CONSTRUCTED ON AN UNIMPROVED 1/4 ACRE SITE. THE EXISTING SITE SLOPES FROM SOUTHEAST TO NORTHWEST AND BORDERS AN EXISTING CONCRETE PAVED AMAFCA DRAINAGE CHANNEL LOCATED ALONG THE NORTH PROPERTY LINE. THE EAST EDGE OF THE NEW PARKING LOT WILL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ADJACENT DEVELOPMENT PARKING LOT. HOWEVER, NO SIGNIFICANT OFFSITE RUNOFF AFFECTS THE SUBJECT SITE, EITHER PRE-DEVELOPMENT OR POST DEVELOPMENT, DUE TO A VALLEY GUTTER IN THE PAVED AREA ON THE PROPERTY TO THE EAST WHICH DIRECTS DEVELOPED RUNOFF TO THE AMAFCA CHANNEL. THE NEW PROJECT IS DESIGNED TO COLLECT DEVELOPED ROOF RUNOFF IN A CONCRETE CHANNEL WEST OF THE BUILDING AND DIRECT IT TO A POND AT THE NORTH END OF THE SITE. THE PARKING LOT RUNOFF WILL SIMILARLY FLOW TO THIS POND WHICH HAS CAPACITY TO STORE THE "FIRST FLUSH" VOLUME BEFORE RUNOFF EXITS THE SITE VIA A CONCRETE INFILTRATION TRENCH TO THE AMAFCA CHANNEL. A RETAINING WALL WILL BE CONSTRUCTED ALONG THE WESTERN EDGE OF THE PROPERTY TO FACILITATE A GRADE CHANGE BETWEEN THE SUBJECT SITE AND THE MUCH LOWER DEVELOPED SITE TO THE WEST.

### EROSION CONTROL PLAN

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1982 (N.M. ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



**Walla** Structural Engineering  
 ENGINEERING LTD. Civil Engineering  
 5501 Americas Parkway NE Suite 301  
 Albuquerque, New Mexico 87110  
 861-3008 • Facsimile 861-4025

a new headquarters for:



4001 masthead street  
 albuquerque, new mexico

**EB**  
 Enterprise Builders  
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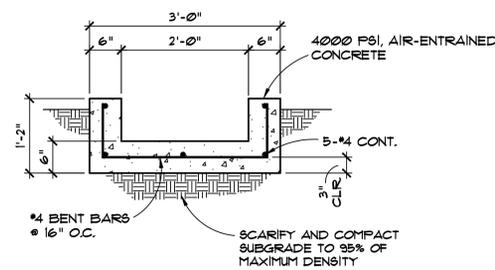
**slagleherrarchitects**  
 413 second street sw  
 albuquerque nm  
 87102  
 5052460870  
 slagleherr.com

### GRADING AND DRAINAGE PLAN

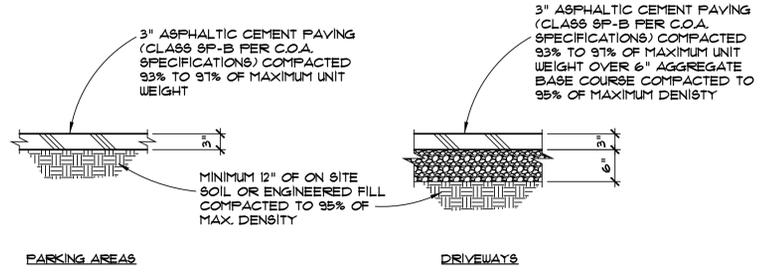


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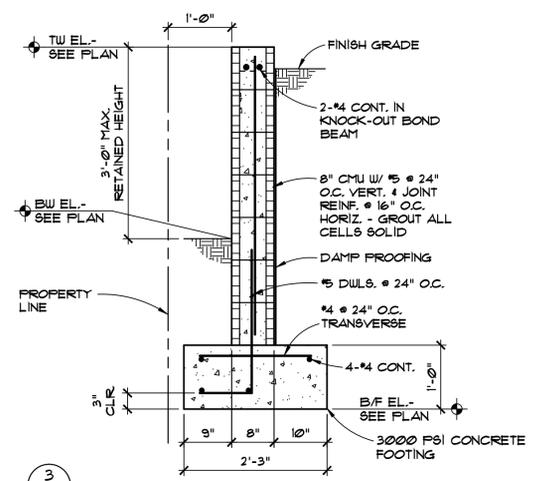
date  
**11-30-15**  
 sheet  
**C101**



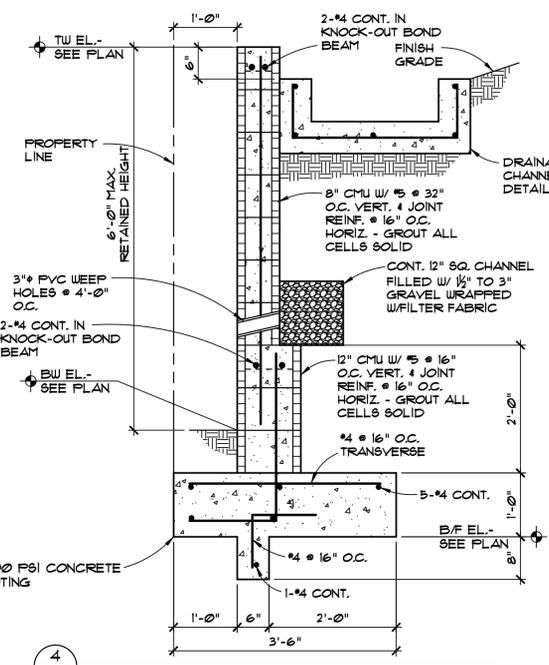
1 CONCRETE CHANNEL  
3/4"=1'-0"



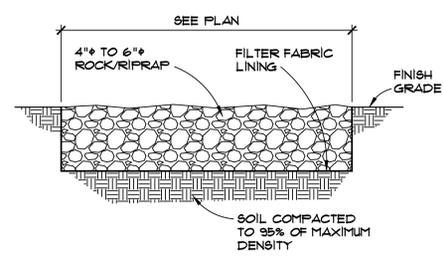
2 TYPICAL PAVING SECTIONS  
3/4"=1'-0"



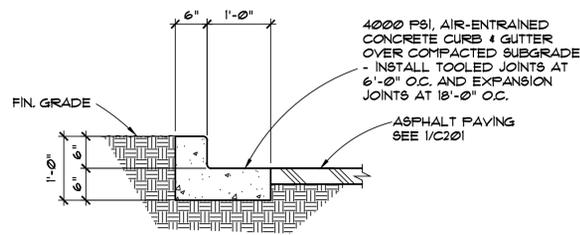
3  
3/4"=1'-0"



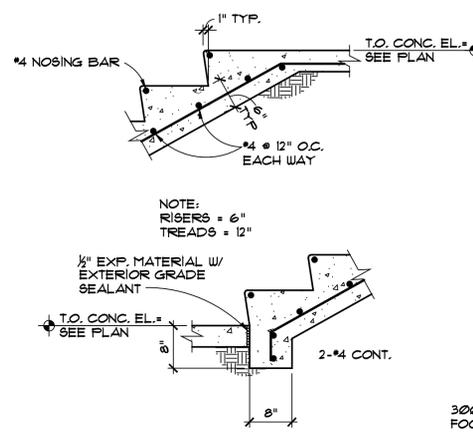
4  
3/4"=1'-0"



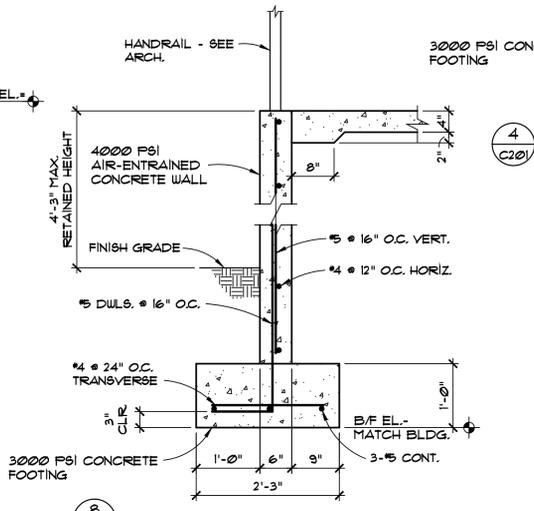
5 RIP RAP PAD  
3/4"=1'-0"



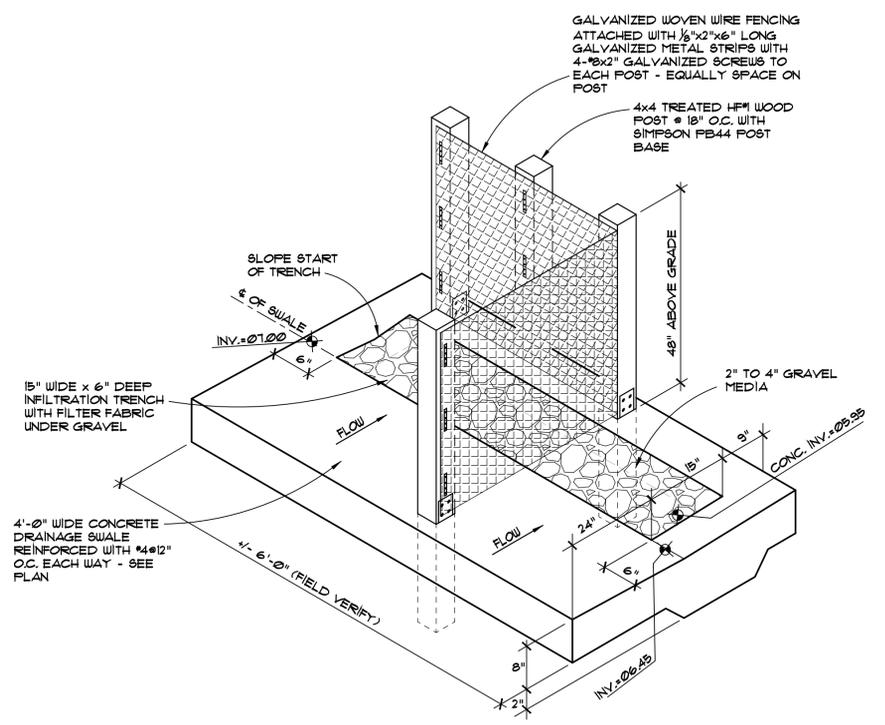
6 TYPICAL CURB AND GUTTER SECTION  
3/4"=1'-0"



7 TYPICAL CONCRETE STAIR SECTION  
3/4"=1'-0"



8  
3/4"=1'-0"



9 INFILTRATION TRENCH  
3/4"=1'-0"

**Walla** Structural Engineering  
Civil Engineering  
ENGINEERING LTD.  
6501 Americas Parkway NE • Suite 307  
Albuquerque • New Mexico • 87110  
881-3008 • Facsimile 881-4025

a new headquarters for:



4001 masthead st ne  
albuquerque, new mexico

**EB**  
Enterprise Builders  
CORPORATION  
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**slagleherrarchitects**  
413 second st sw  
albuquerque nm  
87102  
5052460870  
slagleherr.com

CIVIL DETAILS



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date  
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