

CITY OF ALBUQUERQUE



Planning Department
Suzanne Lubar, Director

Mayor Richard J. Berry

August 19, 2016

Mike Walla, P.E.
Walla Engineering
6501 Americas Parkway NE Suite 301
Albuquerque, New Mexico 87110

RE: **KINESIO Headquarters**
4001 Masthead St. NE
Requested for 30-day Temporary C. O. - Accepted
Engineers Stamp Date 2/5/16 (D17D103)
Certification dated: 8-15-16

PO Box 1293

Dear Mr. Walla,

Albuquerque

Based on the Certification received 8/16/2016, the above referenced is acceptable for 30-day temporary release of Certificate of Occupancy by Hydrology.

New Mexico 87103

- The swale that fronts the property needs to be put in place.
- The transition between this property and the adjacent property to the west should be revised. The swaddle should be moved to the adjacent property. In its place fractured rock should be placed so any spillage from the 2' concrete rundown will overflow on top of the fractured rock prior to draining on to the swaddle.

www.cabq.gov

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

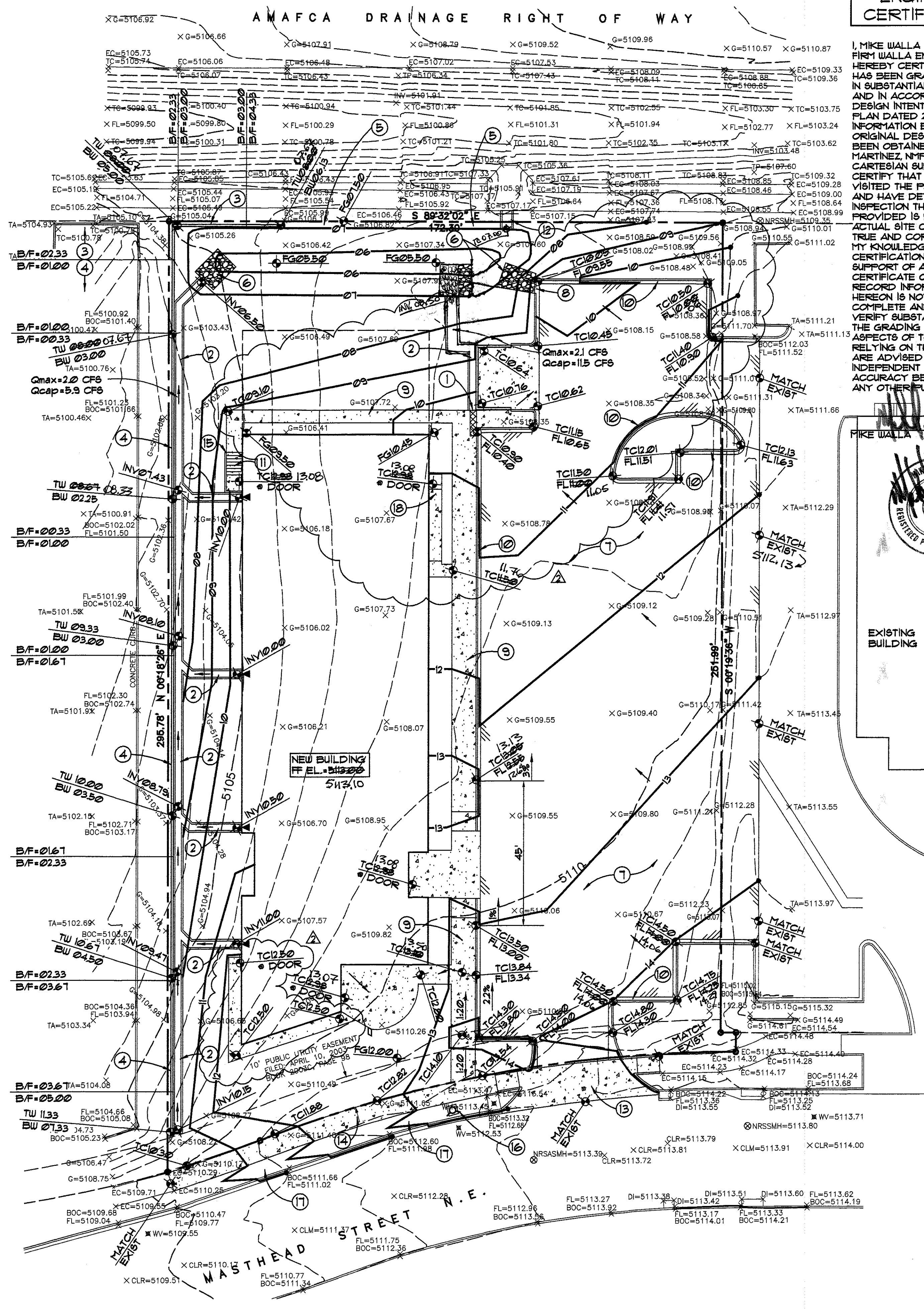
Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

TE/RH

C: email,

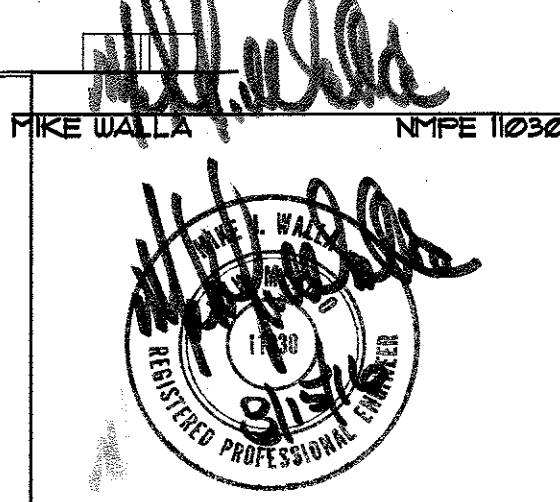
Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



ENGINEERS CERTIFICATION

KEYED NOTES

I, MIKE WALLA NFFE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2-5-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM BRIAN J. MARTINEZ, NFFE 10314, OF CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-12-16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



- 2'-0" WIDE SIDEWALK CULVERT PER COA STANDARD DRAWING 2236
- 2'-0" WIDE CONCRETE RUNDOWN PER 1/C201
- SITE RETAINING WALL PER 3/C201
- SITE RETAINING WALL PER 4/C201
- PROVIDE DIRT BERM AT NORTH EDGE OF POND
- 8'-0" WD. x 10'-0" LONG 4" TO 6" RIPRAP PAD AT CHANNEL OUTLET PER 5/C201
- 3" THICK ASPHALT PAVING PER 2/C201
- 2'-0" WIDE BREAK IN CURB FOR DRAINAGE OUTLET
- 4", 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK W/ MAXIMUM 2% CROSS SLOPE
- 4000 PSI, AIR-ENTRAINED CONCRETE CURB AND GUTTER PER 6/C201
- 4000 PSI, AIR-ENTRAINED CONCRETE STAIR PER 1/C201
- SAUCE EXISTING CURB AND REMOVE AS REQUIRED FOR NEW POND OUTLET. CONSTRUCT INFILTRATION/DISSIPATION CHANNEL PER 9/C201
- CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2425
- CONCRETE SIDEWALK IN CITY ROW PER C.O.A. STANDARD DRAWING 2430
- CONCRETE RETAINING WALL AT STAIR AND LANDING PER 8/C201
- NEW FIRE HYDRANT PER ABCUWA STANDARD DRAWING 2340
- CONSTRUCT LANDSCAPE BUFFER SWALE PER C.O.A. STANDARD DRAWINGS 2405A AND 2405B
- 4000 PSI, AIR-ENTRAINED CONCRETE RAMP TO SLOPE 1:12 MAX. PER 8/C201 SIMILAR

- ### LEGEND
- PROPERTY LINE
 - NEW BUILDING LINE
 - 5110 --- EXISTING CONTOUR
 - NEW CONTOUR
 - X G=5109.55 EXISTING SPOT ELEVATION
 - 1030 NEW SPOT ELEVATION
 - NEW FLOW DIRECTION ARROW
 - TA TOP OF ASPHALT
 - TC TOP OF CONCRETE OR CURB
 - FG FINISHED GRADE
 - EC EDGE OF CONCRETE
 - DI DROP INLET
 - FL FLOW LINE
 - TG TOP OF GRATE
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - B/F BOTTOM OF FOOTING
 - INV INVERT
 - BOC BACK OF CURB
 - NRSSMH NORTH RIM SANITARY SEWER MANHOLE
 - NEW CONCRETE PAVING
 - NEW AC PAVING
 - ROOF DRAIN LOCATION
 - SWALE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2
DESIGN STORM: (IN)

	1hr	6hr	24hr	4day	10day			
	2.01	2.35	2.75	3.30	3.95			
EXISTING CONDITIONS								
LAND AREA								
TRITMT	(ACRE)	AREA	F6	Q	V6			
		%	(CF8/AC)	(CF8)	V24 (CF)			
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.000	0%	0.18	2.28	0.00	0	0	0
C	1.014	100%	1.13	3.14	3.31	4.401	4.401	4.401
D	0.000	0%	2.12	4.10	0.00	0	0	0
TOTALS	1.014	100%	3.31	4.401	4.401	4.401	4.401	4.401
PROPOSED CONDITIONS								
LAND AREA								
TRITMT	(ACRE)	AREA	F6	Q	V6	V24	V4DAY	V10DAY
		%	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.392	36%	0.18	2.28	0.81	1.082	1.082	1.082
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.632	64%	2.12	4.10	3.25	5.325	6.330	7.112
TOTALS	1.014	100%	4.12	6.401	7.412	8.793	10.426	10.426

FIRST FLUSH: 30/30 SF x 0.44"/12 IN PER FT = 1105 CF
POND VOLUME: 2205 SF x 125/12" = 1310 CF
MAXIMUM FLOW AT OUTLET CHANNEL = 3.5 CF8
OUTLET CHANNEL CAPACITY = 24 CF8

LEGAL DESCRIPTION

LOT NUMBERED ONE (1), IN PHASE 2, UNIT 2, JOURNAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "13-811", HAVING AN ELEVATION OF 5141.036, NAVD 1988

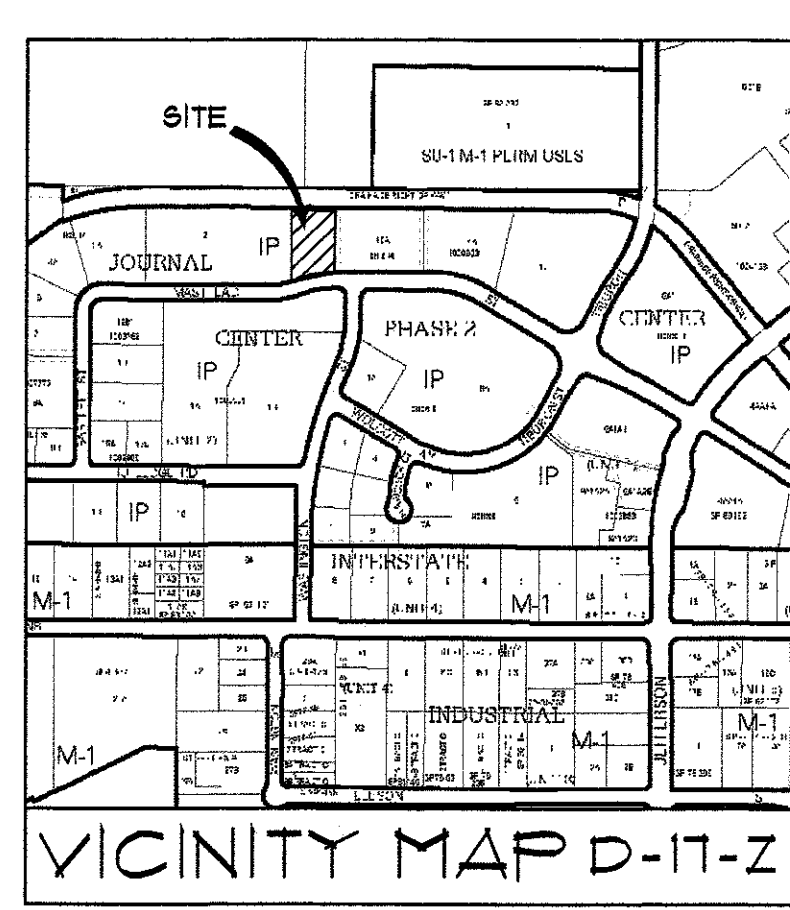
DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 3800 SF BUILDING AND PARKING LOT TO BE CONSTRUCTED ON AN UNIMPROVED 1.1 ACRE SITE. THE EXISTING SITE SLOPES FROM SOUTHEAST TO NORTHWEST AND BORDERS AN EXISTING CONCRETE PAVED AMAFCA DRAINAGE CHANNEL LOCATED ALONG THE NORTH PROPERTY LINE. THE EAST EDGE OF THE NEW PARKING LOT WILL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ADJACENT DEVELOPMENT PARKING LOT. HOWEVER, NO SIGNIFICANT OFFSITE RUNOFF AFFECTS THE SUBJECT SITE, EITHER PRE-DEVELOPMENT OR POST DEVELOPMENT, DUE TO A VALLEY GUTTER IN THE PAVED AREA ON THE PROPERTY TO THE EAST WHICH DIRECTS DEVELOPED RUNOFF TO THE AMAFCA CHANNEL. THE NEW PROJECT IS DESIGNED TO COLLECT DEVELOPED ROOF RUNOFF IN A CONCRETE CHANNEL WEST OF THE BUILDING AND DIRECT IT TO A POND AT THE NORTH END OF THE SITE. THE PARKING LOT RUNOFF WILL SIMILARLY FLOW TO THIS POND WHICH HAS CAPACITY TO STORE THE "FIRST FLUSH" VOLUME BEFORE RUNOFF EXITS THE SITE VIA A CONCRETE INFILTRATION TRENCH TO THE AMAFCA CHANNEL. A RETAINING WALL WILL BE CONSTRUCTED ALONG THE WESTERN EDGE OF THE PROPERTY TO FACILITATE A GRADE CHANGE BETWEEN THE SUBJECT SITE AND THE MUCH LOWER DEVELOPED SITE TO THE WEST.

- ### EROSION CONTROL PLAN
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING AND SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

- ### AMAFCA GENERAL NOTES
- AMAFCA'S PROJECT MANAGER SHALL BE NOTIFIED AT 884-2215 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK AND PRIOR TO FINAL INSPECTION OF THE WORK WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT.
 - NO WORK WILL BE PERFORMED IN THE AMAFCA RIGHT-OF-WAY OR EASEMENT BETWEEN MAY 15 AND OCTOBER WITHOUT PERMISSION FROM AMAFCA.
 - ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 90% (MODIFIED PROCTOR) WITHIN THE AMAFCA RIGHT-OF-WAY OR EASEMENT. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA.
 - CERTIFIED AS-BUILT PLANS MUST BE SUBMITTED TO AMAFCA FOR THE CONSTRUCTION WITHIN AMAFCA'S RIGHT-OF-WAY.
 - CONTRACTOR SHALL PROVIDE A CERTIFICATE OF LIABILITY INSURANCE IN THE AMOUNT OF 1,000,000.00, NAMING AMAFCA AS ADDITIONAL INSURED, PRIOR TO WORK.
 - THE MAXIMUM WHEEL LOAD ALLOWED IN AMAFCA CHANNELS IS 12,000 POUNDS.
 - NO TRACKED VEHICLES WILL BE ALLOWED IN AMAFCA CHANNELS WITHOUT WRITTEN PERMISSION FROM AMAFCA.
 - CONTRACTOR SHALL OBTAIN A TEMPORARY CONSTRUCTION AND ACCESS LICENSE FROM AMAFCA PRIOR TO CONSTRUCTION.

- ### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY Trench EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (N1 ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

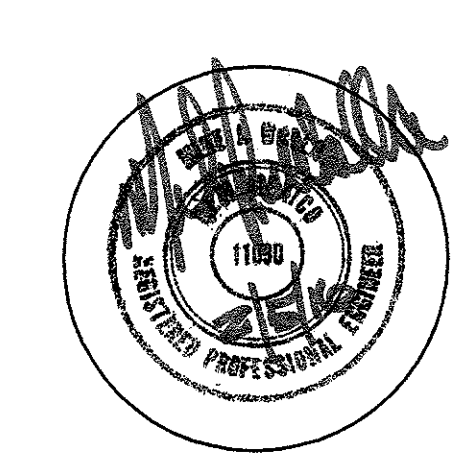


Walla Engineering, LTD. Structural Engineering Civil Engineering
6501 Americana Parkway NE Suite 301
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025



slagleherrarchitects
413 second st sw
albuquerque nm
87102
505 246 0870
slagleherr.com

GRADING AND DRAINAGE PLAN



revisions
△ PERMIT COMMENTS 2-5-16
△ OWNER REVISIONS 4-12-16

date
11-30-15
sheet
C101



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development