

CITY OF ALBUQUERQUE



December 24, 2015

Richard J. Berry, Mayor

Mike Walla, P.E.
Walla Engineering, Ltd
6501 Americas Parkway NE, Suite 301
Albuquerque, NM, 87110

**RE: Kinesio Headquarters
Grading and Drainage Plan
Engineer's Stamp Date 11-30-2015 (File: D17D103)**

Dear Mr. Walla:

Based upon the information provided in your submittal received 12-3-2015, and information provided for DRB (12/23/2015) action, the above-referenced plan is approved for Site Plan for Building Permit.

The following comments, however, need to be addressed prior to Building Permit approval:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. We understand that the license agreement with AMAFCA is in progress for the drainage outlet onto their Right of Way. Concurrence that the license agreement is completed (or that it will be completed) will be needed. Provide a calculation of the capacity of the outlet opening/structure to show that the peak flow of the pond is controlled.
2. Provide a capacity vs required flow calculation for the rundown just downstream of the last roof drain to show that the peak flow is contained in the structure.
3. Beginning January 15th, 2016, the City will amend the standard city street section (std drawing 2405A and B) to include a depressed landscape buffer between the sidewalk and back of curb. We request that you consider implementing this detail for the landscape buffer on the Masthead Street frontage.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

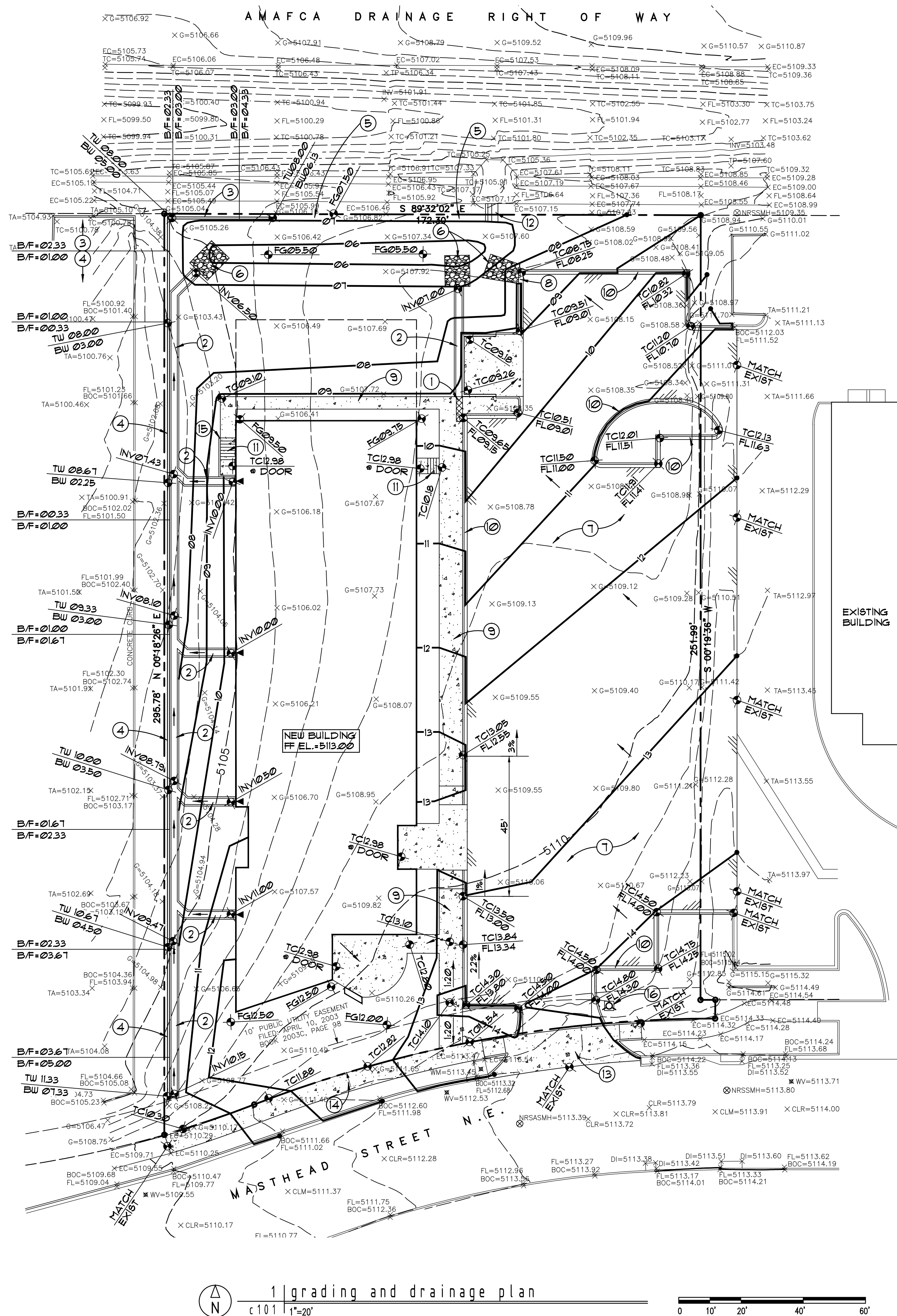
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



KEYED NOTES

- 2'-0" WIDE SIDEWALK CULVERT PER COA STANDARD DRAWING 2236
- 2'-0" WIDE CONCRETE RUNDOWN PER 1/C201
- SITE RETAINING WALL PER 3/C201
- SITE RETAINING WALL PER 4/C201
- PROVIDE DIRT BERM AT NORTH EDGE OF POND
- 8'-0" WD. x 10'-0" LONG 4" TO 6" RIPRAP PAD AT CHANNEL OUTLET PER 5/C201
- 3" THICK ASPHALT PAVING PER 2/C201
- 2'-0" WIDE BREAK IN CURB FOR DRAINAGE OUTLET
- 4" 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK W/ MAXIMUM 2% CROSS SLOPE
- 4000 PSI, AIR-ENTRAINED CONCRETE CURB AND GUTTER PER 6/C201
- 4000 PSI, AIR-ENTRAINED CONCRETE STAIR PER 1/C201
- SAWCUT EXISTING CURB AND REMOVE AS REQUIRED FOR NEW FOND OUTLET - CONSTRUCT INFILTRATION/DISSIPATION CHANNEL PER 9/C201
- CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2425
- CONCRETE SIDEWALK IN CITY ROW, PER C.O.A. STANDARD DRAWING 2430
- CONCRETE RETAINING WALL AT STAIR AND LANDING PER 8/C201
- NEW FIRE HYDRANT PER ABCWWA STANDARD DRAWING 2340

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5110 --- EXISTING CONTOUR
- 10 — NEW CONTOUR
- X G=5109.55 EXISTING SPOT ELEVATION
- 1050 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- EC EDGE OF CONCRETE
- DI DROP INLET
- FL FLOW LINE
- TG TOP OF GRATE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- BOC BACK OF CURB
- NR88MH NORTH RIM SANITARY SEWER MANHOLE
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- [Symbol] ROOF DRAIN LOCATION
- [Symbol] SWALE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
				1hr	6hr	24hr	4day	10day	
				2.01	2.35	2.75	3.30	3.95	
EXISTING CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.18	2.28	0.00	0	0	0	0
C	1.014	100%	1.13	3.14	3.31	4.401	4.401	4.401	4.401
D	0.000	0%	2.12	4.10	0.00	0	0	0	0
TOTALS	1.014	100%			3.31	4.401	4.401	4.401	4.401
PROPOSED CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.382	36%	0.18	2.28	0.81	1.082	1.082	1.082	1.082
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.632	64%	2.12	4.10	3.25	5.325	6.330	7.112	9.344
TOTALS	1.014	100%			4.12	6.401	7.412	8.793	10.426

FIRST FLUSH: 30130 SF x 0.44"/12 IN PER FT = 1105 CF
POND VOLUME: 2205 SF x 125/2 = 1318 CF

LEGAL DESCRIPTION

LOT NUMBERED ONE (1) IN PHASE 2 UNIT2, JOURNAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "13-ETI", HAVING AN ELEVATION OF 5141.036, NAVD 1988

DESIGN NARRATIVE

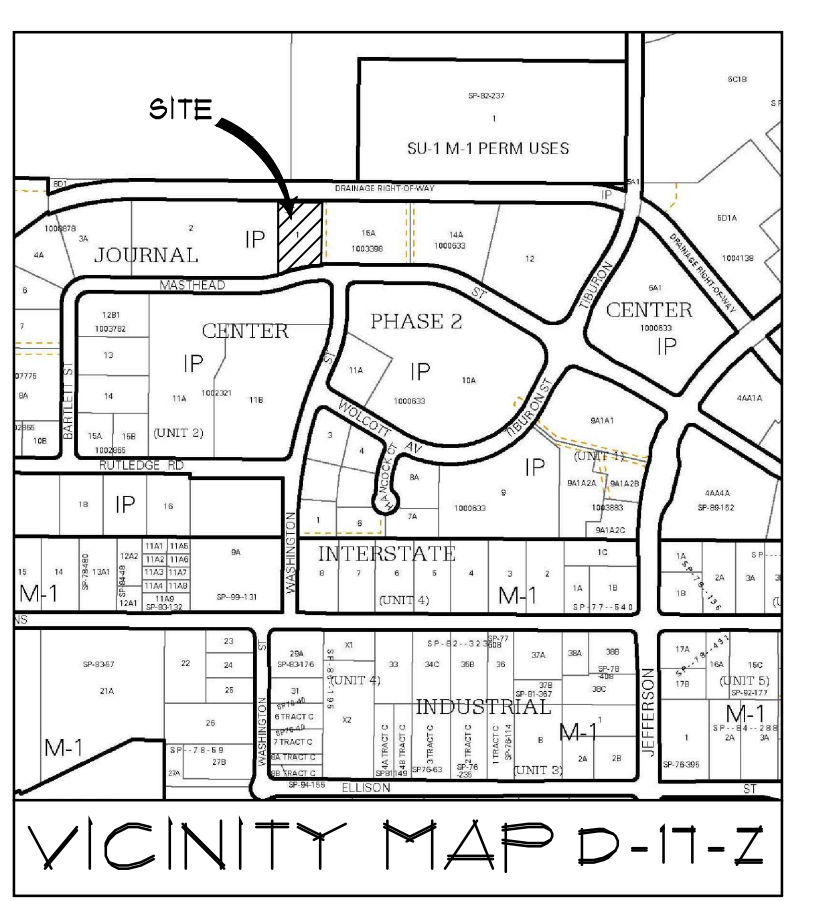
THE SUBJECT PROJECT IS A 9800 SF BUILDING AND PARKING LOT TO BE CONSTRUCTED ON AN UNIMPROVED 1.1 ACRE SITE. THE EXISTING SITE SLOPES FROM SOUTHEAST TO NORTHWEST AND BORDERS AN EXISTING CONCRETE PAVED AMAFCA DRAINAGE CHANNEL LOCATED ALONG THE NORTH PROPERTY LINE. THE EAST EDGE OF THE NEW PARKING LOT WILL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ADJACENT DEVELOPMENT PARKING LOT. HOWEVER, NO SIGNIFICANT OFFSITE RUNOFF AFFECTS THE SUBJECT SITE, EITHER PRE-DEVELOPMENT OR POST DEVELOPMENT, DUE TO A VALLEY GUTTER IN THE PAVED AREA ON THE PROPERTY TO THE EAST WHICH DIRECTS DEVELOPED RUNOFF TO THE AMAFCA CHANNEL. THE NEW PROJECT IS DESIGNED TO COLLECT DEVELOPED ROOF RUNOFF IN A CONCRETE CHANNEL WEST OF THE BUILDING AND DIRECT IT TO A POND AT THE NORTH END OF THE SITE. THE PARKING LOT RUNOFF WILL SIMILARLY FLOW TO THIS POND WHICH HAS CAPACITY TO STORE THE "FIRST FLUSH" VOLUME BEFORE RUNOFF EXITS THE SITE VIA A CONCRETE INFILTRATION TRENCH TO THE AMAFCA CHANNEL. A RETAINING WALL WILL BE CONSTRUCTED ALONG THE WESTERN EDGE OF THE PROPERTY TO FACILITATE A GRADE CHANGE BETWEEN THE SUBJECT SITE AND THE MUCH LOWER DEVELOPED SITE TO THE WEST.

EROSION CONTROL PLAN

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

Drainage facilities within city right-of-way notice to contractor

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1882 (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



Walla

Structural Engineering
Civil Engineering

ENGINEERING LTD.
6501 Americas Parkway NE • Suite 501
Albuquerque • New Mexico • 87110
861-3008 • Facsimile 861-4025

a new headquarters for:

KINESIO

The Original from Dr. Kenzo Kase Since 1979

4001 masthead st ne
albuquerque, new mexico

EB

Enterprise Builders
CORPORATION

General Contractor License # 29031

slagleherrarchitects

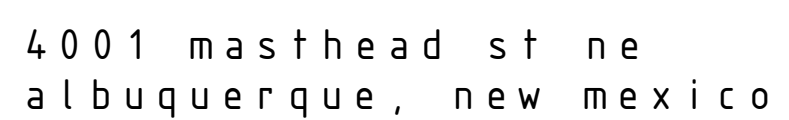
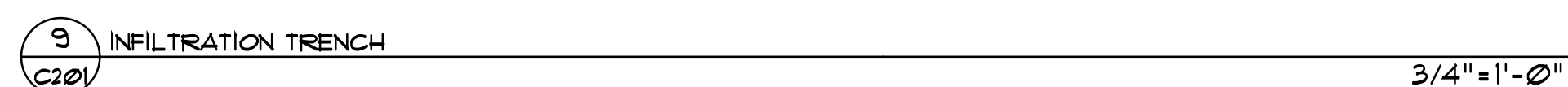
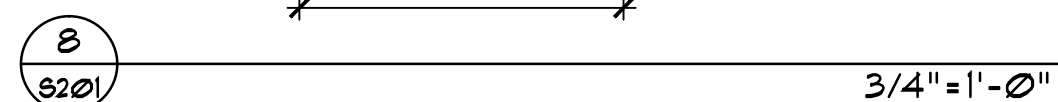
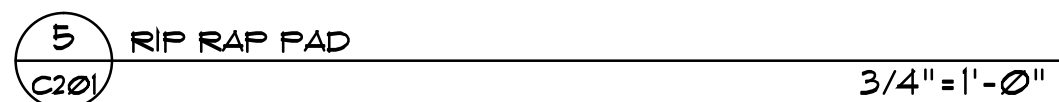
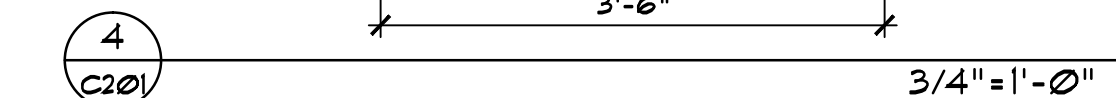
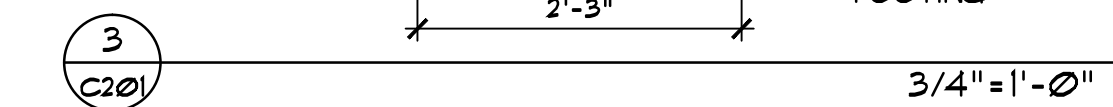
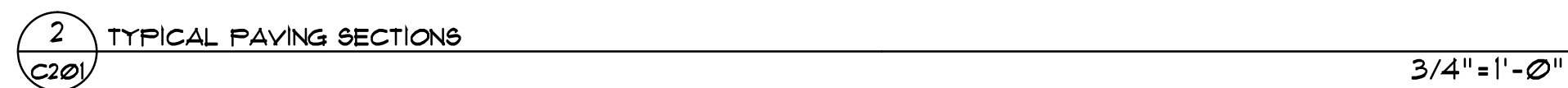
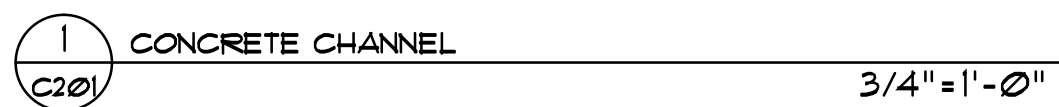
413 second st sw
albuquerque nm
87102
5052460870
slagleherr.com

GRADING AND DRAINAGE PLAN

Professional Engineer Seal for Slagle Herr Architects, State of New Mexico, License No. 1030.

revisions

date
11-30-15
sheet
C101



revisions

date
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C201