

CITY OF ALBUQUERQUE



August 17, 2016

Joe L. Slagle, R.A.
Slagle Herr Architects Inc.
413 2nd St SW
Albuquerque, NM 87102

Re: Kinesio 4001 Masthead St Ne
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 2-03-16 (D17D103)
Certification dated 08-04-16

Dear Mr. Slagle,

Based upon the information provided in your submittal received 08-04-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

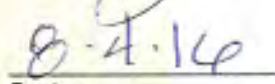
RE: 4001 Masthead St. NE: Kinesio Tape Headquarters Building
Permit no. T201593027

I, Joe Slagle, NMRA 2284, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Approved Site Development Plan dated 1-6-16. I certify that I have personally visited the project site on 8-4-16 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This submittal is for Permanent Certificate of Occupancy for the Kinesio Tape Headquarters Building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Joe Slagle, Architect

Date



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Kinesio Tape Headquarters Building Permit #: T201593027 City Drainage #: _____

DRB#: 1010685 EPC#: _____ Work Order#: _____

Legal Description: Lot 1, Journal Center 2, Phase 2

City Address: 4001 Masthead Street, NE, Albuquerque, NM

Engineering Firm: Walla Engineering Contact: Mike Walla

Address: 6501 America's Parkway NE, Suite 301 Albuquerque, NM 87110

Phone#: 505 881-3008 Fax#: _____ E-mail: mikew@wallaengineering.com

Owner: MKK LLC Contact: _____

Address: 3601 Georgia, NE, Albuquerque, NM 87110

Phone#: 505 856-2029 Fax#: _____ E-mail: _____

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle

Address: 413 Second Street SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

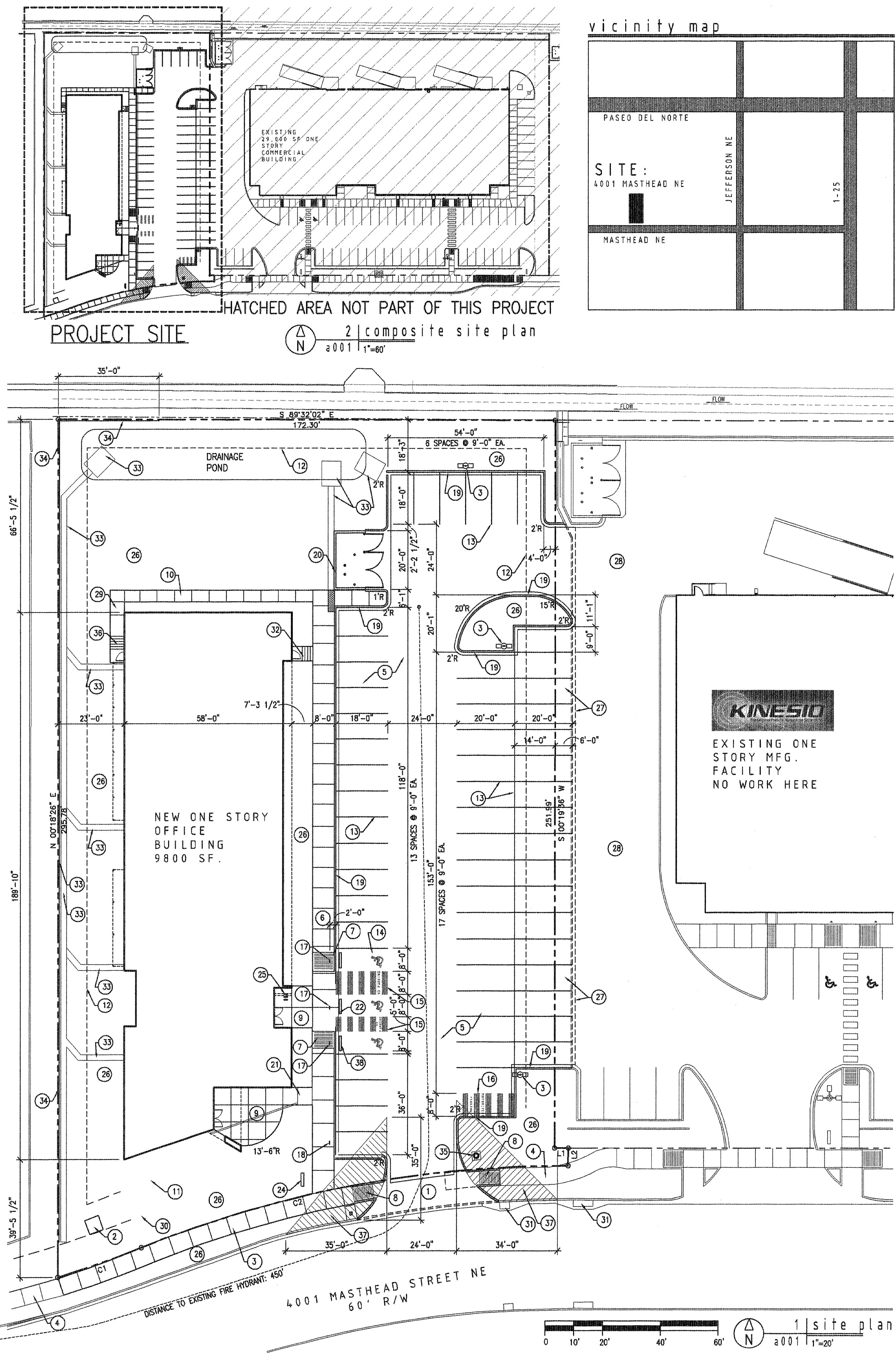
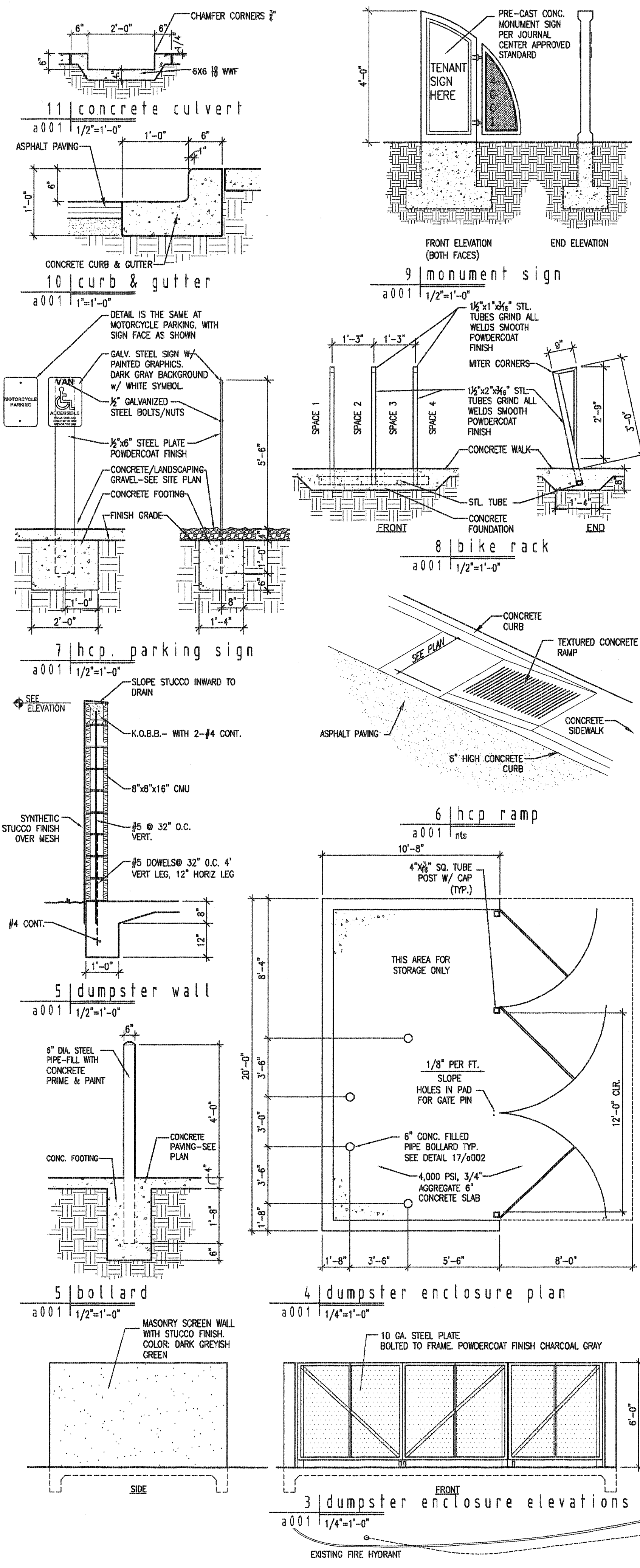
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 8-4-16 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



site data:

LOCATION:	4001 MASTHEAD ST NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	LOT 1 JOURNAL CENTER 2 PHASE 2
UPC #:	101706319026630415
CURRENT ZONING:	IP
SETBACK REQUIREMENTS:	20' FRONT, 10' SIDES, 10' REAR
ZONE ATLAS PAGE:	D-17
BUILDING CONSTRUCTION:	2B (NON-SPRINKLED)
APPLICABLE CODE:	2009 IBC
TOTAL LOT AREA:	C.O.A. ZONING ORDINANCE 46,809 SF (1.0746 AC.)
BUILDING FOOTPRINT AREA:	9800 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	37,009 SF
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	21%
PAVED AREA:	16,114 S.F.
LANDSCAPE AREA:	20,895 S.F.
LANDSCAPE % NET LOT AREA:	56%
LANDSCAPE TO PAVED AREA RATIO:	1.29
REQUIRED PARKING:	50 SPACES
OFFICE:	1 SPACE PER 200 SF (9000 SF)=45 SPACES
RESTAURANT:	1 SPACE PER 4 SEATS (20 SEATS)=5 SPACES
PARKING PROVIDED:	61 SPACES
REQUIRED H.C. PARKING:	3 SPACES
H.C. PARKING PROVIDED:	3 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED MOTORCYCLE PARKING:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	2 SPACES

- keyed notes:**
- REMOVE EXISTING CURB, GUTTER AND PORTION OF SIDEWALK AND INSTALL NEW DRIVEWAY AND SIDEWALK PER C.O.A. STD. DWG.
 - ELECTRICAL TRANSFORMER LOCATION: SEE ELECTRICAL DRAWINGS
 - LIGHT POLE: SEE ELECTRICAL SHEETS
 - EXISTING 6' WIDE CONC. WALK
 - ASPHALT PAVING: REFER TO SOILS REPORT FOR PAVING SECTION
 - 8' WIDE CONC. WALK
 - ADA ACCESSIBLE RAMP: SEE 16
 - NEW HCP RAMP W/ TRUNCATED DOMES @ SLOPED SURFACES. SEE C.O.A. STD. DWG 2441.
 - 4" THK. CONC. PAVING W/ CONTROL JOINTS AS SHOWN
 - 4' WIDE CONC. WALK
 - 20' BUILDING SETBACK LINE
 - 10' BUILDING SETBACK LINE
 - 4" WIDE WHITE PAINTED PARKING STRIPES
 - INTERNATIONAL HCP SYMBOL. PAINTED BLUE ON ASPHALT
 - 2' WHITE PAINTED BLOCKS-WIDTH AS SHOWN
 - "MOTORCYCLE PARKING" PAINTED WHITE
 - HCP. PARKING SIGN: SEE 17
 - MOTORCYCLE PARKING SIGN: SEE 17
 - NEW CURB AND GUTTER: SEE 19
 - DUMPSTER ENCLOSURE: SEE 19
 - 6' WIDE CONC. WALK
 - CONC. WALK FLUSH WITH ASPHALT HERE
 - STL. BOLLARD: SEE 15
 - MONUMENT SIGN: SEE 15
 - BIKE RACK: SEE 18
 - LANDSCAPE: SEE LANDSCAPE PLAN
 - REMOVE EXISTING CURB AND GUTTER AND LANDSCAPE THIS AREA AND INSTALL NEW ASPHALT PAVING PER SOILS REPORT PAVING SECTION RECOMMENDATION
 - EXISTING ASPHALT PAVING TO REMAIN
 - 5' WIDE CONC. WALK
 - 10' WIDE PUBLIC UTILITY EASEMENT
 - EXISTING STORM SEWER INLET TO REMAIN
 - CONCRETE STAIRS SEE FLOOR PLAN AND: 16
 - CONCRETE CULVERTS, RUNDOWNS, AND DRAINAGE FILTERS: SEE GRADING PLAN AND 11
 - RETAINING WALL: SEE GRADING PLAN AND 18
 - NEW FIRE HYDRANT PER C.O.A. STD.
 - CONCRETE STAIRS SEE FLOOR PLAN AND: 17
 - CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - CONCRETE PARKING BUMPER

PROJECT NUMBER: 1010685

APPLICATION NUMBER:

Is an infrastructure list required? () yes () no If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Ronald M. M... 1/6/16
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
DATE

Christy G... 02/03/16
WATER UTILITY AUTHORITY
DATE

Carol S. Dumont 1-6-16
PARKS AND RECREATION DEPARTMENT
DATE

Al... 1-6-16
CITY ENGINEER
DATE

... 2-3-16
SOLID WASTE MANAGEMENT
DATE

... 2-3-16
DRB CHAIRPERSON, PLANNING DEPARTMENT
DATE

a new headquarters for:

KINESIO
The Original Power For Fitness Since 1974

4001 masthead st ne
albuquerque, new mexico

EB
Enterprise Builders
CORPORATION
General Contractor License #29031

slagleherrarchitects
413 second st sw
albuquerque nm
87102
5052460870
slagleherr.com

**SITE PLAN
SITE DETAILS**

revisions

date
1-6-16
sheet
A001