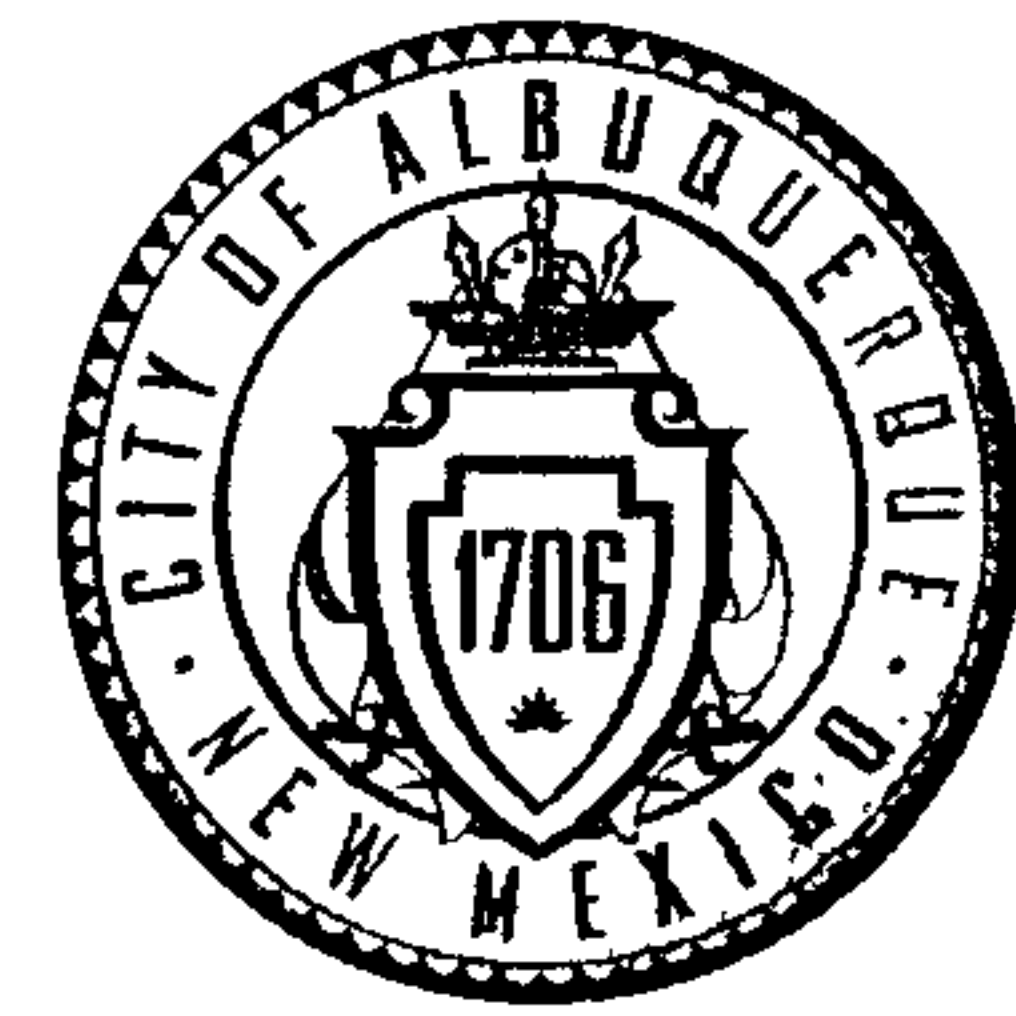


# CITY OF ALBUQUERQUE



August 5, 2016

Clark Consulting Engineers  
Philip Clark  
19 Ryan Rd  
Edgewood, NM 87015

**Re:** A-Tech Security  
**4616 Hawkins NE**  
**Traffic Circulation Layout**  
Engineer's Stamp dated 07-07-16 (D17D104)

Dear Mr. Clark,

The TCL submittal received 08-05-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

mao via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

D17D104.

Project Title: A-TECH SECURITY Building Permit #: \_\_\_\_\_ Hydrology File #: D17

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 16A(1), INTERSTATE INDUSTRIAL TRACT, UNIT 5

City Address: 4616 HAWKINS NE

Applicant: CLARK CONSULTING ENGINEERS Contact: Philip Clark

Address: 19 Ryan Road Edgewood, NM 87015

Phone#: 281.2444 Fax#: \_\_\_\_\_ E-mail: CCEalbq@aol.com

Other Contact: JIM CLARK MASTERWORKS ARCHITECT Contact: JIM

Address: \_\_\_\_\_

Phone#: 242.1866 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☒ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL LAND DEVELOPMENT  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING?  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

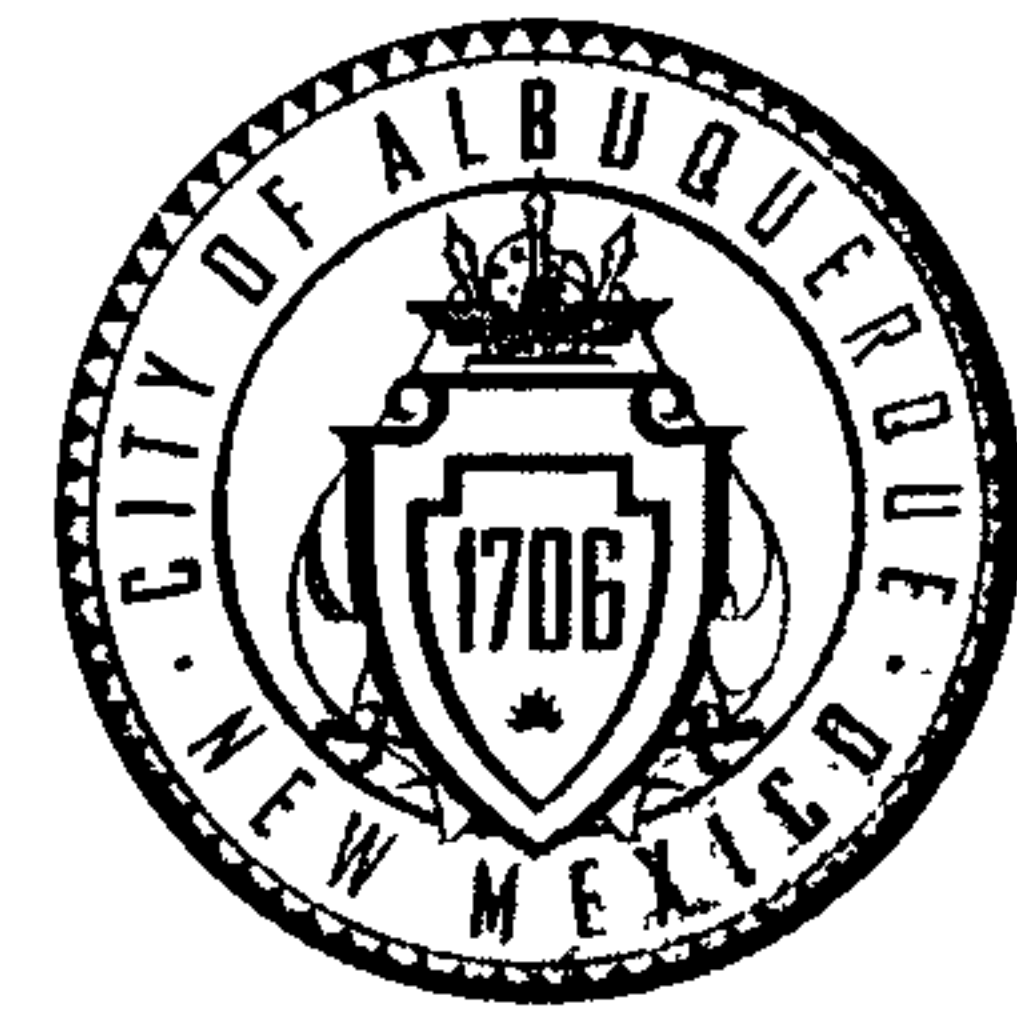
IS THIS A RESUBMITTAL?: ☒ Yes ☒ No

DATE SUBMITTED: 5/26/16 By: PWC

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE RECEIVED: \_\_\_\_\_

# CITY OF ALBUQUERQUE



***Planning Department  
Transportation Development Services***

June 8, 2016

Philip Clark  
Clark Consulting Engineers  
19 Ryan Rd.  
Edgewood, NM

**Re: A-Tech Security  
4616 Hawkins St., NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 5-25-16 (D17-D104)**

Dear Ms. Clark,

Based upon the information provided in your submittal received 5-28-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

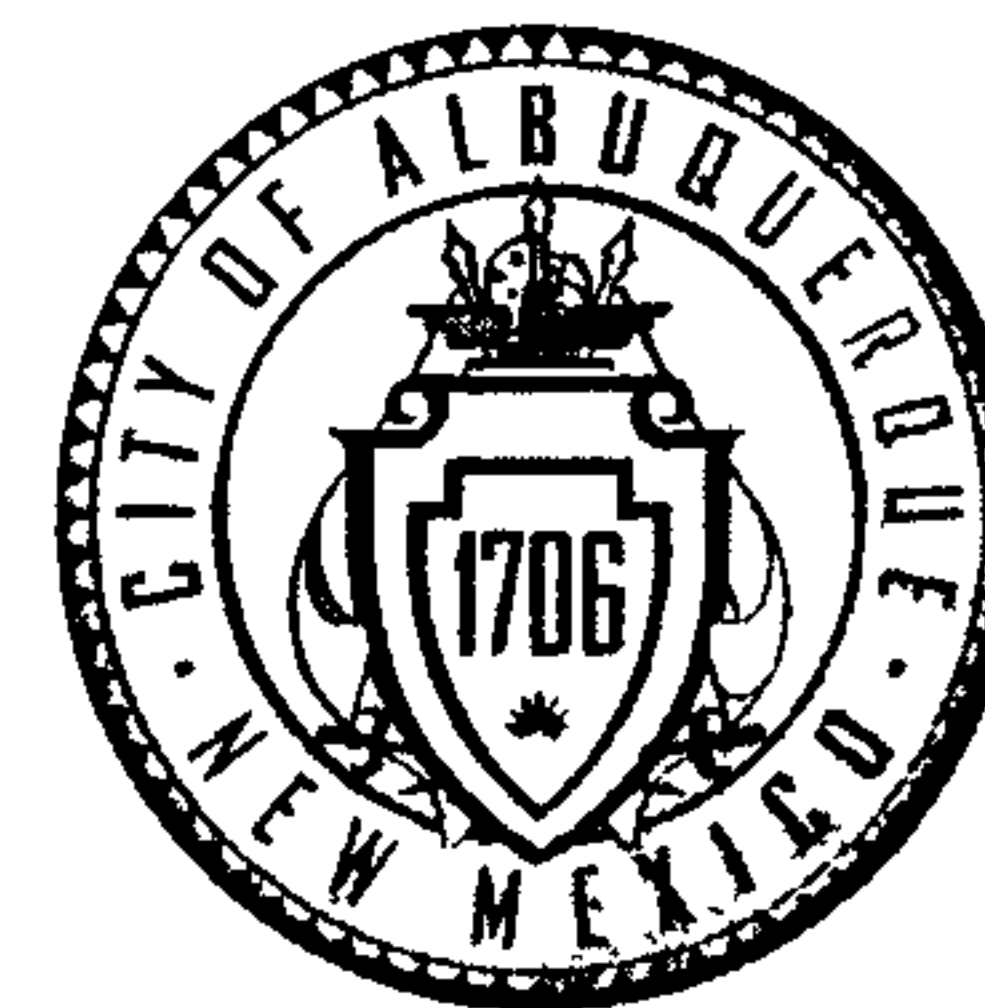
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please state the type of material to be used for the parking lot on the south end of the project site.
2. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Hawkins St. Provide detail of ADA ramp from public R.O.W.
3. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway to the building entrance. The ADA path must not have pedestrians crossing behind parking spaces. Please reconfigure pathway to the east of the HC parking spaces.
4. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
5. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
6. Please add signage stating that parking in the bay and on south end of building is for employees only.

# CITY OF ALBUQUERQUE



7. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please show this detail for the entrance/exit on Hawkins St.

Mini Clear Sight Triangle for Driveways on Residential Streets:

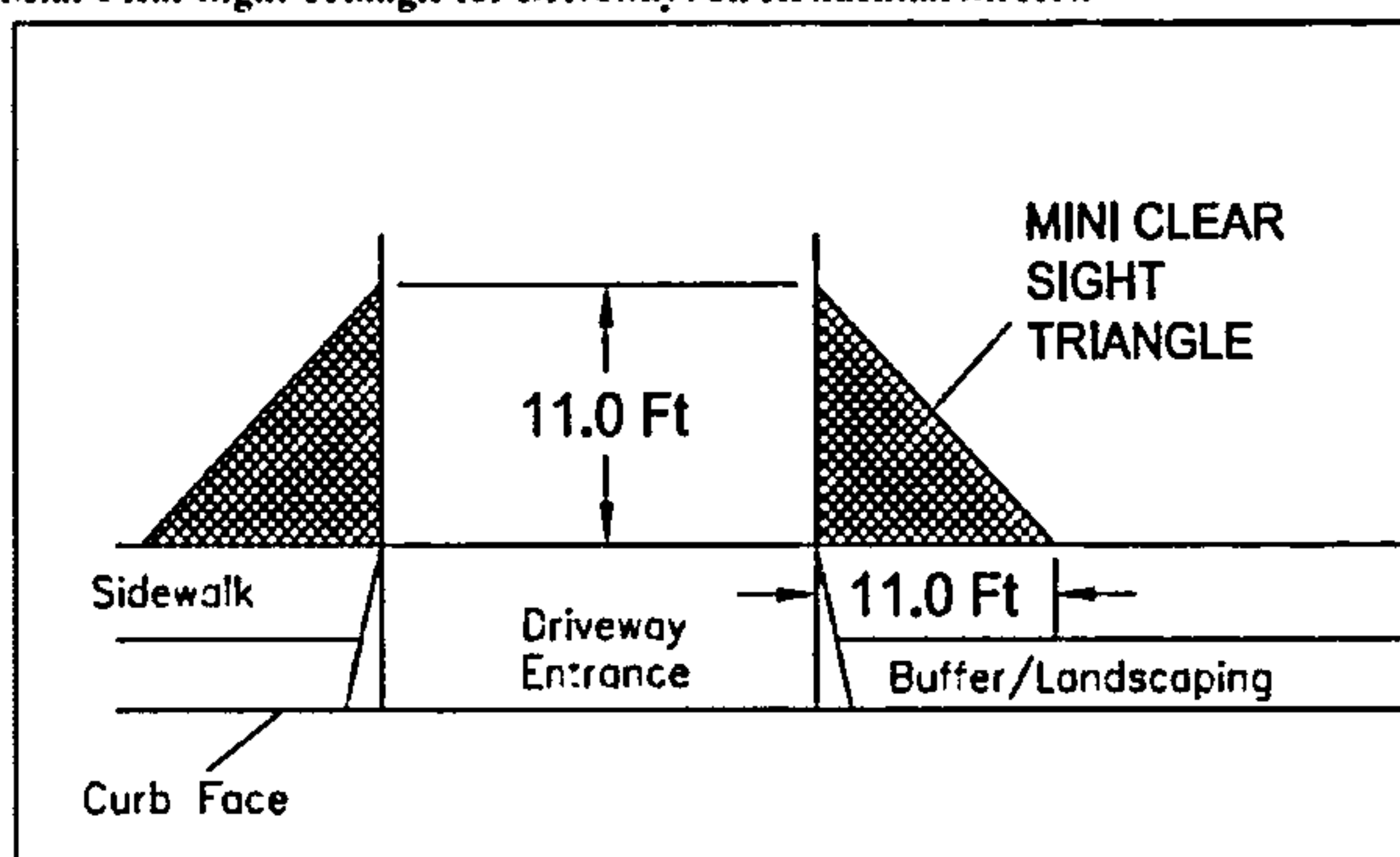


Figure 1. Mini Clear Sight Triangle

8. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
9. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Albuquerque

New Mexico 87103

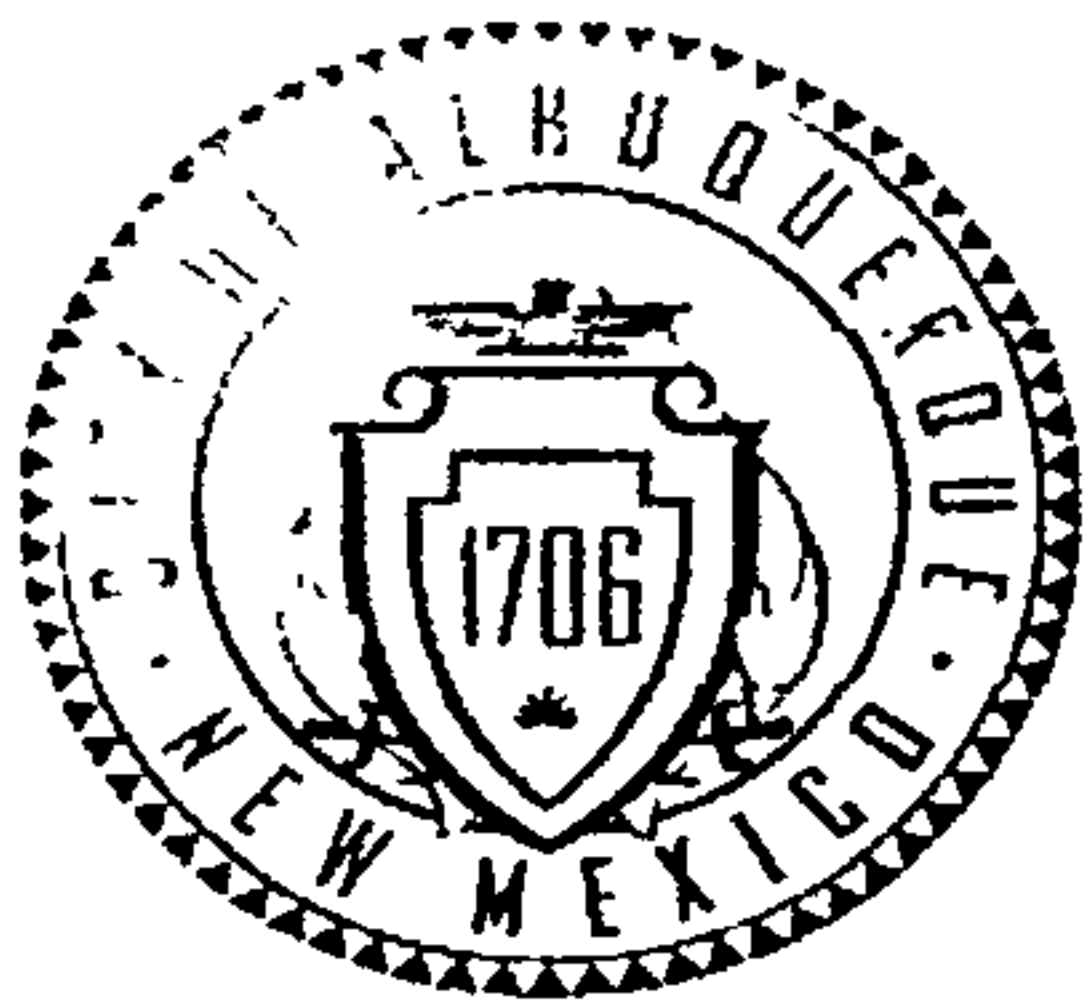
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

D17D104

Project Title: A-TECH SECURITY Building Permit #: \_\_\_\_\_ Hydrology File #: D17

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 16A(1), INTERSTATE INDUSTRIAL TRACT, UNIT 5

City Address: 4616 HAWKINS NE

Applicant: CLARK CONSULTING ENGINEERS Contact: Philip Clark

Address: 19 Ryan Road Edgewood, NM 87015

Phone#: 281.2444 Fax#: \_\_\_\_\_ E-mail: CCEalbq@aol.com

Other Contact: JIM CLARK MASTERWORKS ARCHITECT Contact: JIM

Address: \_\_\_\_\_

Phone#: 242.1866 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

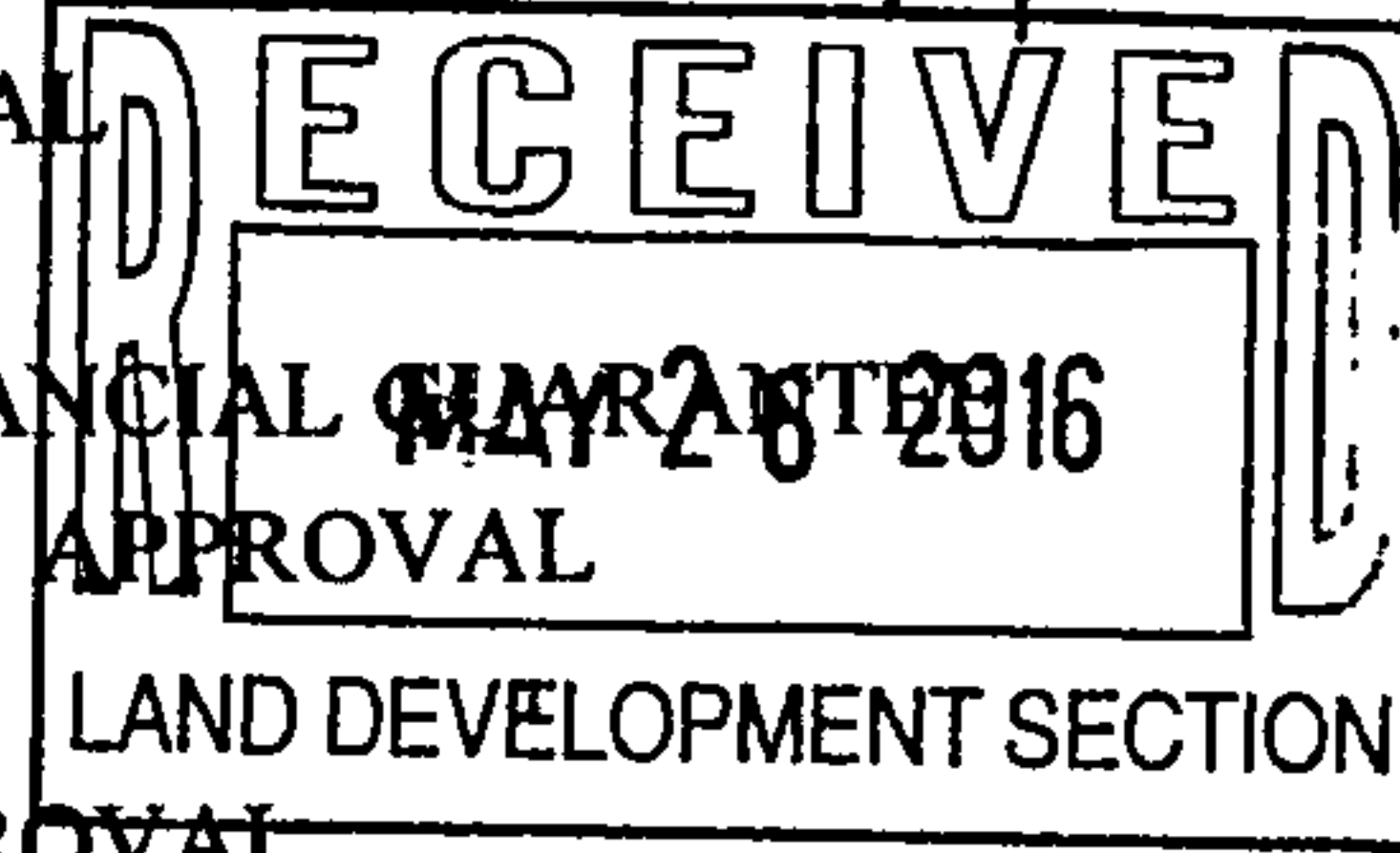
- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING?  
  
☐ OTHER (SPECIFY) \_\_\_\_\_



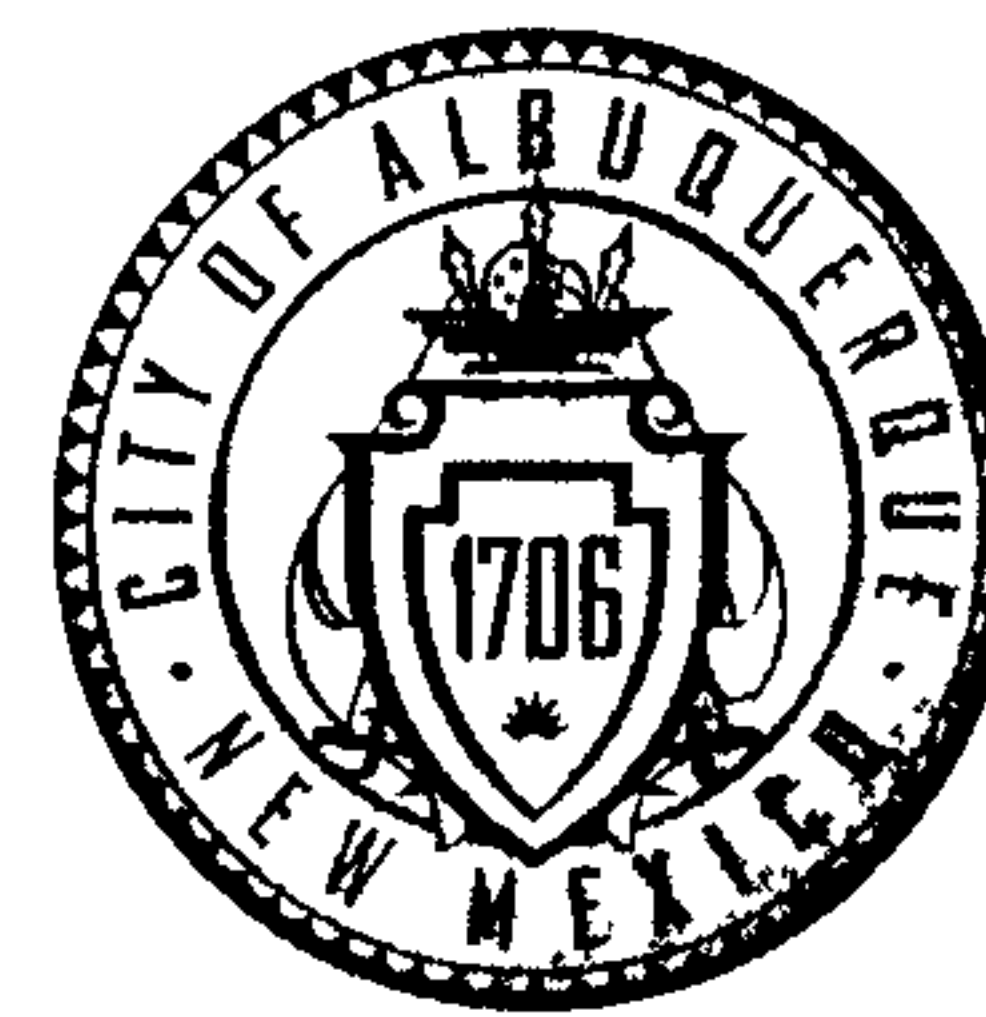
IS THIS A RESUBMITTAL? ☒ Yes ☒ No

DATE SUBMITTED: 5/26/16 By: PWC

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE RECEIVED: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

November 18, 2015

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave., NE  
Albuquerque, NM

**Re: Nelson-Hawkins Lot #16-A(1)**  
**4616 Hawkins St., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 11-16-15 (D17-D104)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 11-18-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

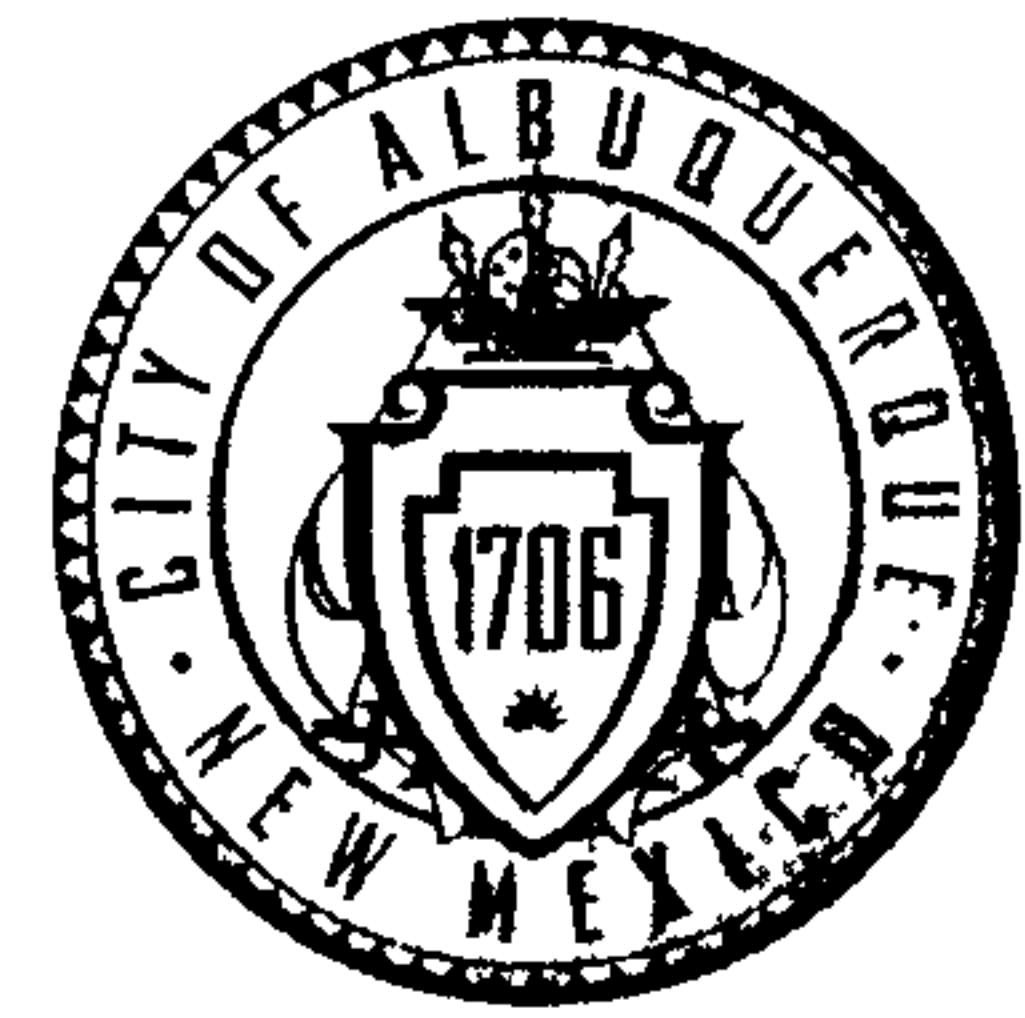
Albuquerque

New Mexico 87103

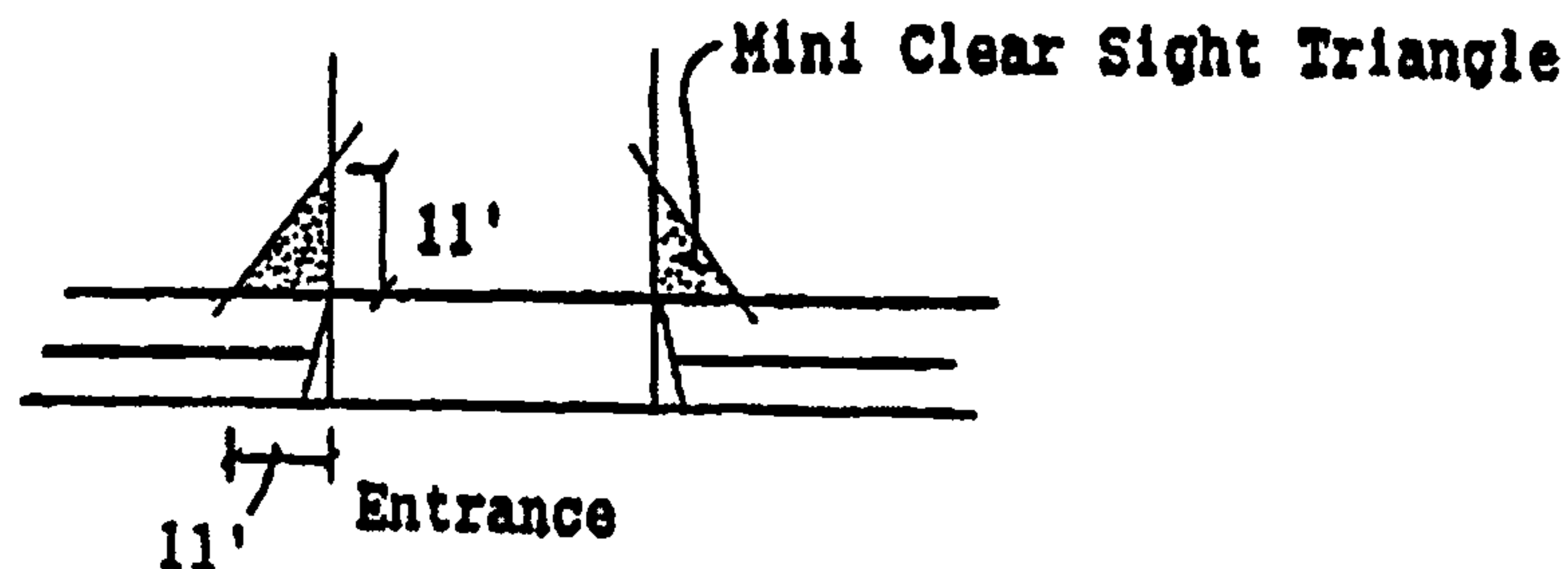
[www.cabq.gov](http://www.cabq.gov)

1. Please identify all existing buildings, doors, structures, sidewalks, walls and anything that influences the parking and circulation on the site. Please include the dimensions of the covered porch.
2. Show all curb radii.
3. The drive pad width for two-way traffic to the parking spaces located at the south end of the building must be 24 ft. min.
4. A 5 ft. keyway is required for dead-end parking aisles.
5. Please state the type of material to be used for the parking lot on the south end of the project site.
6. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Hawkins St. Provide detail of ADA ramp from public R.O.W.
7. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway to the building entrance.
8. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
9. Design delivery vehicle route needs to be shown.
10. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

# CITY OF ALBUQUERQUE



11. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for the entrance/exit on Hawkins St.



12. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
13. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
14. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

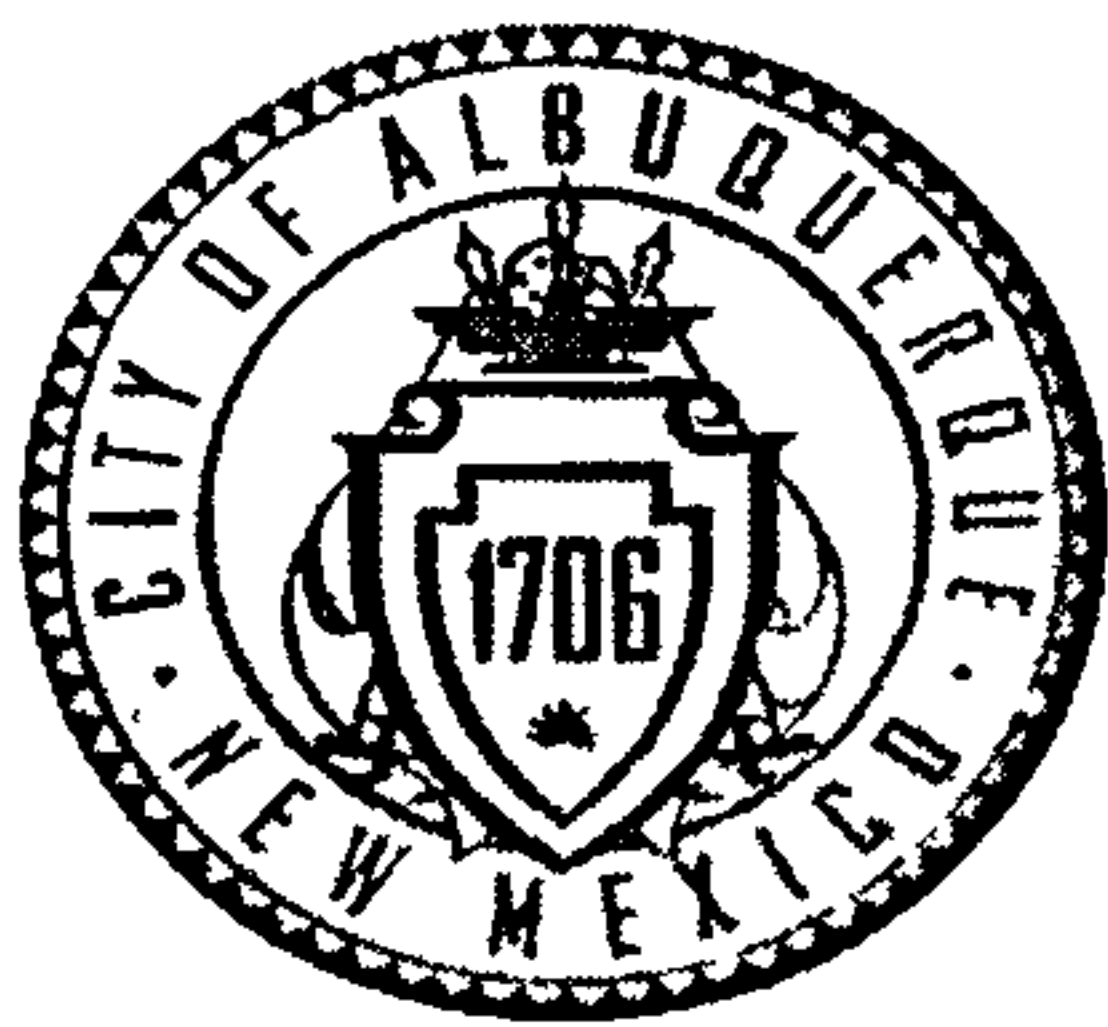
Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: NELSON - HAWKINS LOT #16-A(1) Building Permit #: \_\_\_\_\_ City Drainage #: 1217D104

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 16-A(1), INTERSTATE INDUSTRIAL TRACT, UNIT 5

City Address: 4616 HAWKINS STREET NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: TOM NELSON Contact: TOM NELSON

Address: PO BOX 44504

Phone#: 505-573-7053 Fax#: \_\_\_\_\_ E-mail: ltgten@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: \_\_\_\_\_

Surveyor: ANTHONY HARRIS Contact: ANTHONY HARRIS

Address: 2412-D MONROE STREET NE

Phone#: 505-889-8056 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

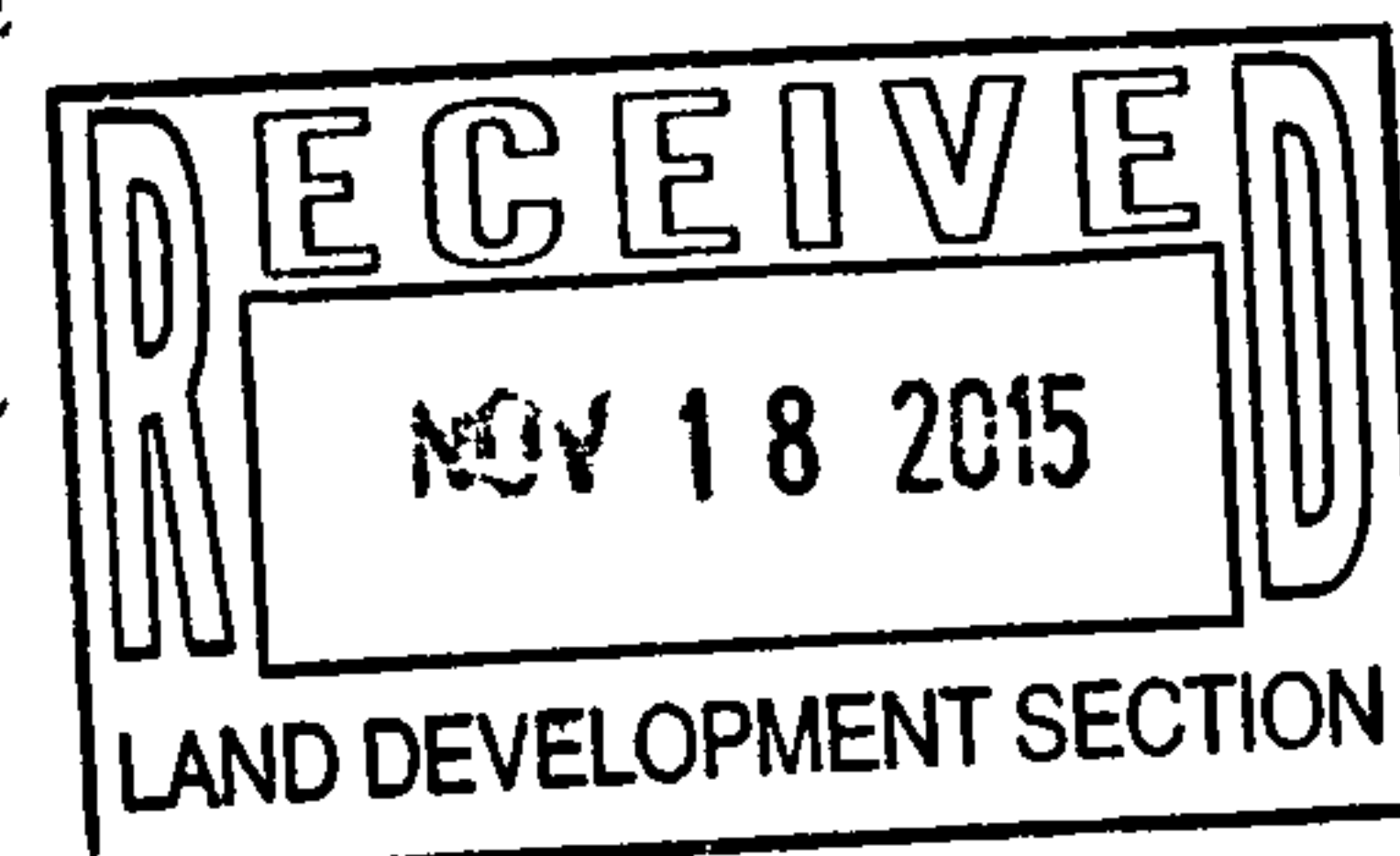
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11-18-15 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



**Jackie McDowell**

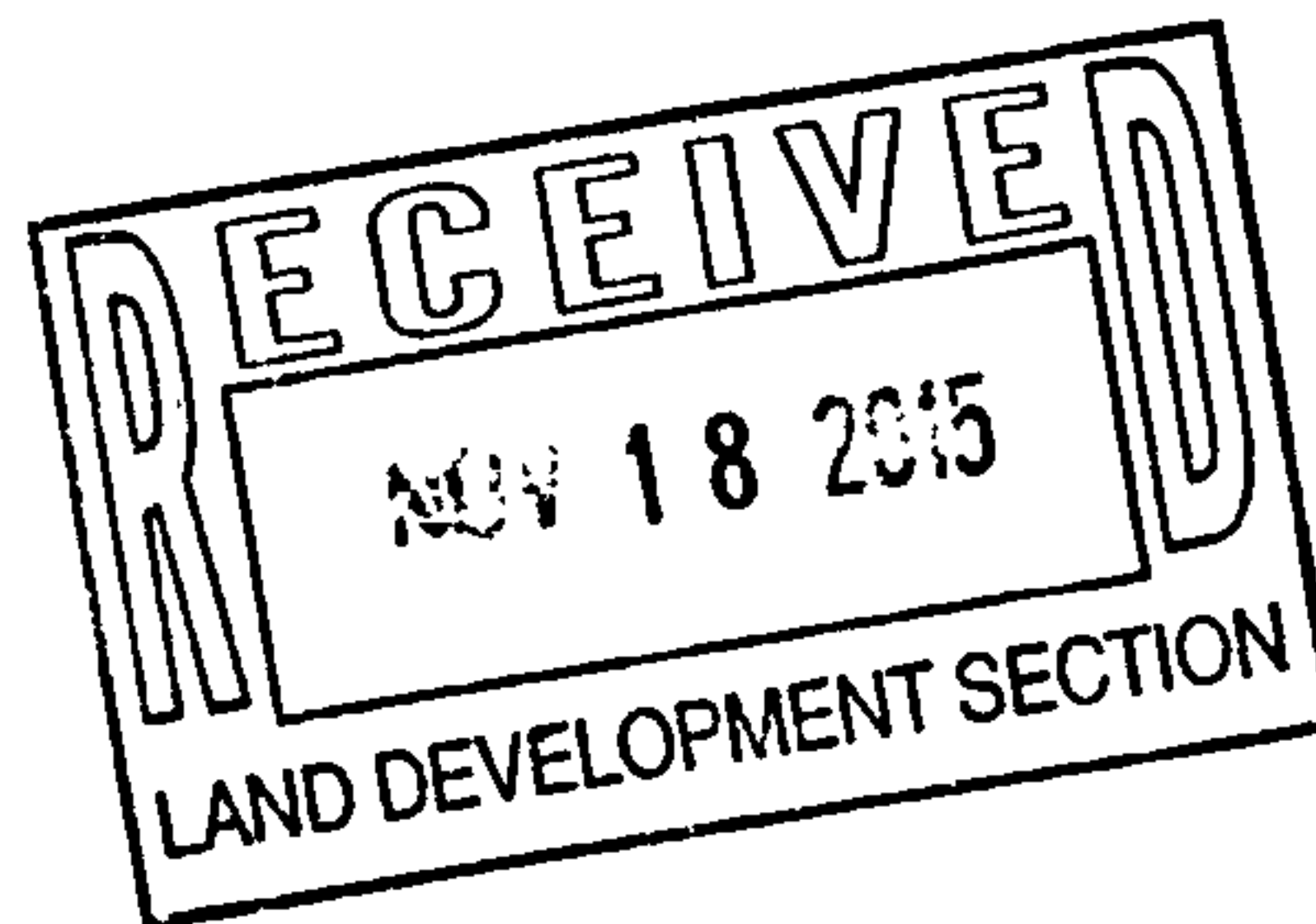
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**From:** Jackie McDowell [JackMcDowell@comcast.net]  
**Sent:** Wednesday, November 18, 2015 1:22 PM  
**To:** 'PLNDRS@cabq.gov'; 'MOrtiz@cabq.gov'; 'rrael@cabq.gov'  
**Subject:** NELSON, 4616 HAWKINS TCL PLAN  
**Attachments:** TCLdrainageinfosheet-1.pdf; TCL.pdf

COA Transportation Development Section:

Attached is the information sheet and TCL plan I will be submitting today.

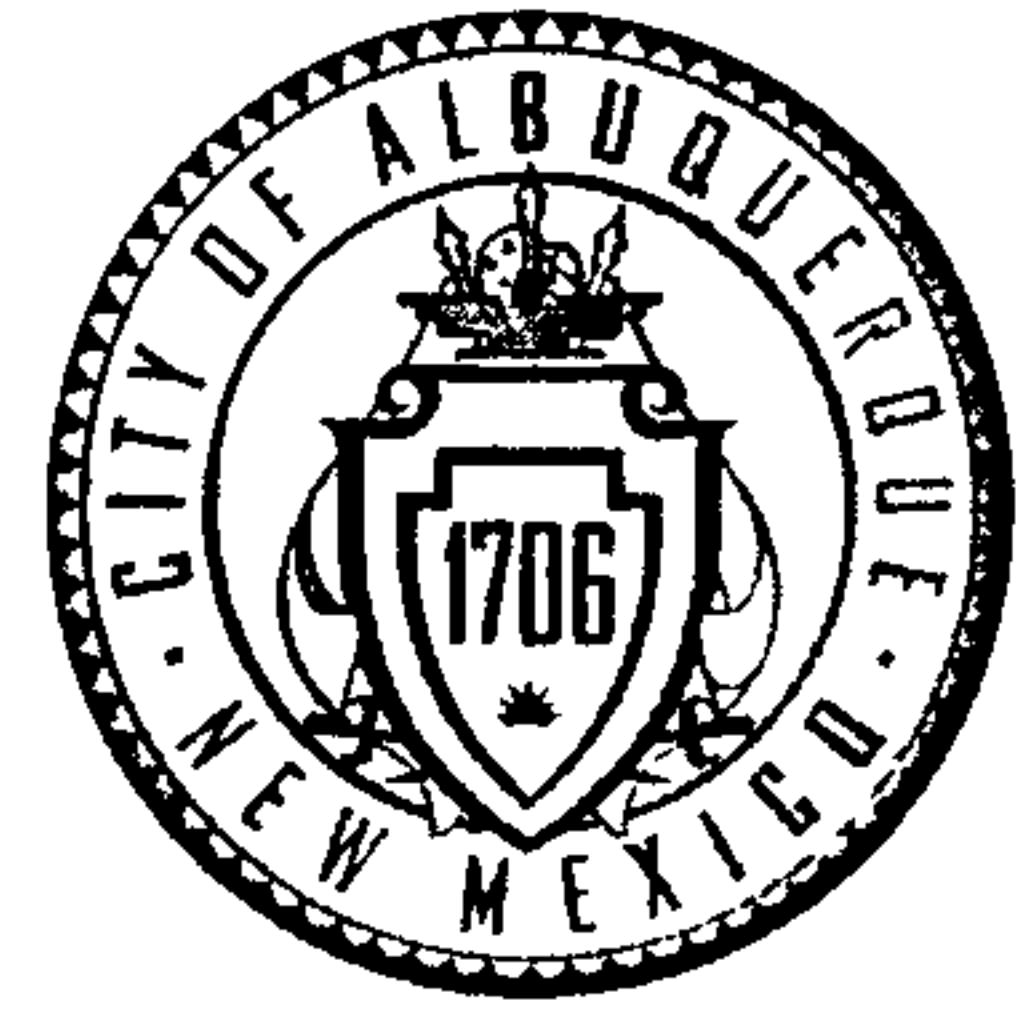
Jackie S. McDowell, PE  
**MCDOWELL ENGINEERING, INC.**  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122  
Voice: (505) 828-2430  
Fax: (505) 821-4857  
email: [JackMcDowell@comcast.net](mailto:JackMcDowell@comcast.net)



11/18/2015

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

June 28, 2016

Mr. Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Rd.  
Edgewood, NM 87015

RE: **A-Tech Security**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date 5-25-2016 (File: D17D104)**

Dear Mr. Clark:

Based upon the information provided in your submittal received 5-26-2016, the above referenced Grading and Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions you can contact me at 924-3986.

New Mexico 87103

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file

# CITY OF ALBUQUERQUE



December 18, 2015

Richard J. Berry, Mayor

Jackie S. McDowell, P.E.  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave NE  
Albuquerque, NM, 87122

**RE: Lot 16-A(1)  
Interstate Industrial Tract, Unit 5  
Grading and Drainage Plan (Stamp Date 11/6/2015)  
Hydrology File: D17D104**

Dear Mr. McDowell:

Based upon the information provided in your submittal received 11-06-2015, the above-referenced plan cannot be approved for Building Permit until the following items are addressed:

1. The first flush volume must be managed on site, per the City's Drainage Ordinance: <https://www.cabq.gov/planning/documents/SignificantDrainageOrdinanceChanges0414.pdf>, effective May 2014. The first flush volume is equal to the impervious surface area times 0.44 inches (minus 0.1 inches for initial abstraction). Landscaped areas may be depressed and used for first flush volume routing.
2. Roof flows (to the most practicable extent) must be routed through a first flush pond

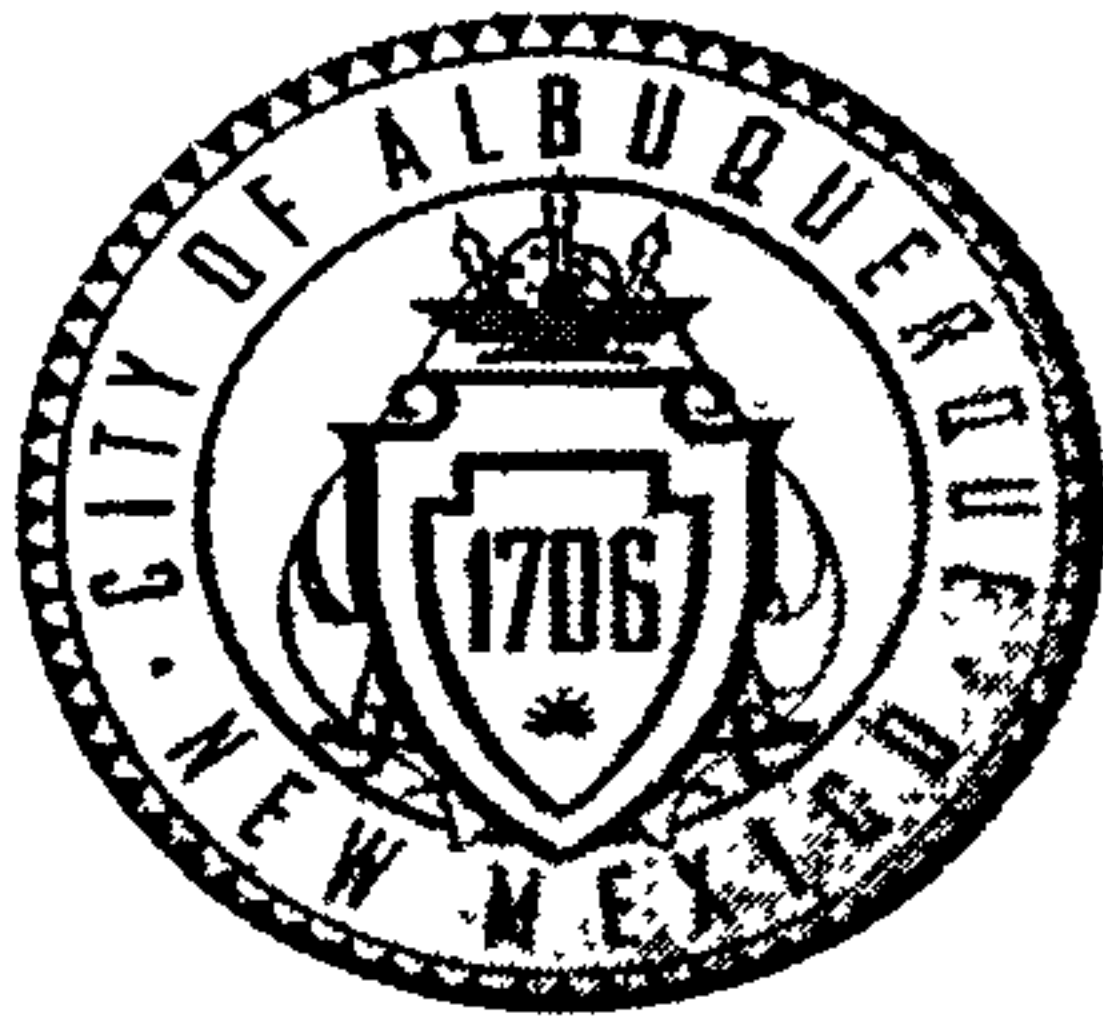
If you have any questions, you can contact me at 924-3986.

Sincerely,

Abel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: NELSON - HAWKINS LOT #16-A(1) Building Permit #: \_\_\_\_\_ City Drainage #: D17D104

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 16-A(1), INTERSTATE INDUSTRIAL TRACT, UNIT 5

City Address: 4616 HAWKINS STREET NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: TOM NELSON Contact: TOM NELSON

Address: PO BOX 44504

Phone#: 505-573-7053 Fax#: \_\_\_\_\_ E-mail: ltgten@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: \_\_\_\_\_

Surveyor: ANTHONY HARRIS Contact: ANTHONY HARRIS

Address: 2412-D MONROE STREET NE

Phone#: 505-889-8056 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

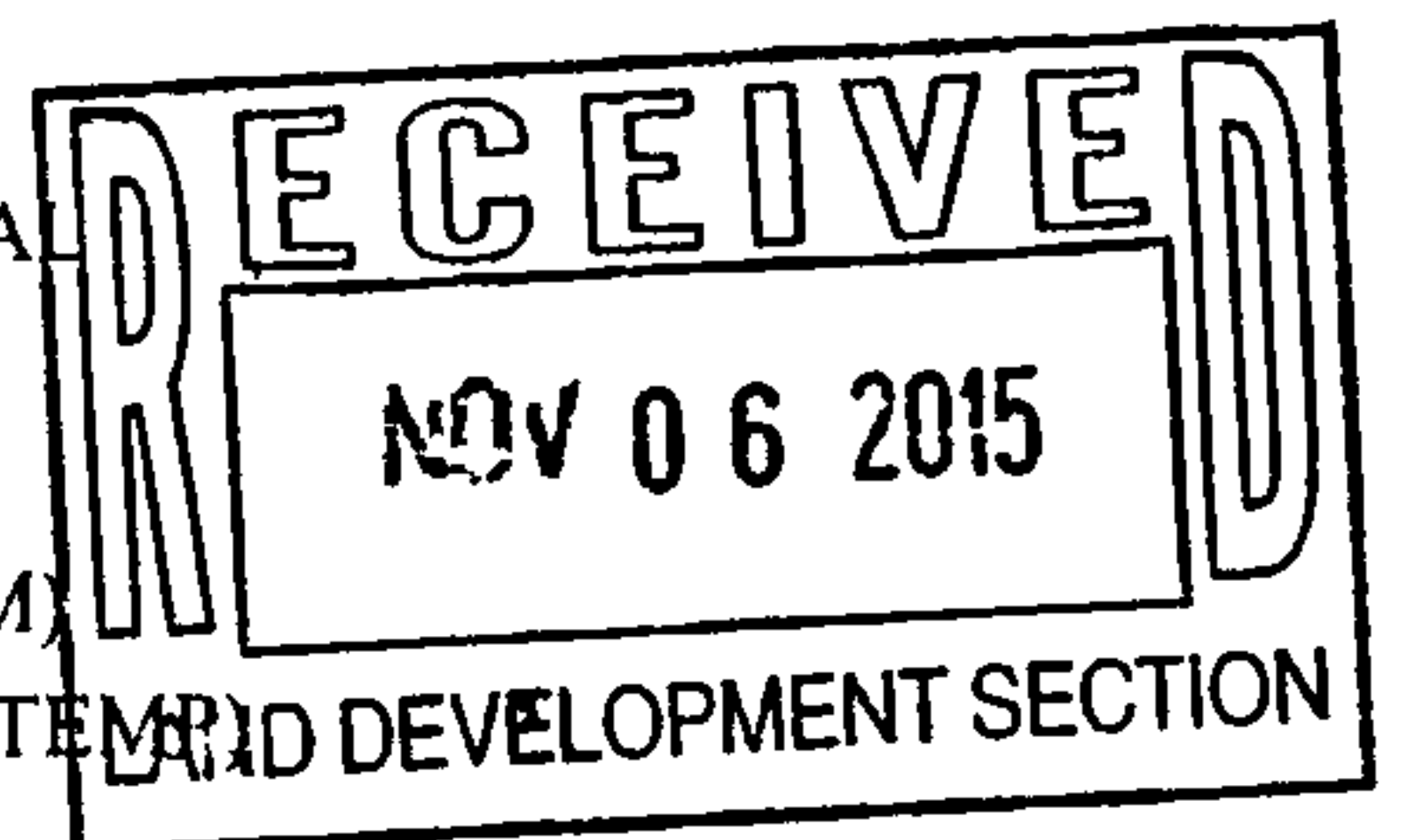
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



\$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11-6-15 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## Jackie McDowell

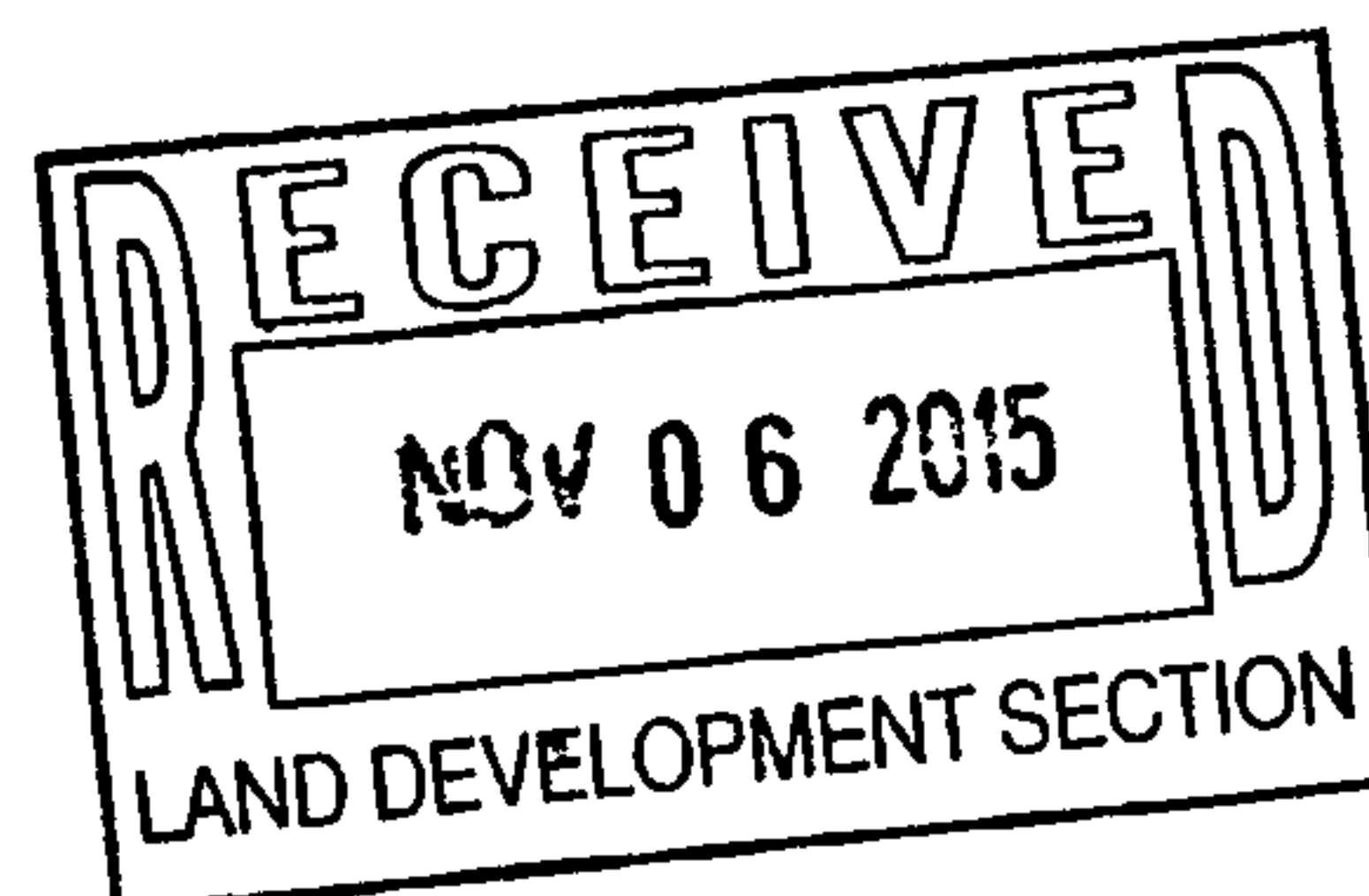
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**From:** Jackie McDowell [JackMcDowell@comcast.net]  
**Sent:** Friday, November 06, 2015 10:31 AM  
**To:** 'PLNDRS@cabq.gov'; 'MOrtiz@cabq.gov'; 'rrael@cabq.gov'  
**Subject:** NELSON, 4616 HAWKINS GRADING & DRAINAGE PLAN  
**Attachments:** drainageinfosheet-1.pdf; GRADING Model (1).pdf

COA Hydrology Development Section:

Attached is the information sheet and Grading & Drainage plan I will be submitting today with fee.

Jackie S. McDowell, PE  
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11/6/2015