

CITY OF ALBUQUERQUE



January 11, 2018

Mike Balaskovits
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: Tract A-3-B (Legacy at Journal Center)
5151 Lang Ave NE
Request for Certificate of Occupancy – Permanent
Hydrology Final Inspection - Approved
Engineer's Stamp Date 4/26/17 (D17D106A)
Certification Dated: 1/10/18**

Dear Mr. Balaskovits,

Based on the certification received 1/11/18, this submittal is approved for release of Certificate of Occupancy (Permanent) by Hydrology.

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

C: Email Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: TRACT A-3-B (LEGACY @ JOURNAL CENTER) **Building Permit #:** _____ **City Drainage #:** D17/D106A
DRB#: 1010228 **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A-3-B LEGACY AT JOURNAL CENTER
City Address: 5151 LANG AVE NE, ALBUQUERQUE, NM 87109

Engineering Firm: BOHANNAN HUSTON, INC.	Contact: MIKE BALASKOVITS
Address: 7500 JEFFERSON ST NE ALBUQUERQUE, NM 87109	
Phone#: 505-823-1000	Fax#: 505-798-7988
E-mail: MBALASKOVITS@BHINC.COM	

Owner: TITAN DEVELOPMENT CENTER LAND, LLC **Contact:** BRIAN PATTERSON
Address: 6300 RIVERSIDE PLAZA LANE NW #200
Phone#: 505-998-0163 **Fax#:** **E-mail:** BPATTERSON@TITAN-DEVELOPMENT.COM

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

<u> x </u>	HYDROLOGY/ DRAINAGE
<u> </u>	TRAFFIC/ TRANSPORTATION
<u> </u>	MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

 X ENGINEER/ ARCHITECT CERTIFICATION

 CONCEPTUAL G & D PLAN

 GRADING PLAN

 DRAINAGE MASTER PLAN

 DRAINAGE REPORT

 CLOMR/LOMR

 TRAFFIC CIRCULATION LAYOUT (TCL)

 TRAFFIC IMPACT STUDY (TIS)

 EROSION & SEDIMENT CONTROL PLAN (ESC)

 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes x No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☒ OTHER (SPECIFY) PERMANENT CO

DATE SUBMITTED: 01/10/2018 By: Mike Balaskovits

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT

LEGACY @ JOURNAL CENTER
5101 Lang Avenue NE
Albuquerque, New Mexico 87109

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE, AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 4/26/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 16702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/4/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187
1/10/2018



AS-BUILT LEGEND

- FL 74.97 AS-BUILT GRADE
- 75.25 AS-BUILT GRADE

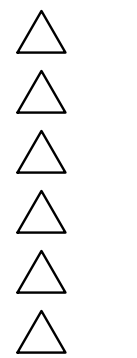
GRADING KEYNOTES

- NEW EARTHEN SWALE. GRADES SHOWN ARE TO TOP OF LANDSCAPING. CONTRACTOR SHALL INSURE ALL PLAN GRADES MEET PROPOSED ELEVATIONS NOTED. CONTRACTOR TO ADD RIP RAP AT NEW ROOF DRAINS, 3' WIDE DOWN TO INVERT OF SWALE.
- INSTALL CURB OPENING PER DETAIL A1 THIS SHEET.
- CONSTRUCT NEW 2' WIDE VALLEY GUTTER PER DETAIL A3 THIS SHEET.
- INSTALL RIP RAP BLANKET 12" DEEP AND 3' X 3' WITH GEOTECH FABRIC.
- MATCH EXISTING GRADE
- INSTALL DEPRESSED ISLANDS AND CURB OPENINGS PER DETAIL A2 THIS SHEET.
- INSTALL CONCRETE VALLEY GUTTER 4' WIDE X 6' LONG.

GRADING LEGEND

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
--- EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
--- PROPOSED FLOW LINE	--- EASEMENT
--- PROPOSED FINISHED GRADE SPOT ELEVATION	
--- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW	

REVISIONS

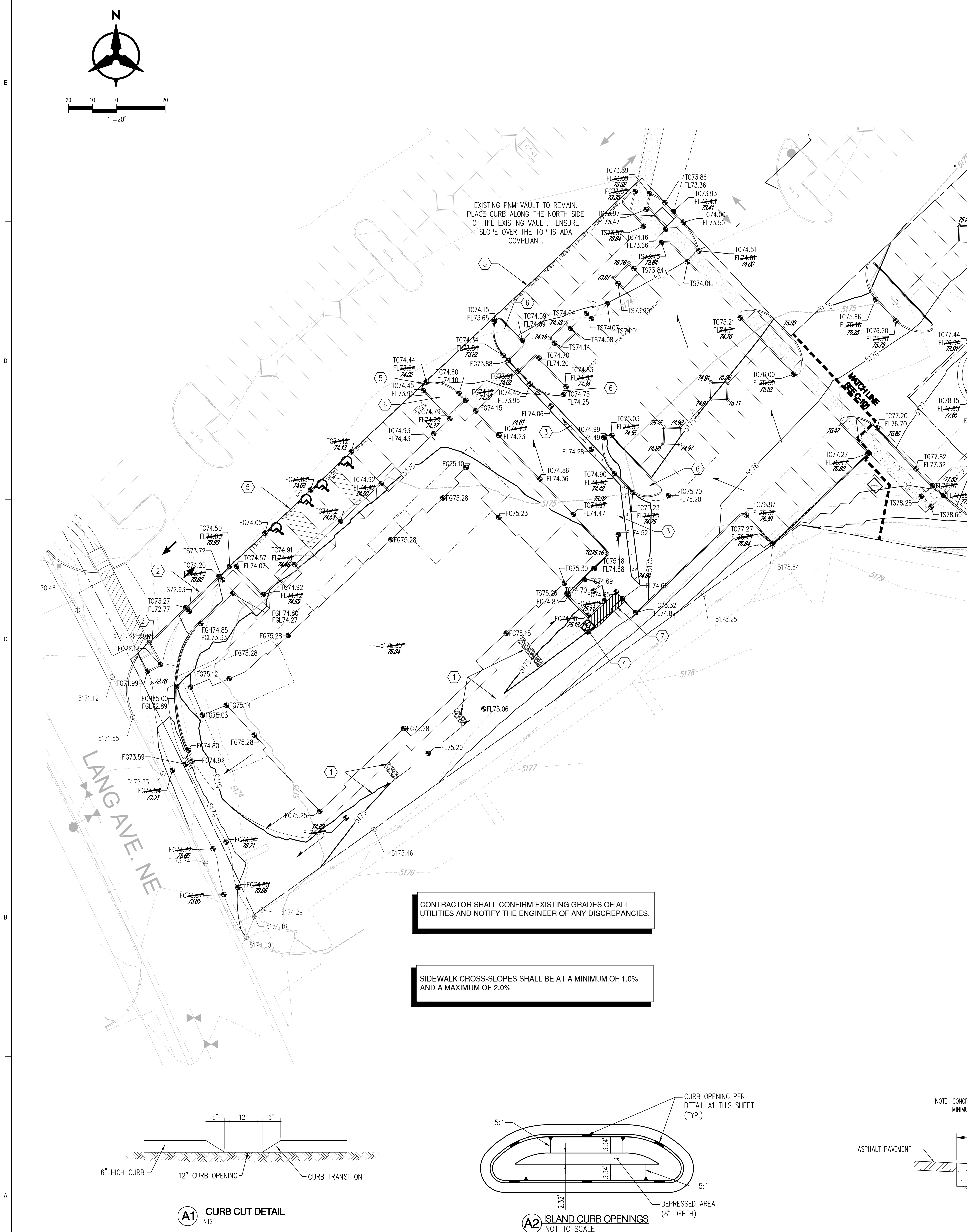


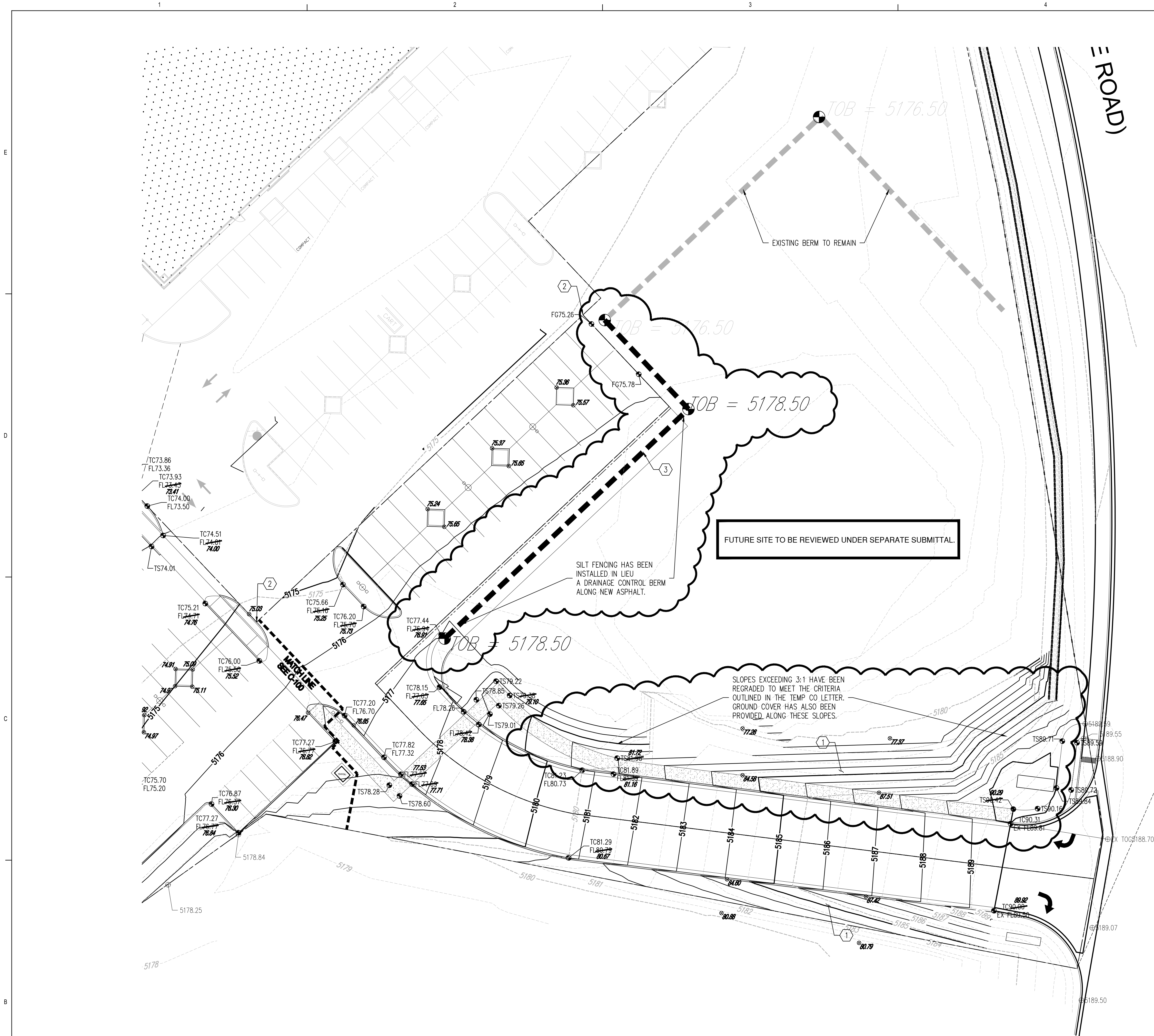
DRAWN BY: MHS
REVIEWED BY: MJB
DATE: April 27, 2017
PROJECT NO.: 16-0068
DRAWING NAME: GRADING AND DRAINAGE PLAN

SHEET NO.

C-100

OF



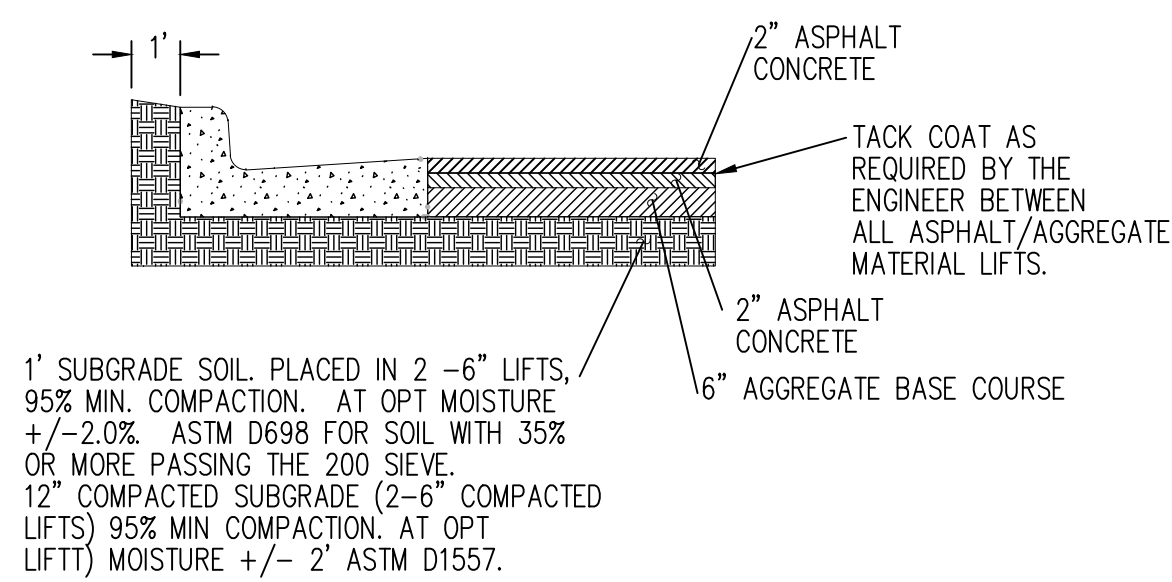


CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

CONTRACTOR SHALL ADJUST RIM AND COLLARS OF ALL EXISTING MANHOLES AND VALVES PER COA STD. DWGS.

NOTE:
CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL & IMPORT MATERIAL W/ R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.



ACCESS RD. / DRIVE AISLE PAVEMENT SECTION
NOT TO SCALE

DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN. INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 4/26/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 15702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/4/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187
1/10/2018

AS-BUILT LEGEND

FL 24.47 74.87 AS-BUILT GRADE
75.25 AS-BUILT GRADE

GRADING KEYNOTES

1. TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1 SLOPES.
2. MATCH EXISTING GRADE.
3. CONSTRUCT NEW TEMPORARY SEDIMENT CONTROL BERM 2' WIDE TOP, 3:1 SIDE SLOPES COMPACTED TO 90%. SEE PLAN FOR TOP OF BERM ELEVATIONS AND LOCATION.

GRADING LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FLOW LINE
- PROPOSED FINISHED GRADE SPOT ELEVATION
- PROPOSED TOP OF CURB, FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRADE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED RETAINING WALL
- EASEMENT

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG
ARCHITECT

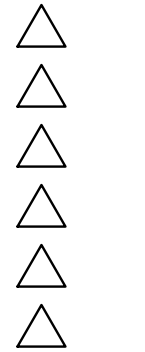
ENGINEER



PROJECT

LEGACY @ JOURNAL CENTER
5101 Lang Avenue NE
Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY EGN
REVIEWED BY MJB
DATE April 27, 2017
PROJECT NO. 16-0068
DRAWING NAME
GRADING
& DRAINAGE
PLAN

SHEET NO.
C-101
OF

