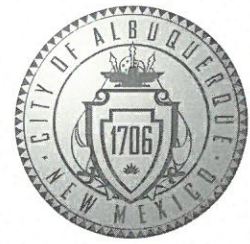


# CITY OF ALBUQUERQUE



October 18, 2017

Mike Balaskovits  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

RE: **Tract A-3-B (Legacy at Journal Center)**  
**5151 Lang Ave NE**  
**Request for Certificate of Occupancy – Permanent**  
**Hydrology Final Inspection - Disapproved**  
**Engineer's Stamp Date 4/26/17 (D17D106A)**  
**Certification Dated: 10/12/17**

Dear Mr. Balaskovits,

Based on the certification received 10/13/17, this submittal cannot be approved for release of Certificate of Occupancy (Permanent) by Hydrology until the following are corrected:

1. The north slope of the connection to Pan-American needs to be reseeded according to Section 1012 of the standard specifications or otherwise stabilized against erosion:



2. Survey needs to extend up to the Pan-American connection and include top and bottom of slopes.
3. Slopes exceeding 3:1 will need stabilization w/stone or reseeded w/gravel mulch (noted at the area fronting Pan-American by the Cabela's sign).

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



4. The south slope of the connection to Pan-American needs to be stabilized and erosion across the property line into the Courtyard Marriot parking lot cleaned up:



5. Construction, including landscaping, needs to be complete and the red "DANGER DO NOT ENTER" tape removed from the property to be occupied.
6. The survey information needs to be edited (As-Built) into the original grading plan, not attached.
7. Drainage certification language needs to match the DPM.
8. The temporary sediment control berm is not constructed. This needs to be as-built as such. Discussing with Curtis Cherne, the berm is not critical as long as the silt fence remains in good condition.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development and Review Services



Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335  
[www.bhinc.com](http://www.bhinc.com)  
voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

## CLIENT/COURIER TRANSMITTAL

To: Dana Peterson, P.E.  
City of Albuquerque  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

Requested by: Mike Balaskovits

Date: October 13, 2017

Time Due: ☐ This A.M.  
☒ This P.M.  
☐ Rush \_\_\_\_\_  
☐ By Tomorrow

### DELIVERY VIA

☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other

### PICK UP

Item: \_\_\_\_\_

Phone: 924-3999

Job No.: 20170053

Job Name: Tract A-3-B (Legacy @ Journal Center)

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage Info Sheet
2	1	As-built plan
3	1	Grading & Drainage Plan

### COMMENTS / INSTRUCTIONS

Dana,

Please find attached the Grading Plan for Tract A-3-B (a part of Legacy @ Journal Center) along with the asbuilts. Minor punch list items are currently being addressed and we have been told they will be completed early next week. One item worth mention is lowering of the swale south of the building to follow the approved grading and drainage plan. We are requesting Permanent Occupancy Permit Approval. Let me if you have any questions.

REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

Thanks,  
Mike

**Engineering**  
**Spatial Data**  
**Advanced Technologies**

---

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

**www.bhinc.com**

**voice:** 505.823.1000

**facsimile:** 505.798.7988

**toll free:** 800.877.5332

**REC'D BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_ **TIME:** \_\_\_\_\_



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT

LEGACY @ JOURNAL CENTER  
5151 Lang Avenue NE  
Albuquerque, New Mexico 87109

## GENERAL NOTES

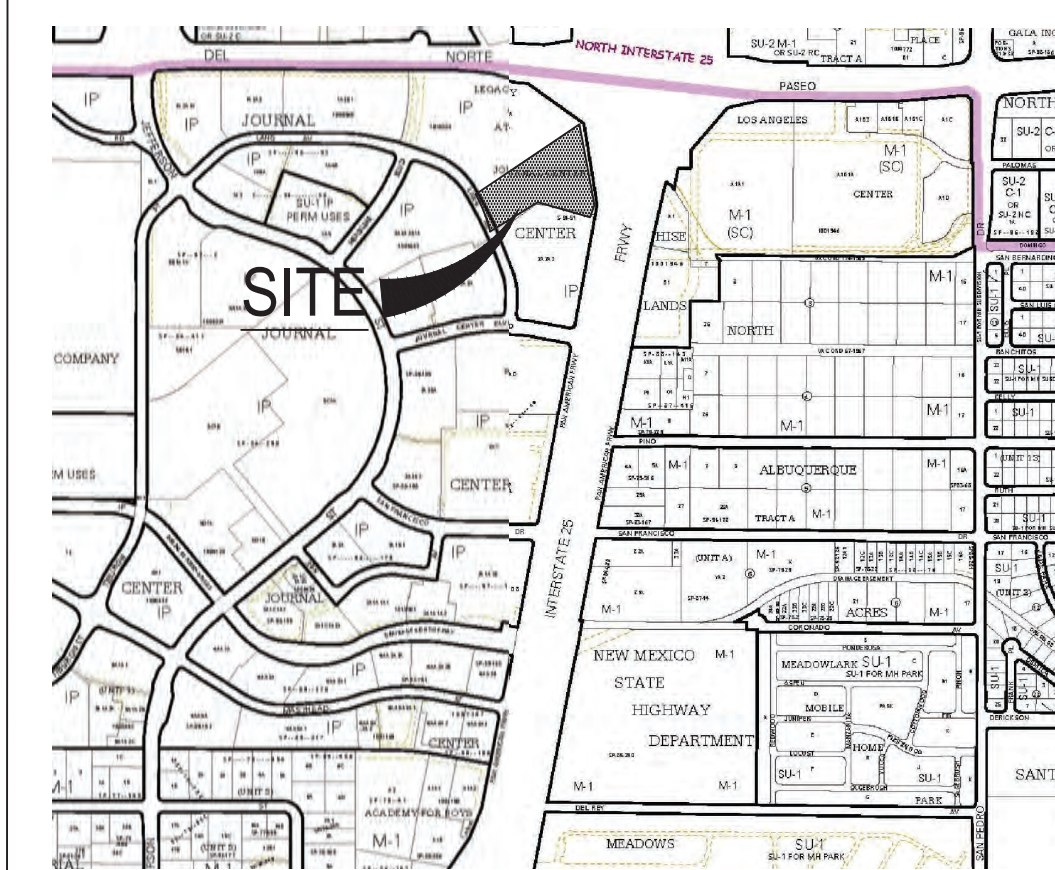
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TRAFFIC DISRUPTANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST PRIORITY SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

### GRADING AND DRAINAGE CERTIFICATION

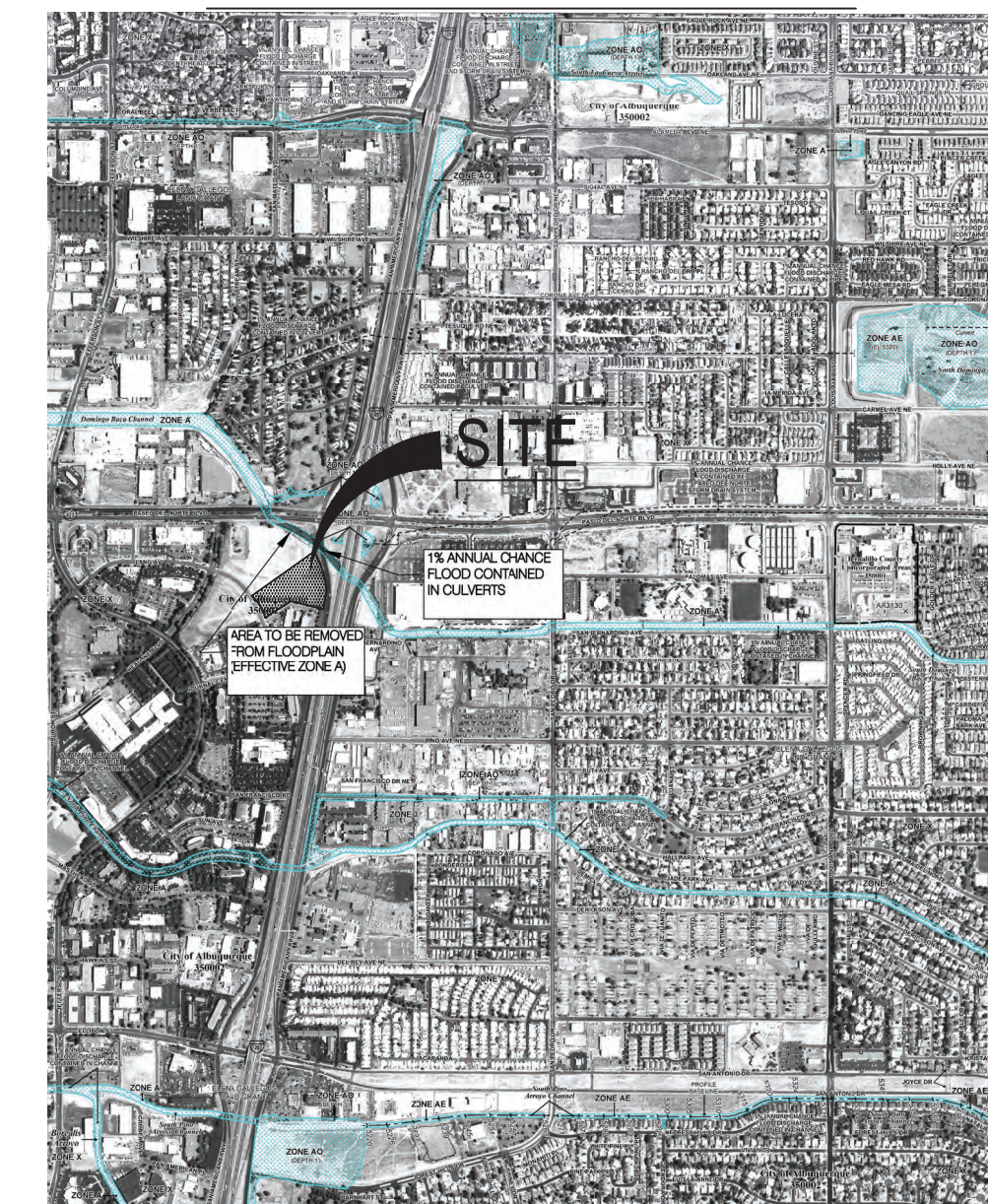
I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 04/26/2017. THE RECORD INFORMATION IN THE ATTACHED, STAMPED AND SIGNED ASBUILT SURVEY HAS BEEN PROVIDED BY CHRISTOPHER A. MEDINA, NMPLS 15702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 10/12/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Michael Balaskovits*  
MICHAEL BALASKOVITS, NMPE 18187  
10/12/2017



ZONE ATLAS PAGE D17 & D18



FEMA FIRM # 35001C0137H

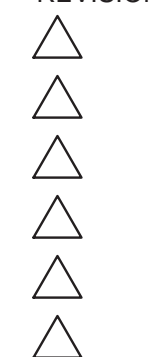
### GRADING KEYNOTES

- NEW EARTHEN SWALE. GRADES SHOWN ARE TO TOP OF LANDSCAPING. CONTRACTOR SHALL INSURE ALL FINAL GRADES MEET PROPOSED ELEVATIONS NOTED. CONTRACTOR TO ADD RIP RAP AT NEW ROOF DRAINS, 3' WIDE DOWN TO INVERT OF SWALE.
- INSTALL CURB OPENING PER DETAIL A1 THIS SHEET.
- CONSTRUCT NEW 2' WIDE VALLEY GUTTER PER DETAIL A3 THIS SHEET.
- INSTALL RIP RAP BLANKET 12" DEEP AND 3' X 3' WITH GEOTECH FABRIC.
- MATCH EXISTING GRADE
- INSTALL DEPRESSED ISLANDS AND CURB OPENINGS PER DETAIL A2 THIS SHEET.
- INSTALL CONCRETE VALLEY GUTTER 4' WIDE X 6' LONG.

### GRADING LEGEND

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
--- EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
--- PROPOSED FLOW LINE	--- EASEMENT
--- PROPOSED FINISHED GRADE SPOT ELEVATION	
--- TC=TOP OF CURB	
--- FL=FLOW LINE	
--- TS=TOP OF SIDEWALK	
--- TG=TOP OF GRATE	
--- FGH=FINISH GROUND HIGH	
--- FGL=FINISH GROUND LOW	

### REVISIONS

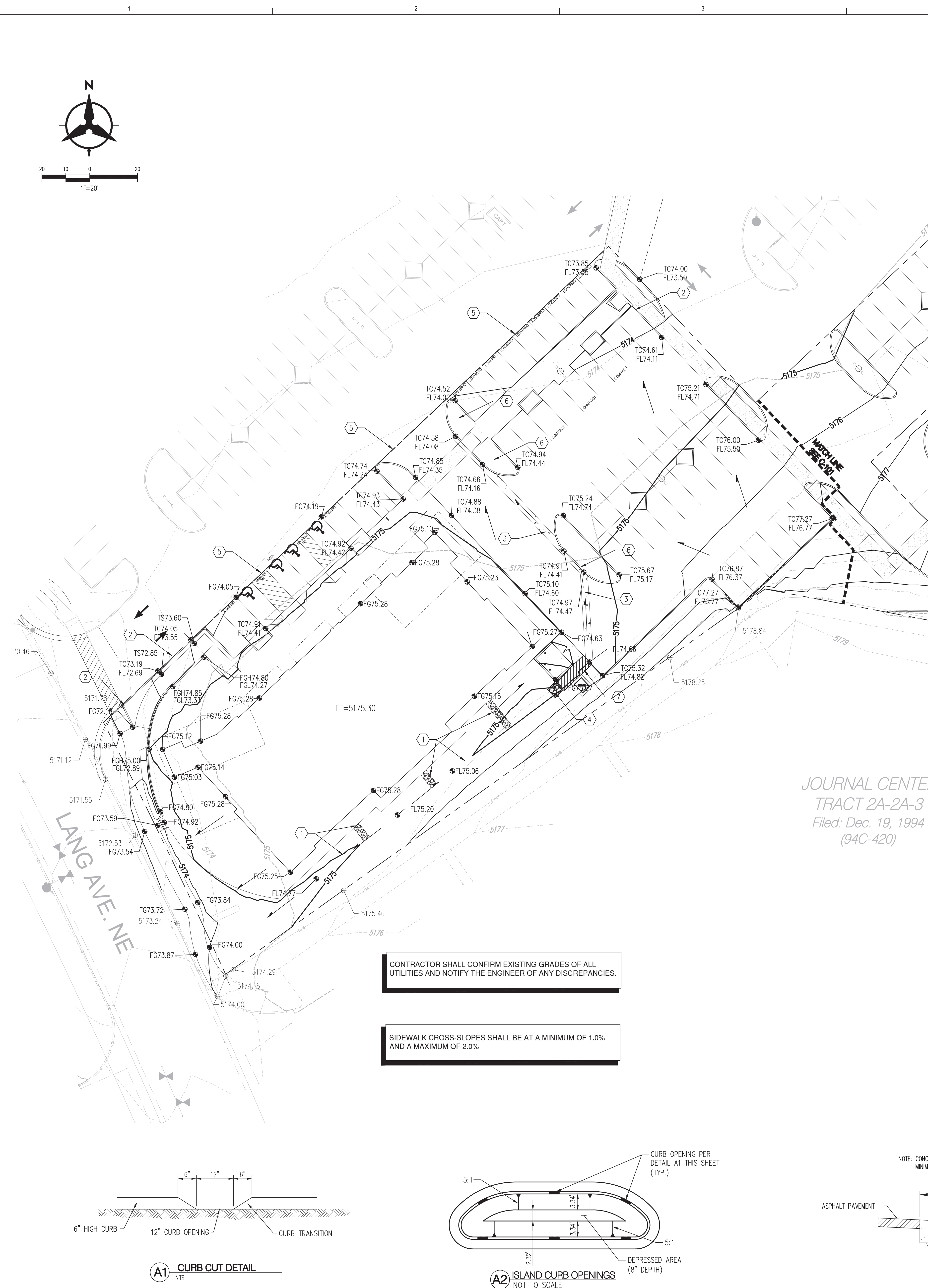


DRAWN BY: MHS  
REVIEWED BY: MJB  
DATE: April 27, 2017  
PROJECT NO.: 16-0068  
DRAWING NAME: GRADING AND DRAINAGE PLAN

SHEET NO.

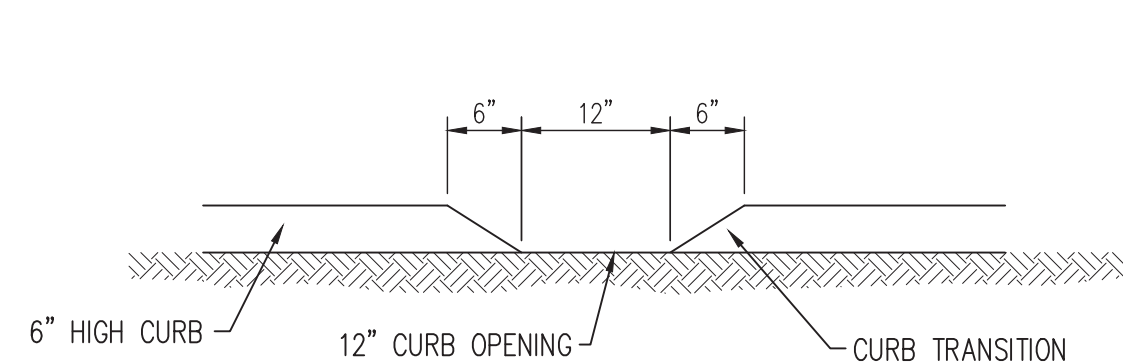
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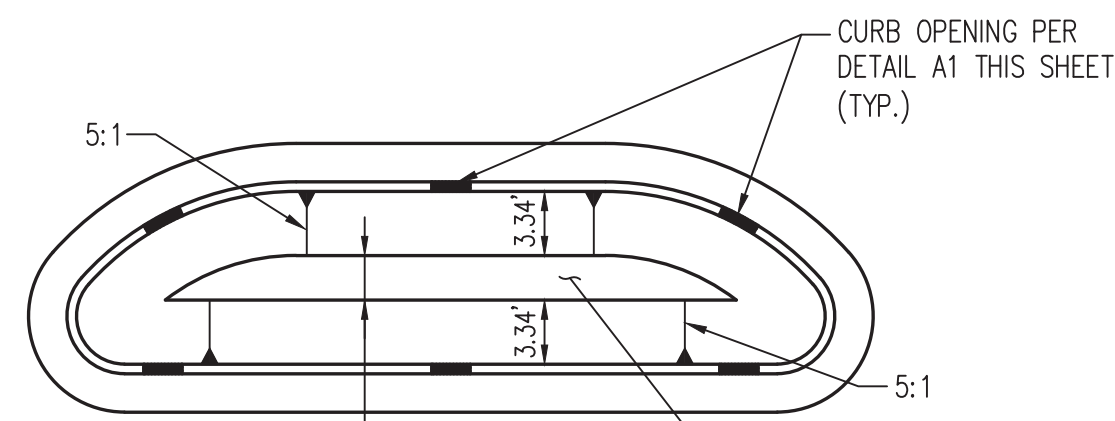


CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

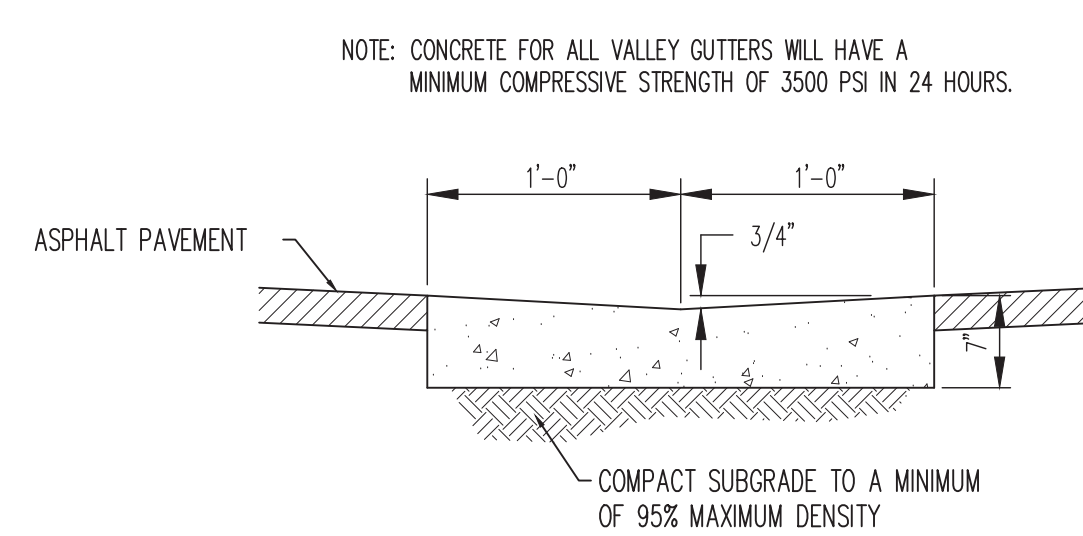
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%



A1 CURB CUT DETAIL  
N.T.S.

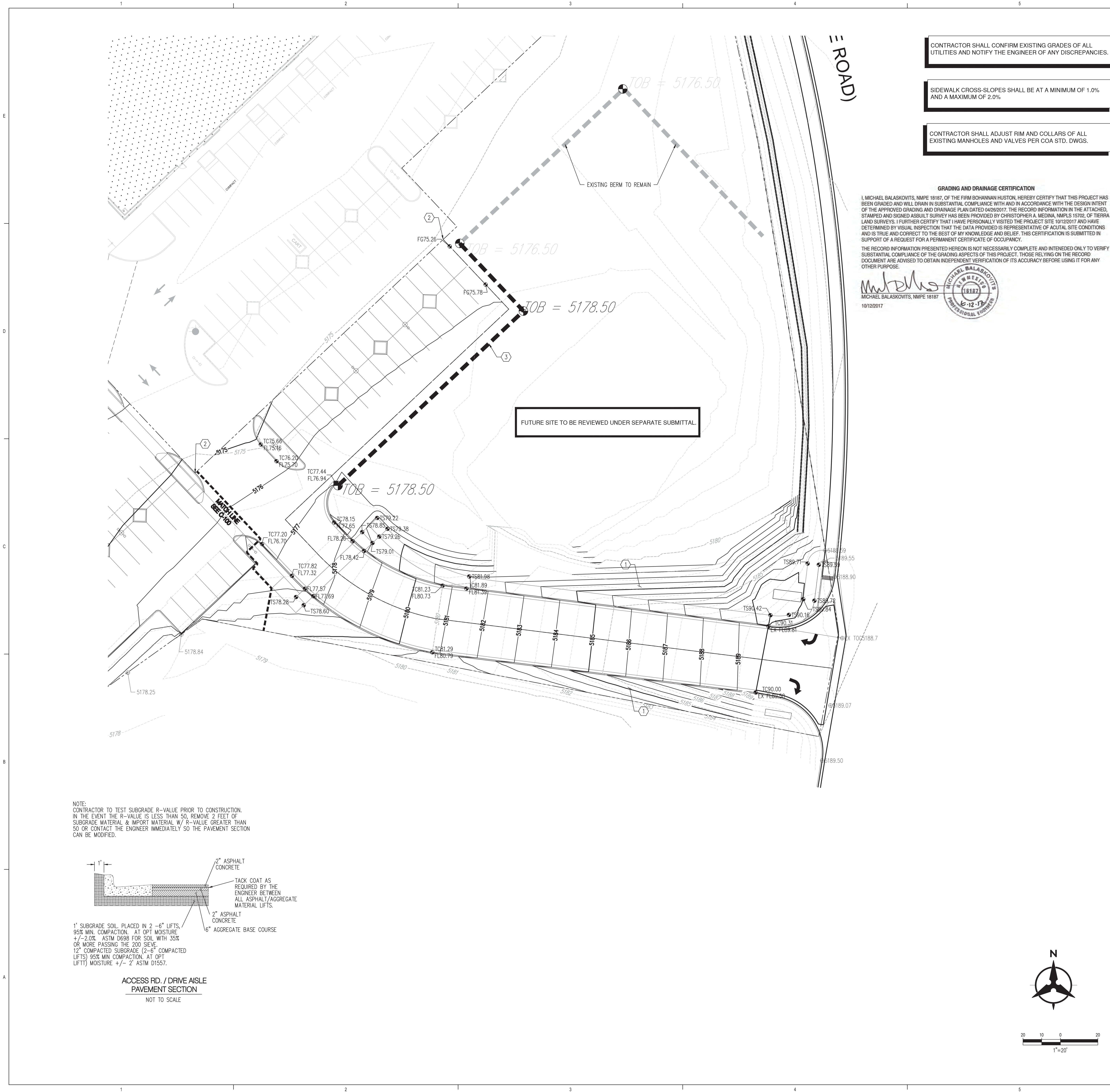


A2 ISLAND CURB OPENINGS  
NOT TO SCALE

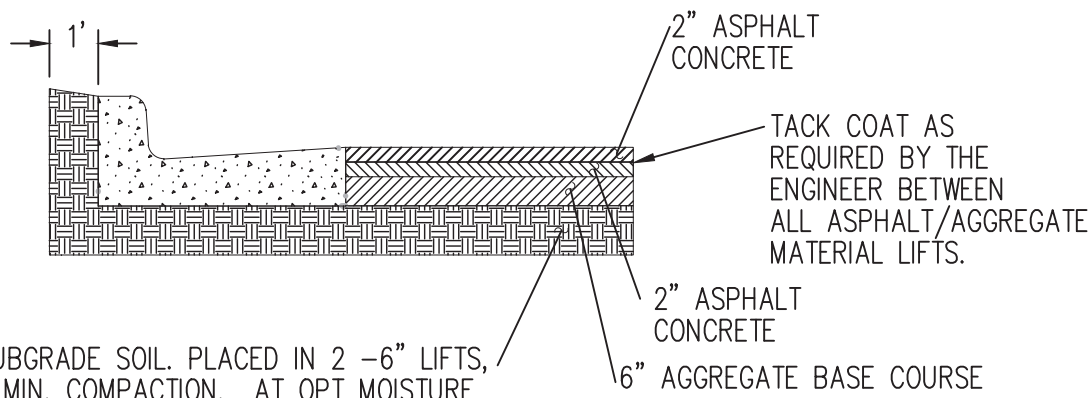


A3 CONCRETE VALLEY GUTTER  
N.T.S.





NOTE:  
CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION.  
IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF  
SUBGRADE MATERIAL & IMPORT MATERIAL W/ R-VALUE GREATER THAN  
50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION  
CAN BE MODIFIED.



1' SUBGRADE SOIL PLACED IN 2 - 6" LIFTS,  
95% MIN. COMPACTION. AT OPT. MOISTURE  
+/- 2.0%. ASTM D698 FOR SOIL WITH 35%  
OR MORE PASSING THE 200 SIEVE.  
12" COMPACTED SUBGRADE (2-6" COMPACTED  
LIFTS) 95% MIN. COMPACTION. AT OPT.  
LIFT) MOISTURE +/- 2" ASTM D1557.

ACCESS RD. / DRIVE AISLE  
PAVEMENT SECTION  
NOT TO SCALE

CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL  
UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0%  
AND A MAXIMUM OF 2.0%

CONTRACTOR SHALL ADJUST RIM AND COLLARS OF ALL  
EXISTING MANHOLES AND VALVES PER COA STD. DWGS.

#### GRADING AND DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THIS PROJECT HAS  
BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT  
OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 04/26/2017. THE RECORD INFORMATION IN THE ATTACHED,  
STAMPED AND SIGNED ASBUILT SURVEY HAS BEEN PROVIDED BY CHRISTOPHER A. MEDINA, NMPLS 15702, OF TIERRA  
(LAND SURVEYS). I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 10/12/2017 AND HAVE  
DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS  
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN  
SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY  
SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD  
DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY  
OTHER PURPOSE.

*Michael Balaskovits*  
MICHAEL BALASKOVITS, NMPE 18187  
10/12/2017



#### GRADING KEYNOTES

1. TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1  
SLOPES.
2. MATCH EXISTING GRADE.
3. CONSTRUCT NEW TEMPORARY SEDIMENT CONTROL  
BERM, 2' WIDE TOP, 3:1 SIDE SLOPES COMPACTED TO  
90%. SEE PLAN FOR TOP OF BERM ELEVATIONS AND  
LOCATION.

#### GRADING LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- 5025 --- EXISTING INDEX CONTOUR
- 5024 --- EXISTING INTERMEDIATE CONTOUR
- 5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 PROPOSED INDEX CONTOUR
- 5024 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FLOW LINE
- 56.75 PROPOSED FINISHED GRADE SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, LG=TOP OF GRADE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & OUTER DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED RETAINING WALL
- EASEMENT



20 10 0 20  
1"=20'

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

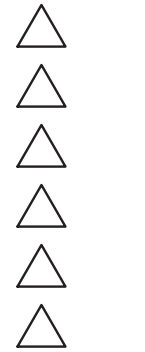
ENGINEER



PROJECT

LEGACY @ JOURNAL CENTER  
5151 Lang Avenue NE  
Albuquerque, New Mexico 87109

#### REVISIONS



DRAWN BY EGN

REVIEWED BY MJB

DATE April 27, 2017

PROJECT NO. 16-0068

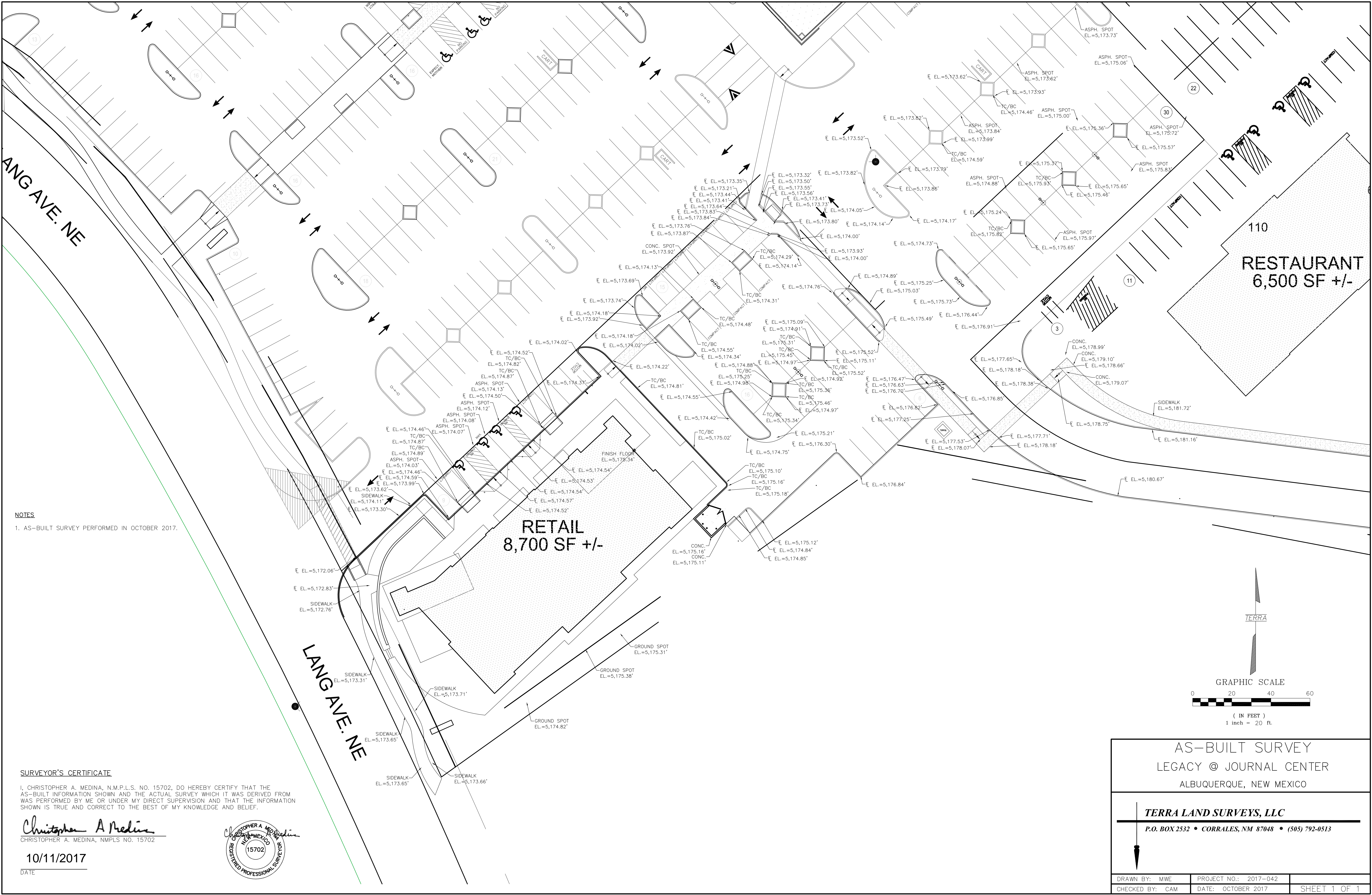
DRAWING NAME  
GRADING  
& DRAINAGE  
PLAN

SHEET NO.

C-101

OF





NOTES

1. AS-BUILT SURVEY PERFORMED IN OCTOBER 2017.

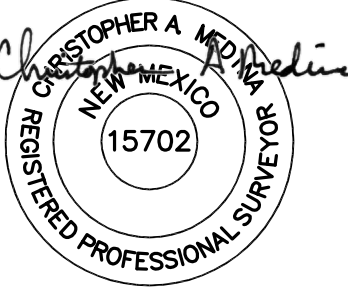
SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Christopher A. Medina*  
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

10/11/2017

DATE



AS-BUILT SURVEY  
LEGACY @ JOURNAL CENTER  
ALBUQUERQUE, NEW MEXICO

**TERRA LAND SURVEYS, LLC**  
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

DRAWN BY: MWE	PROJECT NO.: 2017-042	SHEET 1 OF 1
CHECKED BY: CAM	DATE: OCTOBER 2017	