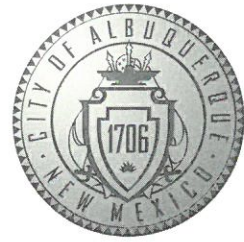


# CITY OF ALBUQUERQUE



October 30, 2017

Mike Balaskovits  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Tract A-3-B (Legacy at Journal Center)**  
**5151 Lang Ave NE**  
**Request for Certificate of Occupancy – 60 day Temporary**  
**Hydrology Final Inspection - Approved**  
**Engineer's Stamp Date 4/26/17 (D17D106A)**  
**Certification Dated: 10/23/17**

Dear Mr. Balaskovits,

Based on the certification received 10/27/17, this submittal is approved for release of Certificate of Occupancy (60-day Temporary) by Hydrology. Prior to Engineer's Certification for Permanent Certificate of Occupancy, the following must be corrected:

1. The north slope of the connection to Pan-American needs to be reseeded according to Section 1012 of the standard specifications or otherwise stabilized against erosion.
2. Slopes exceeding 3:1 will need stabilization w/stone or reseeded w/gravel mulch (noted at the area fronting Pan-American by the Cabela's sign).

If you have any questions, you can contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development and Review Services

C: Email      Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.

# City of Albuquerque

## Planning Department

Development &amp; Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** TRACT A-3-B (LEGACY @ JOURNAL CENTER)      **Building Permit #:** \_\_\_\_\_ **City Drainage #:** D17/D106A  
**DRB#:** 1010228      **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT A-3-B LEGACY AT JOURNAL CENTER  
**City Address:** 5151 LANG AVE NE, ALBUQUERQUE, NM 87109

<b>Engineering Firm:</b> BOHANNAN HUSTON, INC.	<b>Contact:</b> MIKE BALASKOVITS
<b>Address:</b> 7500 JEFFERSON ST NE ALBUQUERQUE, NM 87109	
<b>Phone#:</b> 505-823-1000	<b>Fax#:</b> 505-798-7988
<b>E-mail:</b> MBALASKOVITS@BHINC.COM	

**Owner:** TITAN DEVELOPMENT CENTER LAND, LLC **Contact:** BRIAN PATTERSON  
**Address:** 6300 RIVERSIDE PLAZA LANE NW #200  
**Phone#:** 505-998-0163 **Fax#:** **E-mail:** BPATTERSON@TITAN-DEVELOPMENT.COM

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

## DEPARTMENT:

x	HYDROLOGY/ DRAINAGE
	TRAFFIC/ TRANSPORTATION
	MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

  X   ENGINEER/ ARCHITECT CERTIFICATION

       CONCEPTUAL G & D PLAN

       GRADING PLAN

       DRAINAGE MASTER PLAN

       DRAINAGE REPORT

       CLOMR/LOMR

       TRAFFIC CIRCULATION LAYOUT (TCL)

       TRAFFIC IMPACT STUDY (TIS)

       EROSION & SEDIMENT CONTROL PLAN (ESC)

       OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:        Yes   x   No

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

       BUILDING PERMIT APPROVAL

  x   CERTIFICATE OF OCCUPANCY

       PRELIMINARY PLAT APPROVAL

       SITE PLAN FOR SUB'D APPROVAL

       SITE PLAN FOR BLDG. PERMIT APPROVAL

       FINAL PLAT APPROVAL

       SIA/ RELEASE OF FINANCIAL GUARANTEE

       FOUNDATION PERMIT APPROVAL

       GRADING PERMIT APPROVAL

       SO-19 APPROVAL

       PAVING PERMIT APPROVAL

       GRADING/ PAD CERTIFICATION

       WORK ORDER APPROVAL

       CLOMR/LOMR

       PRE-DESIGN MEETING

       OTHER (SPECIFY) Temporary CO

DATE SUBMITTED: 10/27/2017 By: Mike Balaskovits

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

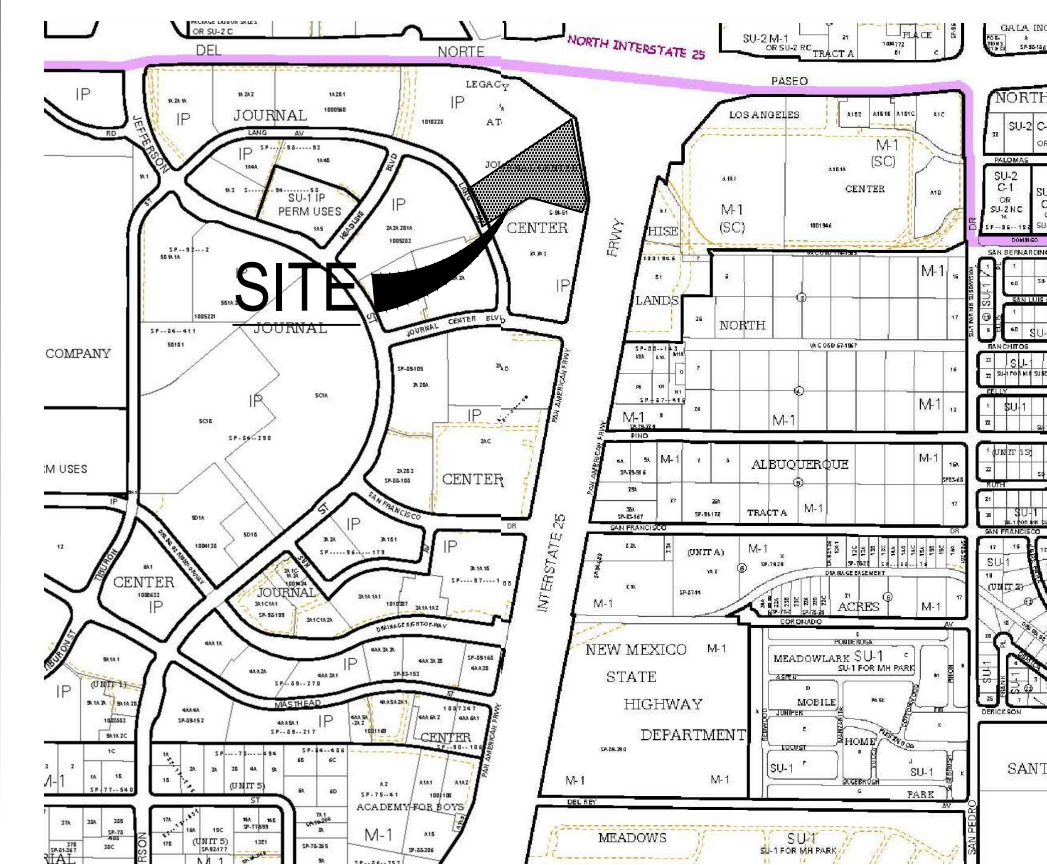


PROJECT

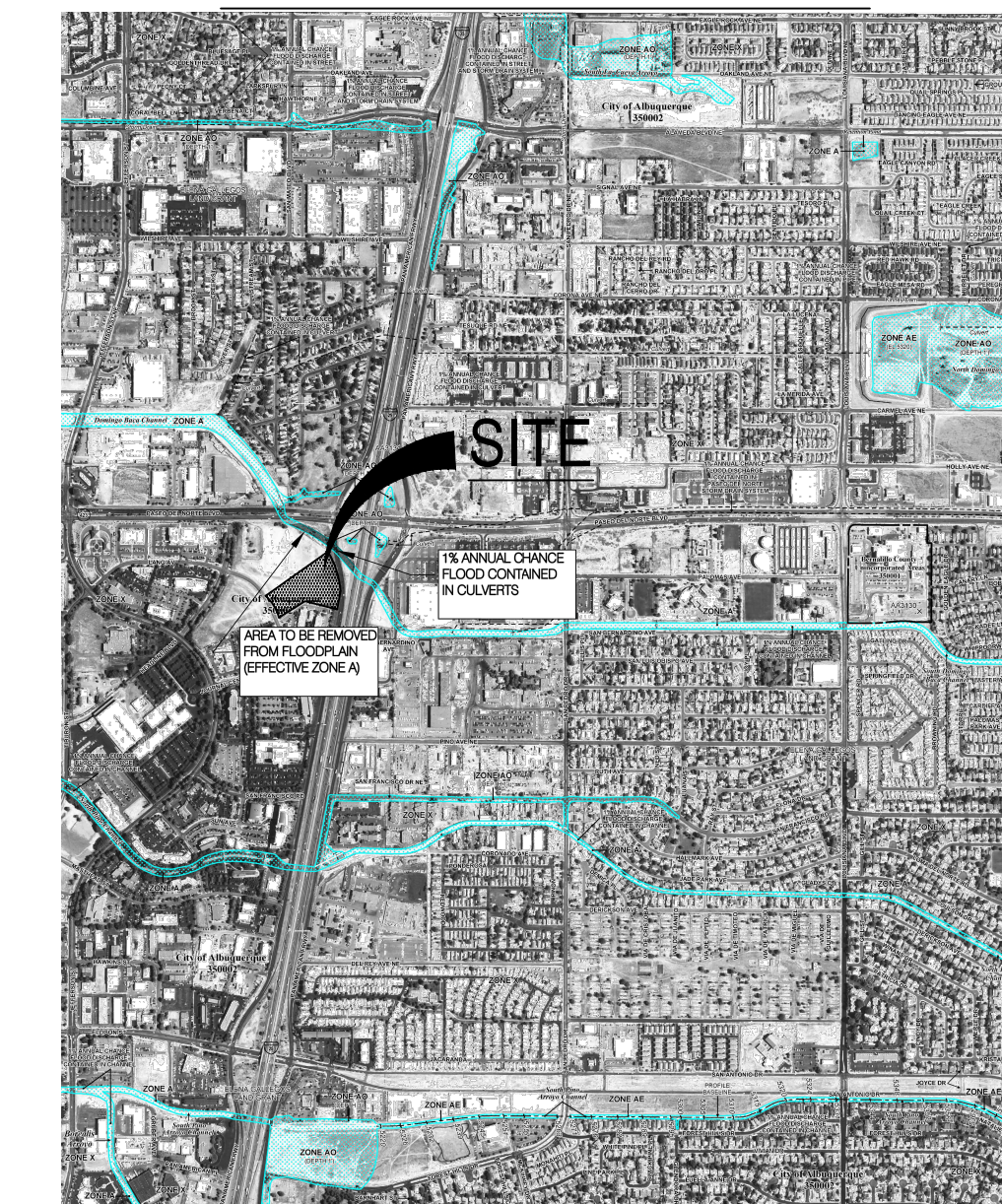
LEGACY @ JOURNAL CENTER  
5101 Lang Avenue NE  
Albuquerque, New Mexico 87109

## GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



ZONE ATLAS PAGE D17 & D18



FEMA FIRM # 35001C0137H

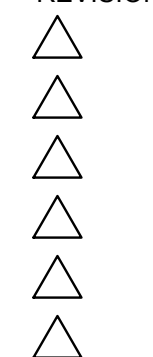
## GRADING KEYNOTES

- NEW EARTHEN SWALE. GRADES SHOWN ARE TO TOP OF LANDSCAPING. CONTRACTOR SHALL INSURE ALL FINAL GRADES MEET PROPOSED ELEVATIONS NOTED. CONTRACTOR TO ADD RIP RAP AT NEW ROOF DRAINS, 3' WIDE DOWN TO INVERT OF SWALE.
- INSTALL CURB OPENING PER DETAIL A1 THIS SHEET.
- CONSTRUCT NEW 2' WIDE VALLEY GUTTER PER DETAIL A3 THIS SHEET.
- INSTALL RIP RAP BLANKET 12" DEEP AND 3' X 3' WITH GEOTECH FABRIC.
- MATCH EXISTING GRADE
- INSTALL DEPRESSED ISLANDS AND CURB OPENINGS PER DETAIL A2 THIS SHEET.
- INSTALL CONCRETE VALLEY GUTTER 4' WIDE X 6' LONG.

## GRADING LEGEND

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
--- EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
--- PROPOSED FLOW LINE	--- EASEMENT
--- PROPOSED FINISHED GRADE SPOT ELEVATION	
--- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW	

## REVISIONS

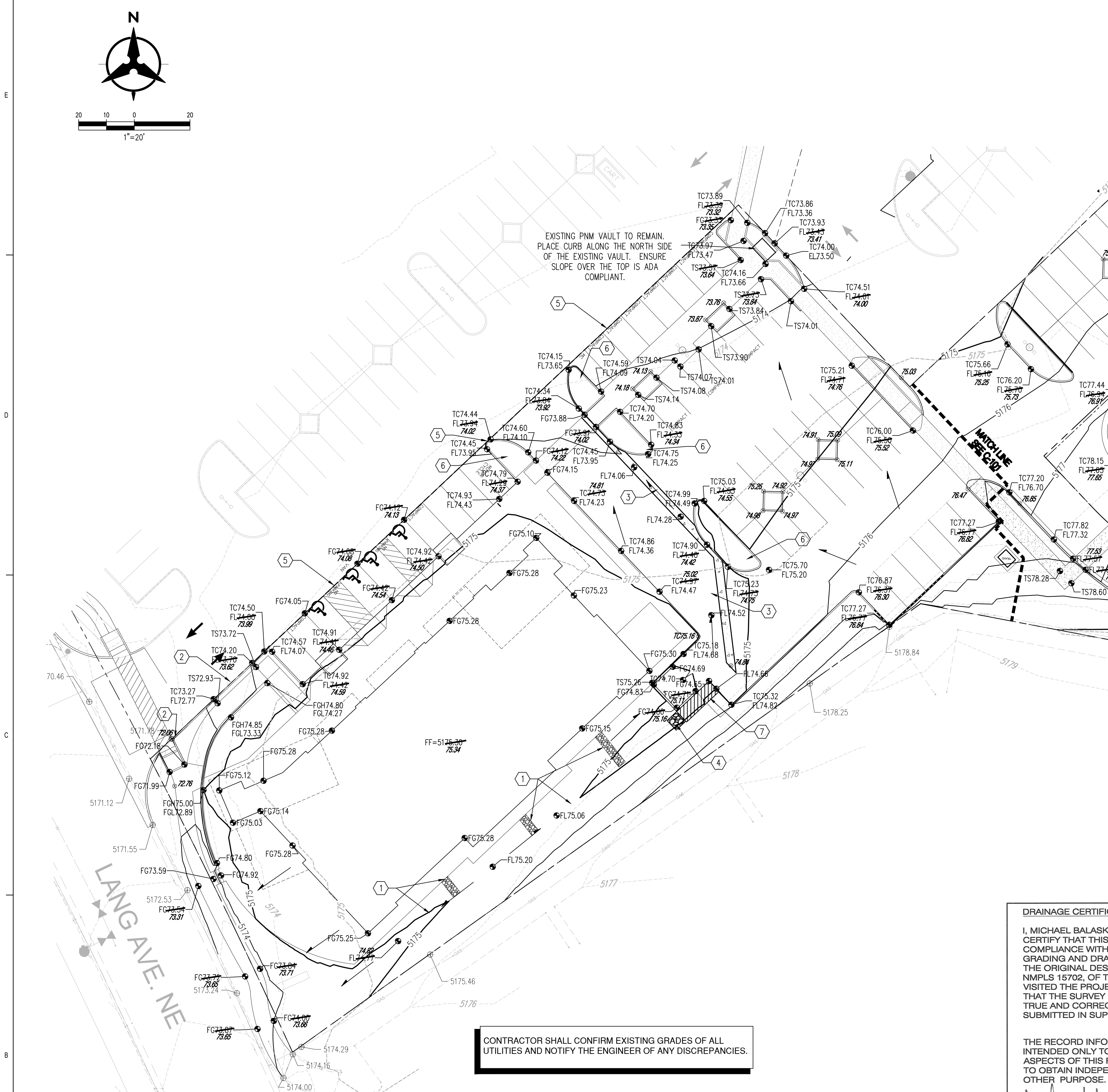


DRAWN BY: MHS  
REVIEWED BY: MJB  
DATE: April 27, 2017  
PROJECT NO.: 16-0068  
DRAWING NAME: GRADING AND DRAINAGE PLAN

SHEET NO.

C-100

OF



CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

## DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 4/26/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 16702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/12/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

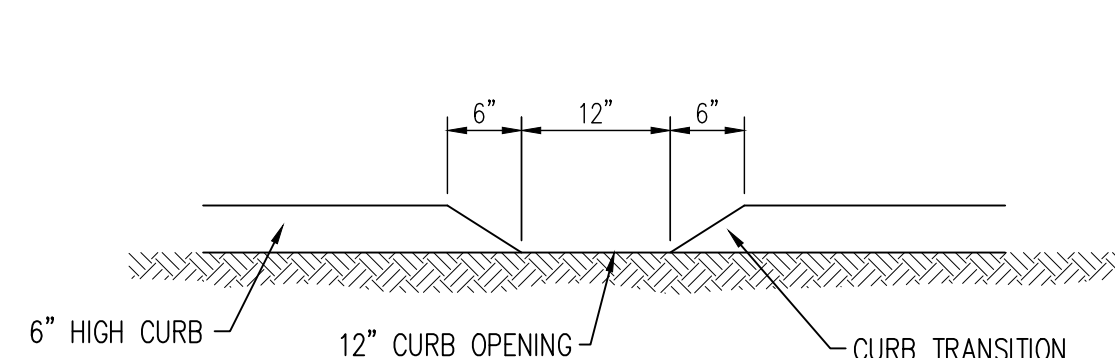
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL BALASKOVITS, NMPE 18187  
10/23/2017

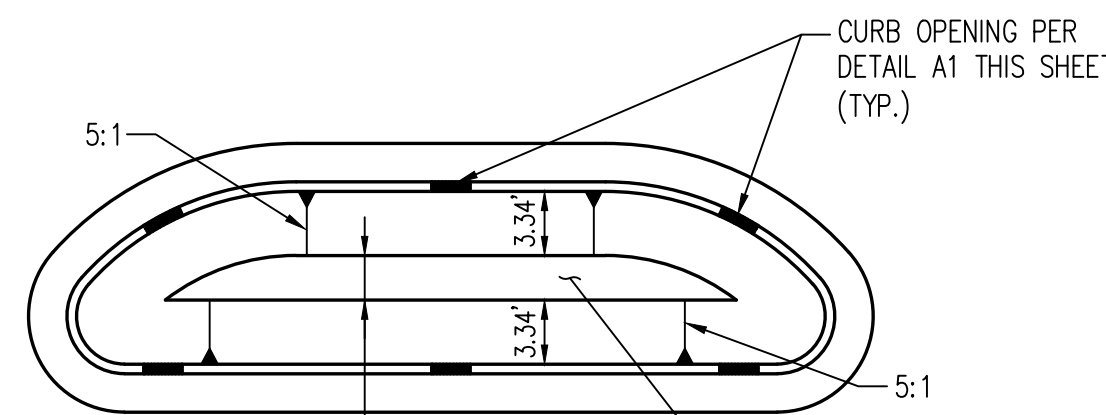


## AS-BUILT LEGEND

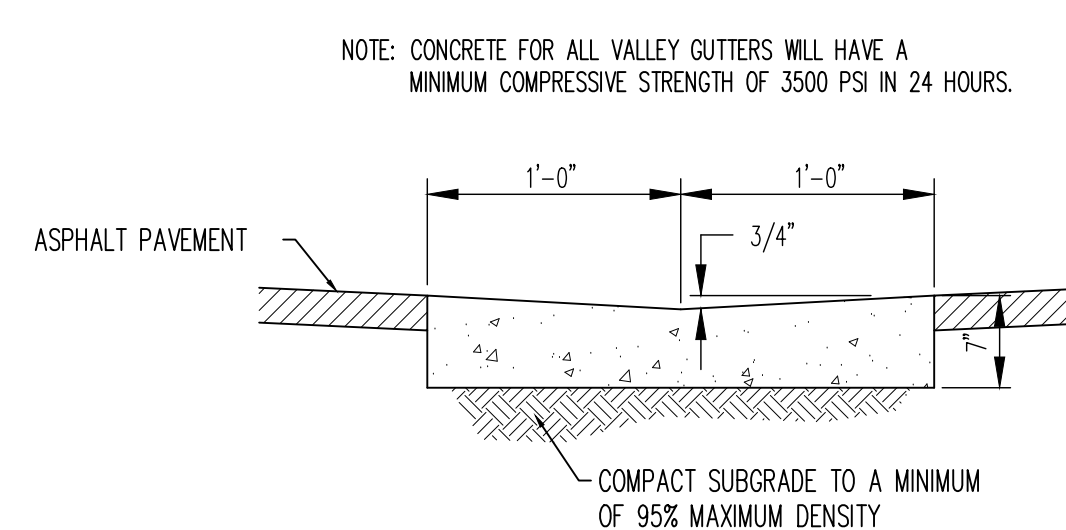
- AS-BUILT GRADE
- AS-BUILT GRADE



A1 CURB CUT DETAIL

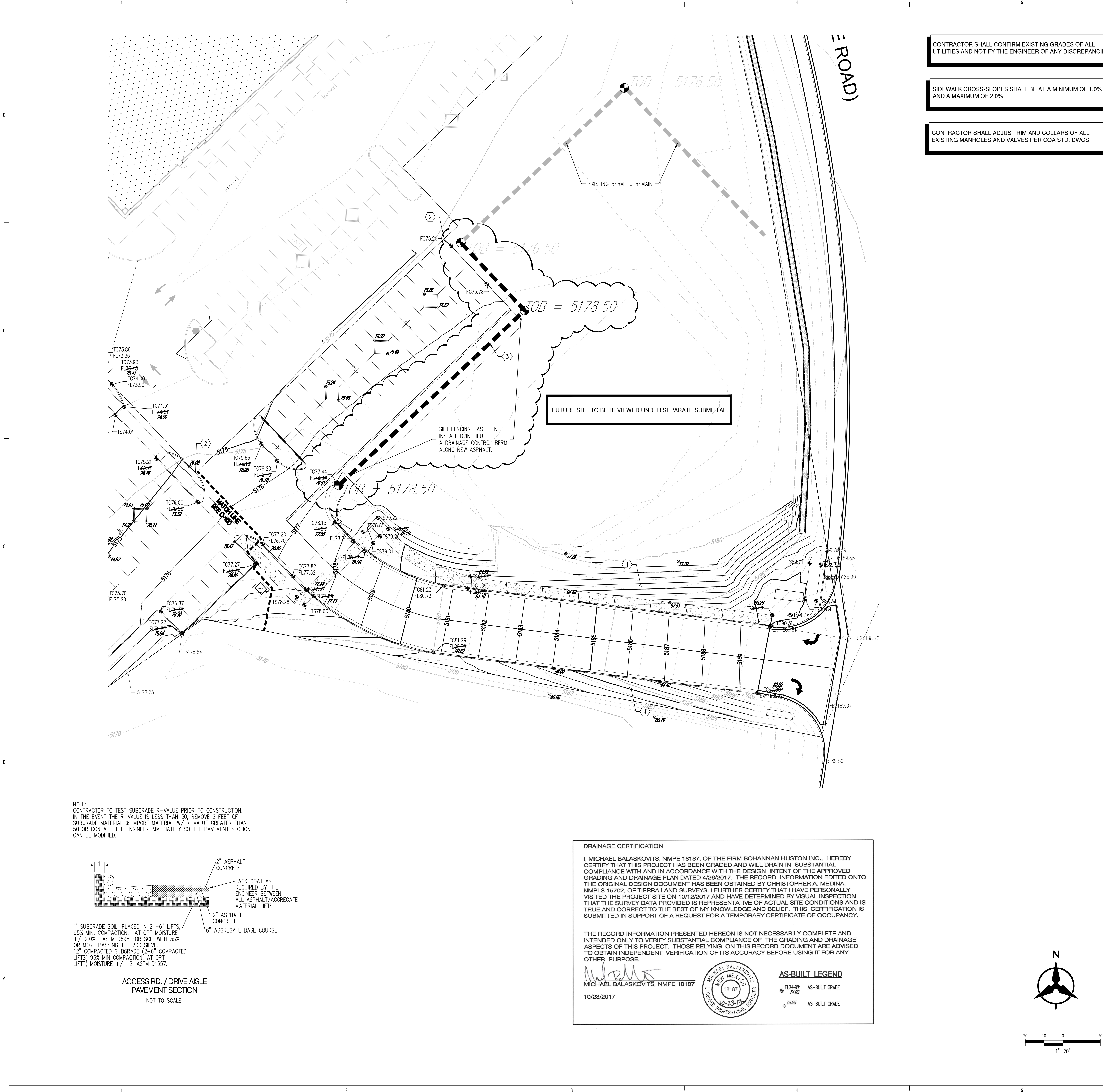


A2 ISLAND CURB OPENINGS



A3 CONCRETE VALLEY GUTTER





ARCHITECTURE / DESIGN / INSPIRATION

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

MICHAEL BALASKOVITS

NEW MEXICO  
18187  
4-26-17  
LICENSED PROFESSIONAL ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER  
5101 Lang Avenue NE  
Albuquerque, New Mexico 87109

GRADING KEYNOTES

1. TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1 SLOPES.

2. MATCH EXISTING GRADE.

3. CONSTRUCT NEW TEMPORARY SEDIMENT CONTROL BERM, 2' WIDE TOP, 3:1 SIDE SLOPES COMPACTED TO 90%. SEE PLAN FOR TOP OF BERM ELEVATIONS AND LOCATION.

CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

CONTRACTOR SHALL ADJUST RIM AND COLLARS OF ALL EXISTING MANHOLES AND VALVES PER COA STD. DWGS.

GRADING LEGEND

--- PROPERTY LINE

--- PROJECT LIMITS OF GRADING

---5025--- EXISTING INDEX CONTOUR

---5024--- EXISTING INTERMEDIATE CONTOUR

⊕ 5025.25 EXISTING GROUND SPOT ELEVATION

---5025--- PROPOSED INDEX CONTOUR

---5024--- PROPOSED INTERMEDIATE CONTOUR

----- PROPOSED FLOW LINE

⊕ 76.75 PROPOSED FINISHED GRADE SPOT ELEVATION

---5025--- PROPOSED FLOW LINE

TS=TOP OF SIDEWALK

TL=TOP OF GRADE

FGH=FINISH GROUND HIGH

FLQ=FINISH GROUND LOW

===== PROPOSED CURB & GUTTER

S=2.0% DIRECTION OF FLOW

----- WATER BLOCK/GRADE BREAK

----- PROPOSED STORM DRAIN LINE

⊙ PROPOSED STORM DRAIN MANHOLE

⊠ PROPOSED STORM DRAIN INLETS

----- PROPOSED RETAINING WALL

----- EASEMENT

REVISIONS

△

△

△

△

△

△

DRAWN BY EGN

REVIEWED BY MJB

DATE April 27, 2017

PROJECT NO. 16-0068

DRAWING NAME GRADING & DRAINAGE PLAN

SHEET NO. C-101

OF