

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 8, 2025

John Nixon  
Mountain Top Engineering  
2525 86th St B,  
Lubbock, TX 79423

**RE: Capra Bank Albuquerque  
5171 Lang Ave. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 08/21/2025  
Hydrology File: D17D106D  
Case # HYDR-2025-00337**

Dear Mr. Nixon:

Based upon the information provided in your submittal received 10/03/2025, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

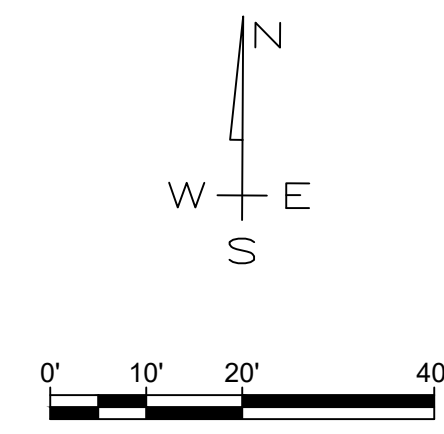
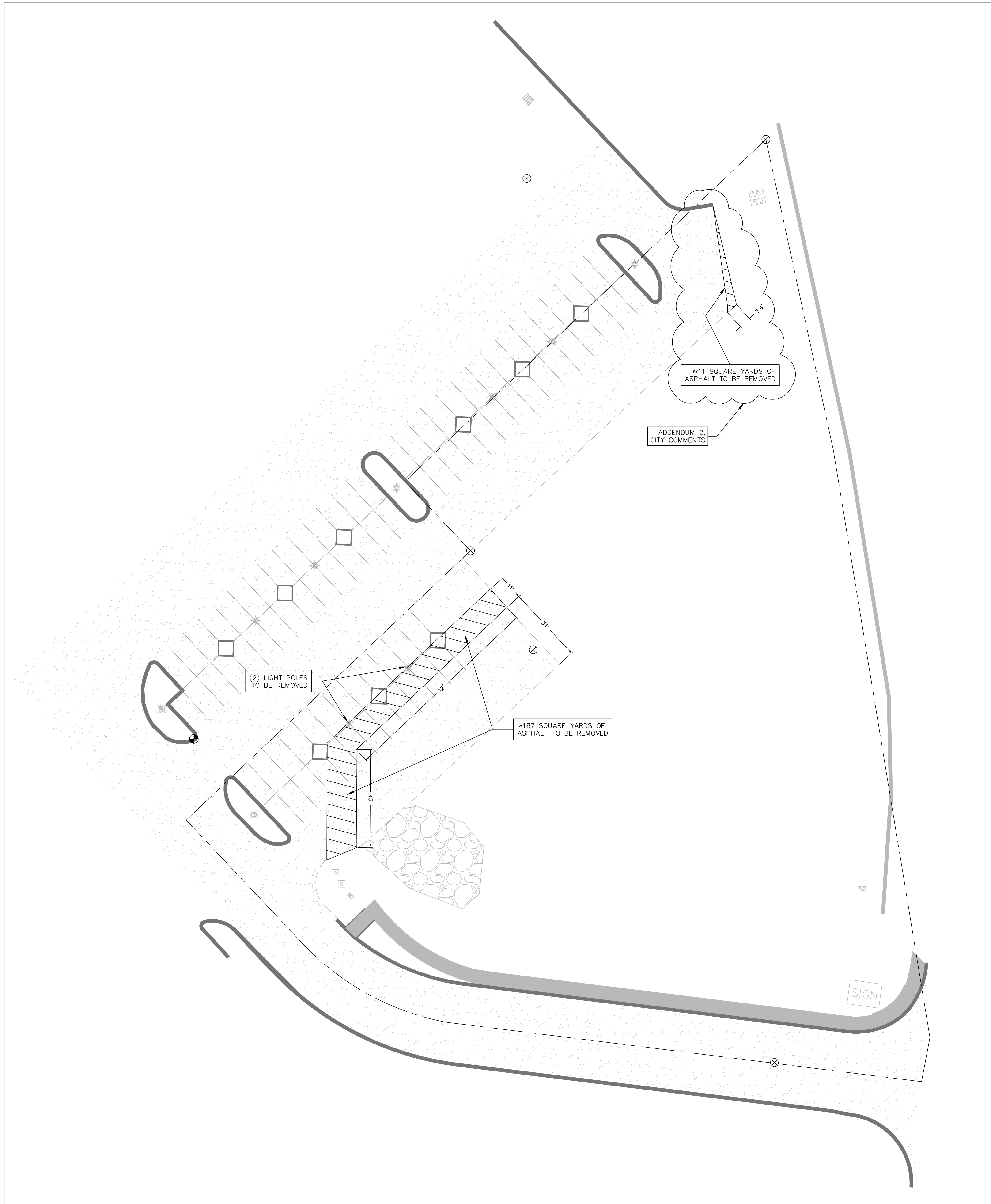
[www.cabq.gov](http://www.cabq.gov)



City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/08/2025  
 BY: [Signature]  
 HydroType # D17D106D

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVAL AND REPORTS SHALL NOT BE CONSIDERED A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN OBTAINED BY THE DEVELOPER.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS



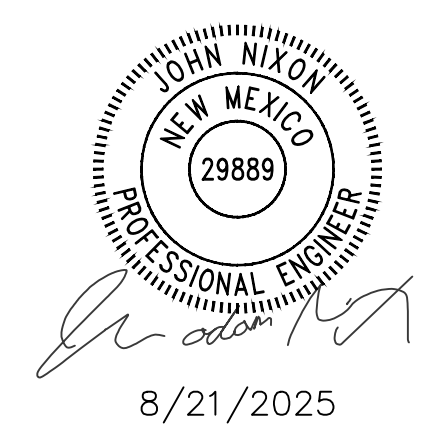
- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
  - ▬ EXISTING CURB AND GUTTER
  - ▬ EXISTING SIDEWALK
  - ▬ EXISTING ASPHALT PAVING
  - ▬ EXISTING TRACKOUT ROCK
  - - - - - BOUNDARY LINE

**CAPRA BANK ALBUQUERQUE**  
**5171 LANG AVE NE**  
**ALBUQUERQUE, NEW MEXICO 87109**



**Seventeen Services LLC**  
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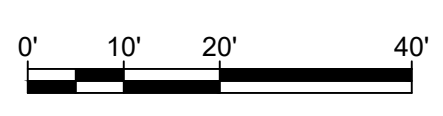
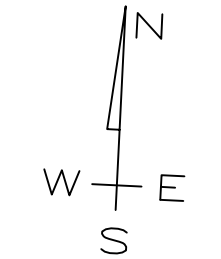
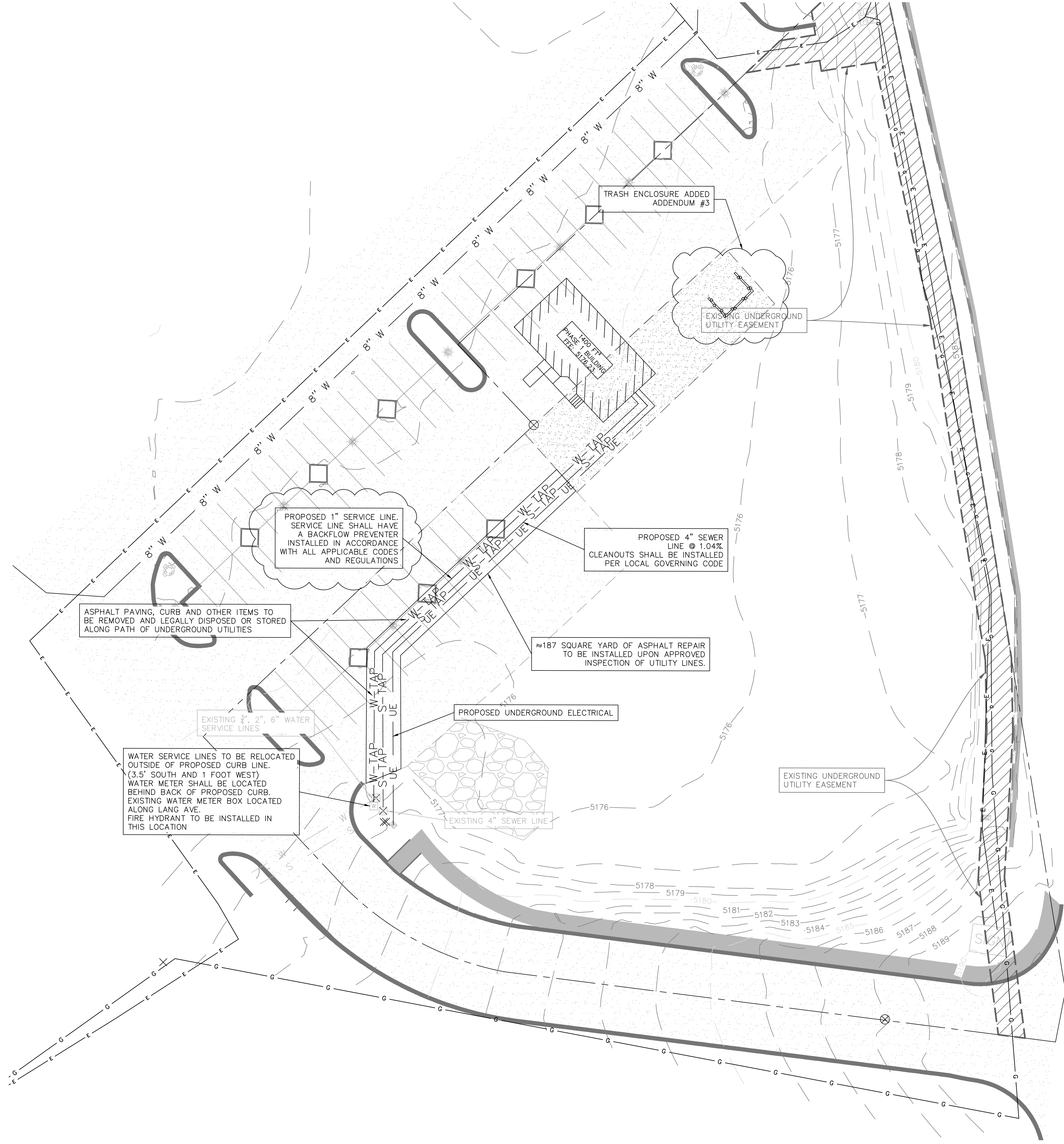
Project Number 25ENG27  
 Date 6-10-25  
 Drawn By SM  
 Sheet Size E1 30X42



8/21/2025



**PHASE 1**  
**DEMO PLAN**  
**C-101**



**LEGEND AND NOTES:**

- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- PROPOSED WATER SERVICE LINE
- PROPOSED SEWER SERVICE LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING WATER LINE
- EXISTING SEWER LINE

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE

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ALL UTILITY APPURTENANCES LOCATED WITHIN A DRIVE AISLE AND/OR SURFACE SHALL USE TRAFFIC RATED COVERS

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.

ASPHALT PAVING, CURB AND OTHER ITEMS TO BE REMOVED AND LEGALLY DISPOSED OR STORED ALONG PATH OF UNDERGROUND UTILITIES

PROPOSED 1" SERVICE LINE SHALL HAVE A BACKFLOW PREVENTER INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS

PROPOSED 4" SEWER LINE @ 1.04% CLEANOUTS SHALL BE INSTALLED PER LOCAL GOVERNING CODE

#187 SQUARE YARD OF ASPHALT REPAIR TO BE INSTALLED UPON APPROVED INSPECTION OF UTILITY LINES.

WATER SERVICE LINES TO BE RELOCATED OUTSIDE OF PROPOSED CURB LINE. (3.5' SOUTH AND 1 FOOT WEST) WATER METER SHALL BE LOCATED BEHIND BACK OF PROPOSED CURB. EXISTING WATER METER BOX LOCATED ALONG LANG AVE. FIRE HYDRANT TO BE INSTALLED IN THIS LOCATION

EXISTING 3" 2" 6" WATER SERVICE LINES

PROPOSED UNDERGROUND ELECTRICAL

EXISTING UNDERGROUND UTILITY EASEMENT

EXISTING 4" SEWER LINE

TRASH ENCLOSURE ADDED ADDENDUM #3

EXISTING UNDERGROUND UTILITY EASEMENT



REVISIONS:	
DATE	DESCRIPTION
8/21/2025	ADDED BACKFLOW PREVENTER
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED

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**PHASE 1**  
**UTILITY PLAN**

**C-200**

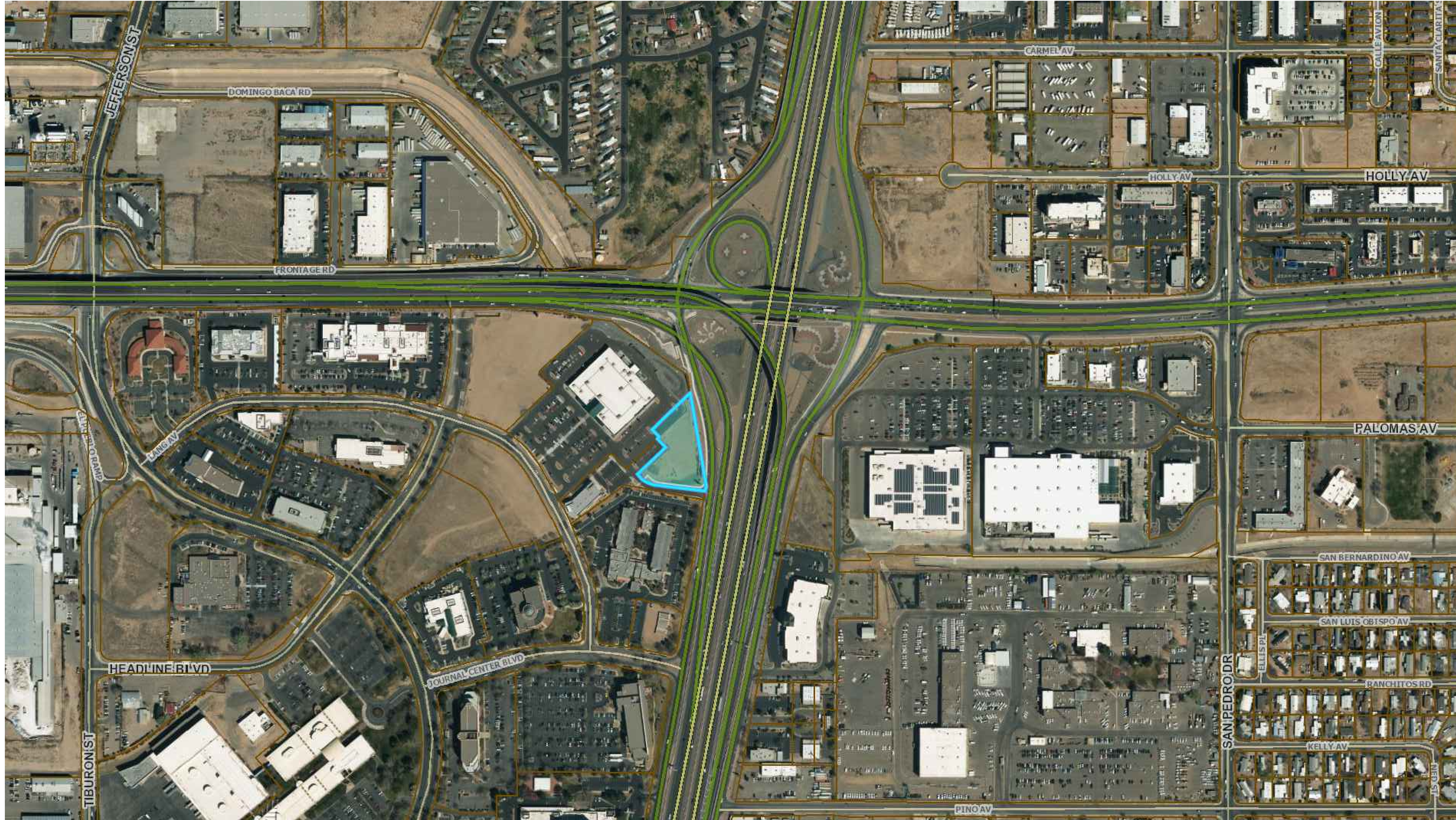
ADDENDUM #3  
VICINITY MAP ADDED

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 10/08/2025  
BY: *[Signature]*  
HydroForm #: D17D106D

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**LEGAL DESCRIPTION:**

TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC

*[Professional Engineer Seal]*  
7/26/2025

**MOUNTAIN TOP ENGINEERING**  
ELEVATING EXPECTATIONS - SUPERIOR SERVICE  
TEXAS ENGINEERING FIRM # 26389  
MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

REVISIONS:

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED

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VICINITY MAP

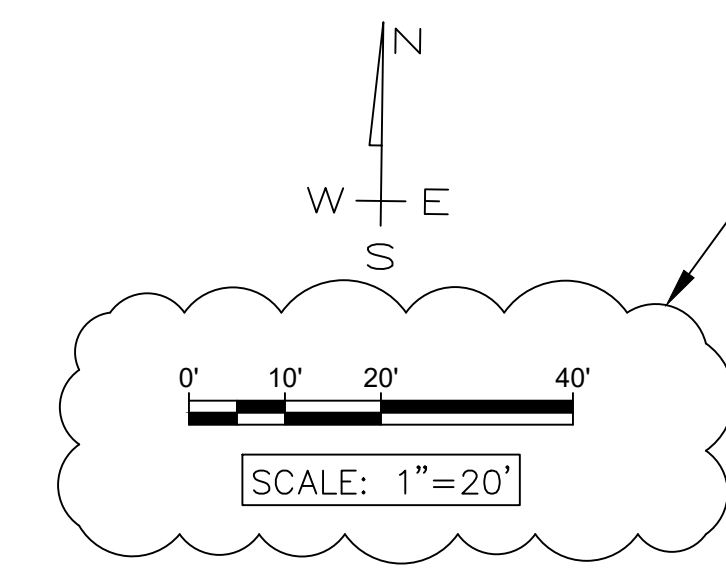
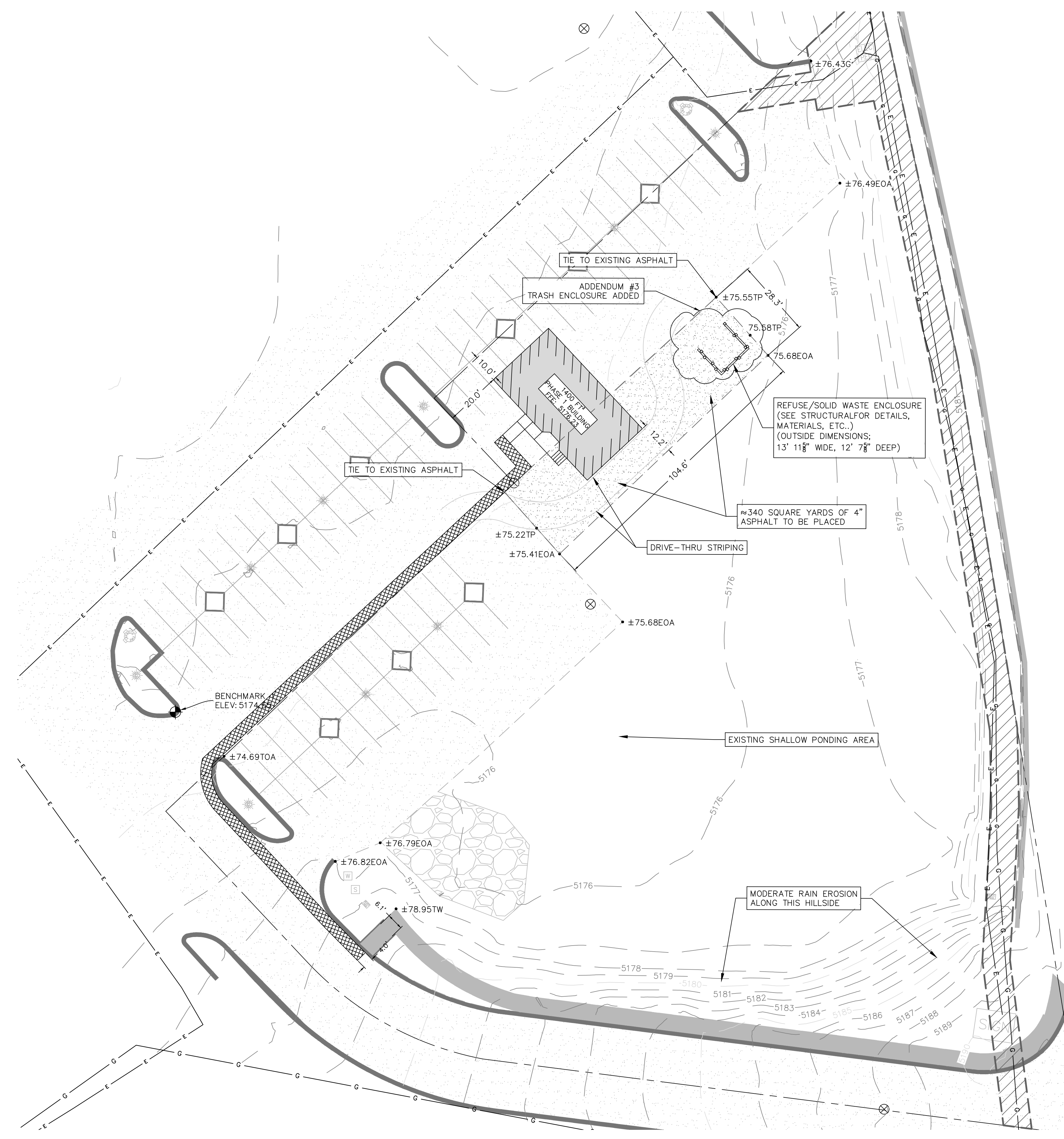
**C-400**

City of Albuquerque  
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**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/08/2025  
 BY: [Signature]  
 Title: [Signature]  
 D17D106D

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THE APPROVAL OF THESE PLANS DOES NOT EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF THE BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, C&D COMMENTS ADDRESSED



ADDENDUM #3  
 1:20 SCALE ADDED

**LEGEND AND NOTES:**

- 88.65' - TYPICAL PROPOSED ELEVATIONS
  - ±88.65' - TYPICAL APPROXIMATE EXISTING ELEVATIONS
  - PROPOSED CURB AND GUTTER
  - PROPOSED ASPHALT PAVING
  - PROPOSED ASPHALT BOUNDARY
  - ADA ACCESS PATH
  - EXISTING CURB AND GUTTER
  - EXISTING ASPHALT PAVING
  - BOUNDARY LINE
- BP - BREAK POINT
  - EC - EDGE OF CONCRETE
  - FFE - FINISHED FLOOR ELEVATION
  - FG - FINISHED GRADE
  - FL - FLOWLINE
  - G - GUTTER
  - GB - GRADE BREAK
  - NG - NATURAL GROUND
  - TC - TOP OF CURB
  - TP - TOP OF PAVEMENT
  - TW - TOP OF WALK
  - EDA - EDGE OF ASPHALT
  - TP - TOP OF PAVEMENT

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ALL ELEVATIONS SHOWN ARE TOP OF CONCRETE UNLESS INDICATED OTHERWISE.

ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS INDICATED OTHERWISE.

CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS TO DRAIN. A.D.A. PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 2%. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MEET ALL A.D.A. AND T.A.S. STANDARDS.

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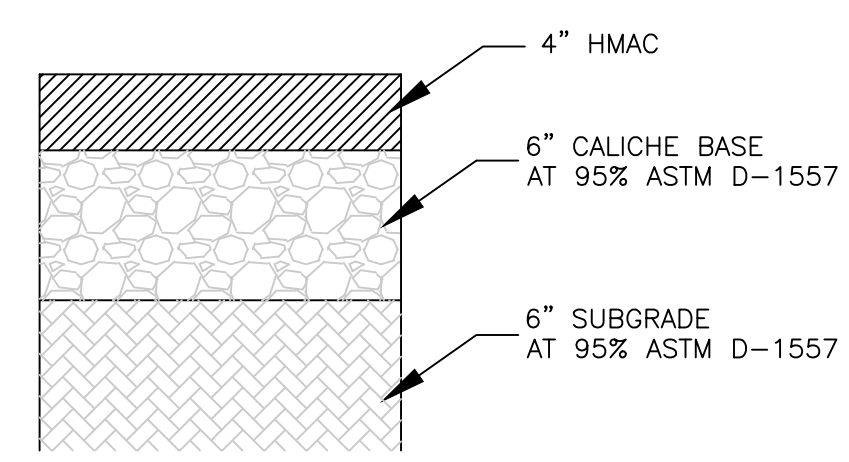
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SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC. 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.214.b)

**BENCHMARK:**  
 BENCHMARK #1 = "X" IN BOX CUT IN BACK OF CURB LOCATED IN A PARKING END CAP PENINSULA NORTH OF THE WESTERN MOST PLAT CORNER.

ADDENDUM #3  
 BENCHMARK ADDED



NOTE: AREAS OF SOFT OR YIELDING SUBGRADE BELOW BASE SHALL BE CUT OUT, REPLACE WITH APPROVED MATERIALS, AND COMPACTED IN LIFTS TO ACHIEVE A MINIMUM 95% MODIFIED PROCTOR DENSITY (ASTM D-1557)

**TYPICAL ASPHALT PAVING SECTION**  
 NOT TO SCALE

**EXISTING AND PROPOSED SITE GRADING FEATURES:**

**EXISTING SITE GRADING:** THE SITE IS CURRENTLY PARTIALLY PAVED WITH LARGE DIRT LOT TO THE EAST OF THE PARKING LOT. THIS DIRT AREA IS MOSTLY LOWER THAN OR FLUSH TO THE EDGE OF ASPHALT. THERE ALSO EXISTS A RETAINING WALL AT THE EASTERN PROPERTY BOUNDARY THAT ABUTS THE PAN AMERICAN FREEWAY ACCESS/FRONTAGE ROAD, NORTH OF THE ACCESS ROAD, THAT RUNS ALONG THE SOUTHERN BOUNDARY LINE. IS A LONG SLOPED HILL THAT LEVELS OUT TO THE DIRT LOT. CURRENTLY, WATER DRAINS TO THE NORTH AND INTO THE DROP INLETS OF THE STORM SEWER SYSTEM THAT EXISTS ALONG THE BASS PRO SHOPS DRIVE AISLE.

**PROPOSED SITE GRADING (PHASE 1):** THE PROPOSED SITE GRADING WILL ADD AN ASPHALT PAD FOR THE BUILDING FOOTING. ALL PREVIOUS DRAINAGE REMAINS UNCHANGED OTHER THAN THE ADDED ASPHALT WHICH FLOWS IN THE EXISTING NATURAL DIRECTION, NORTH. ALL FLOW CONVEYS AS SHEET FLOW TO THE DRIVE AISLE NORTH OF THE SITE WHERE THE EXISTING STORM INLETS ARE.



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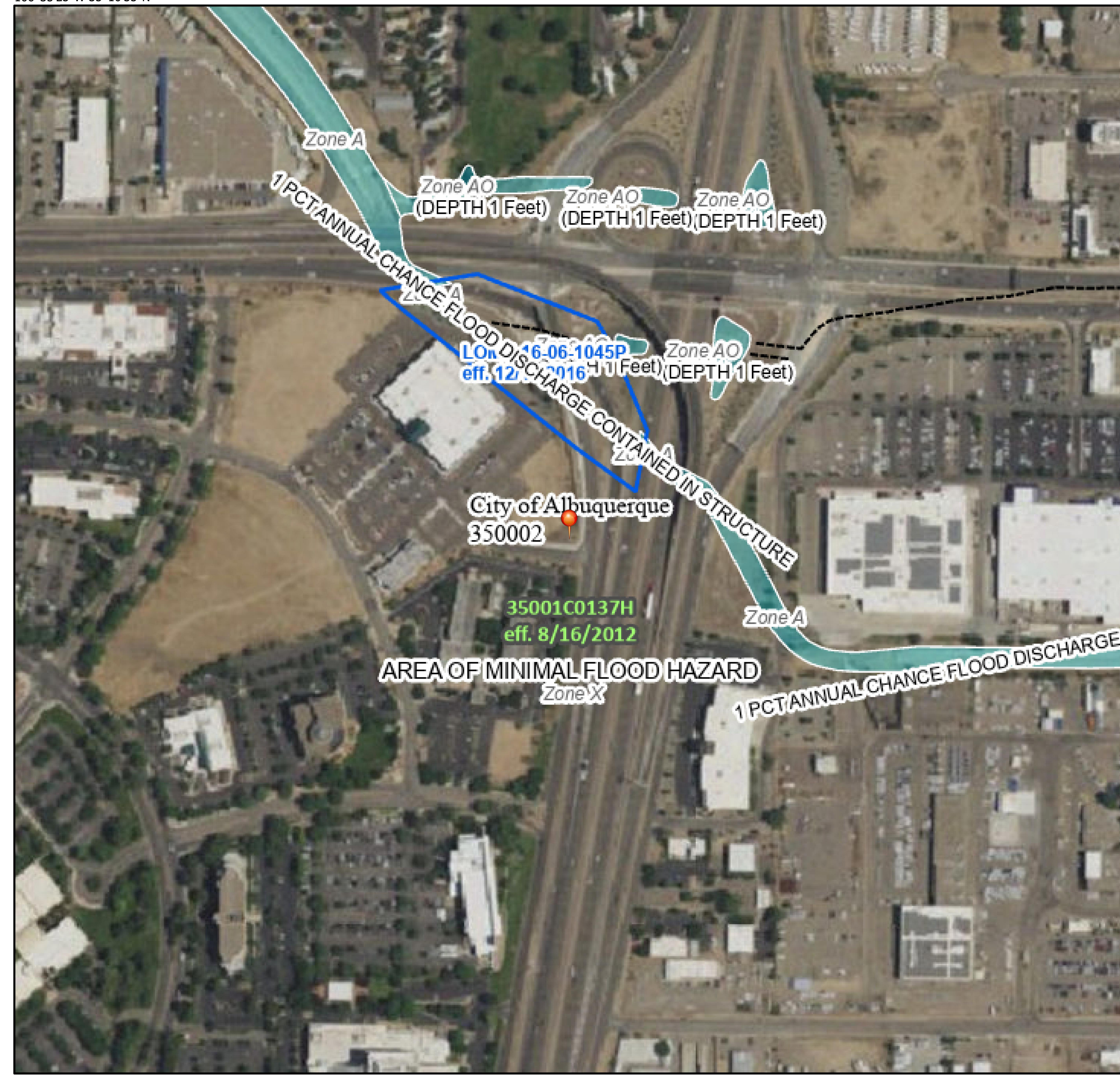
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**GRADING, PAVING AND DRAINAGE PLAN - PHASE 1 BUILDING**  
**C-401**

# National Flood Hazard Layer FIRMette



106°35'25"W 35°10'35"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
OTHER AREAS OF FLOOD HAZARD		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
OTHER AREAS		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
GENERAL STRUCTURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
OTHER FEATURES		Coastal Transect
		Base Flood Elevation Line (BFE)
OTHER FEATURES		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
OTHER FEATURES		Hydrographic Feature
		Digital Data Available
MAP PANELS		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/1/2025 at 4:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

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**HYDROLOGY SECTION**  
**APPROVED**

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HydroTeam # D17D106D

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FIRMette

# C-402

ADDENDUM #3  
FIRMETTE ADDED

