

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 11, 2025

John Nixon  
Mountain Top Engineering  
2525 86th St B,  
Lubbock, TX 79423

**RE: Capra Bank Albuquerque – Phase 1 of 2**  
**5171 Lang Ave. NE**  
**Permanent CO - Approved**  
**Engineer's Certification Date: 12/4/2025**  
**Engineer's Stamp Date: 08/21/2025**  
**Hydrology File: D17D106D**  
**Case # HYDR-2025-00437**

Dear Mr. Nixon:

PO Box 1293

Based on the Certification received 12/8/2024 and the site visit on 12/10/2024, this letter serves an approval from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



MOUNTAIN TOP ENGINEERING

ELEVATING EXPECTATIONS - SUPERIOR SERVICE

---

December 4, 2025

To: City of Albuquerque, New Mexico

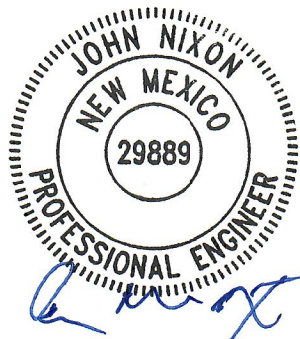
Re: Capra Bank Phase 1 Engineering Statement Letter

To whom it may concern,

As a part of the development of the Capra Bank site in Albuquerque New Mexico, Phase 1 is now completed and is ready to be inspected and receive its CO. As a part of the master plan, the entire site development including all phases, has been designed to work together and be a functional site during all construction. As an licensed engineer, I certify that this site meets all requirements for drainage and grading in its current state. All phase 1 structures are located and graded to avoid any ponding, flooding or any other drainage issue. The grading is accurate and adheres to the design as submitted. Any and all grades satisfy the codes as required for drainage, ADA, etc..

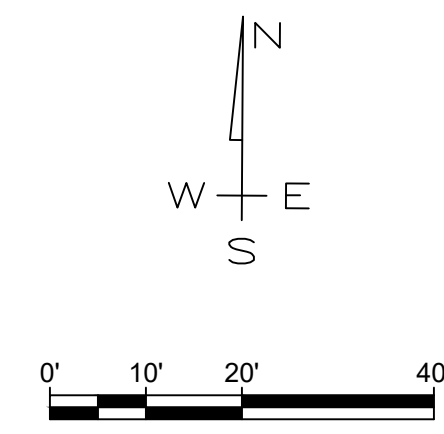
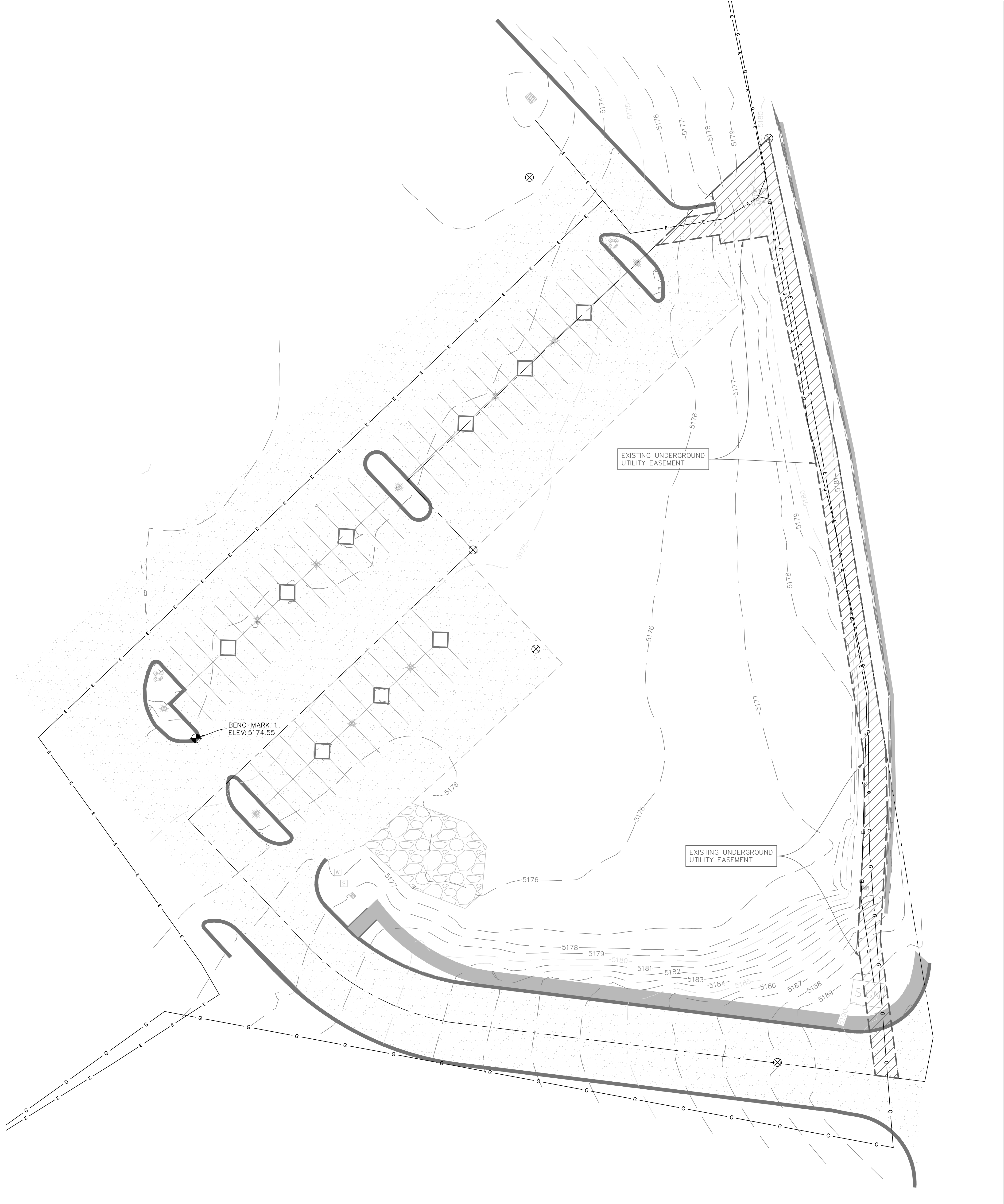
Thank you,

John Adam Nixon, P.E.



REVISIONS:	
DATE	DESCRIPTION

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/08/2025  
 BY: *[Signature]*  
 HydroForm # D17D106D  
THE APPROVAL OF THESE PLANS AND SERVICES SHALL NOT BE CONSIDERED TO  
 REPRESENT A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE USER  
 SHALL NOT RELY ON THE CITY OF ALBUQUERQUE FOR PROFESSIONAL  
 CONSULTATION FOR DESIGN OR CONSTRUCTION OF ANY KIND. THE USER SHALL  
 BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM  
 ALL APPLICABLE AGENCIES. THE APPROVAL OF THESE PLANS AND SERVICES SHALL EXPIRE TWO (2)  
 YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN  
 OBTAINED ON THE DEVELOPMENT.



- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
  - - - - - EXISTING CONTOUR LINE
  - — — — — EXISTING CURB AND GUTTER
  - ▬▬▬▬▬ EXISTING SIDEWALK
  - ▬▬▬▬▬ EXISTING ASPHALT PAVING
  - ▬▬▬▬▬ EXISTING TRACKOUT ROCK
  - - - - - BOUNDARY LINE

**CAPRA BANK ALBUQUERQUE**  
**5171 LANG AVE NE**  
**ALBUQUERQUE, NEW MEXICO 87109**



**Seventeen Services LLC**  
 Texas Architecture Firm BR 3014  
 1500 Broadway - Suite 203  
 Lubbock, TX 79401  
 806.787.8533  
 tyler@17services.com

Project Number 25ENG27  
 Date 6-10-25  
 Drawn By SM  
 Sheet Size E1 30X42



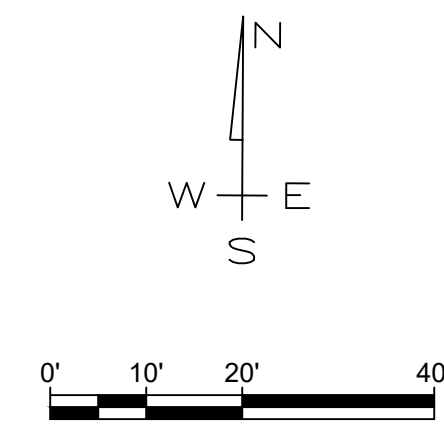
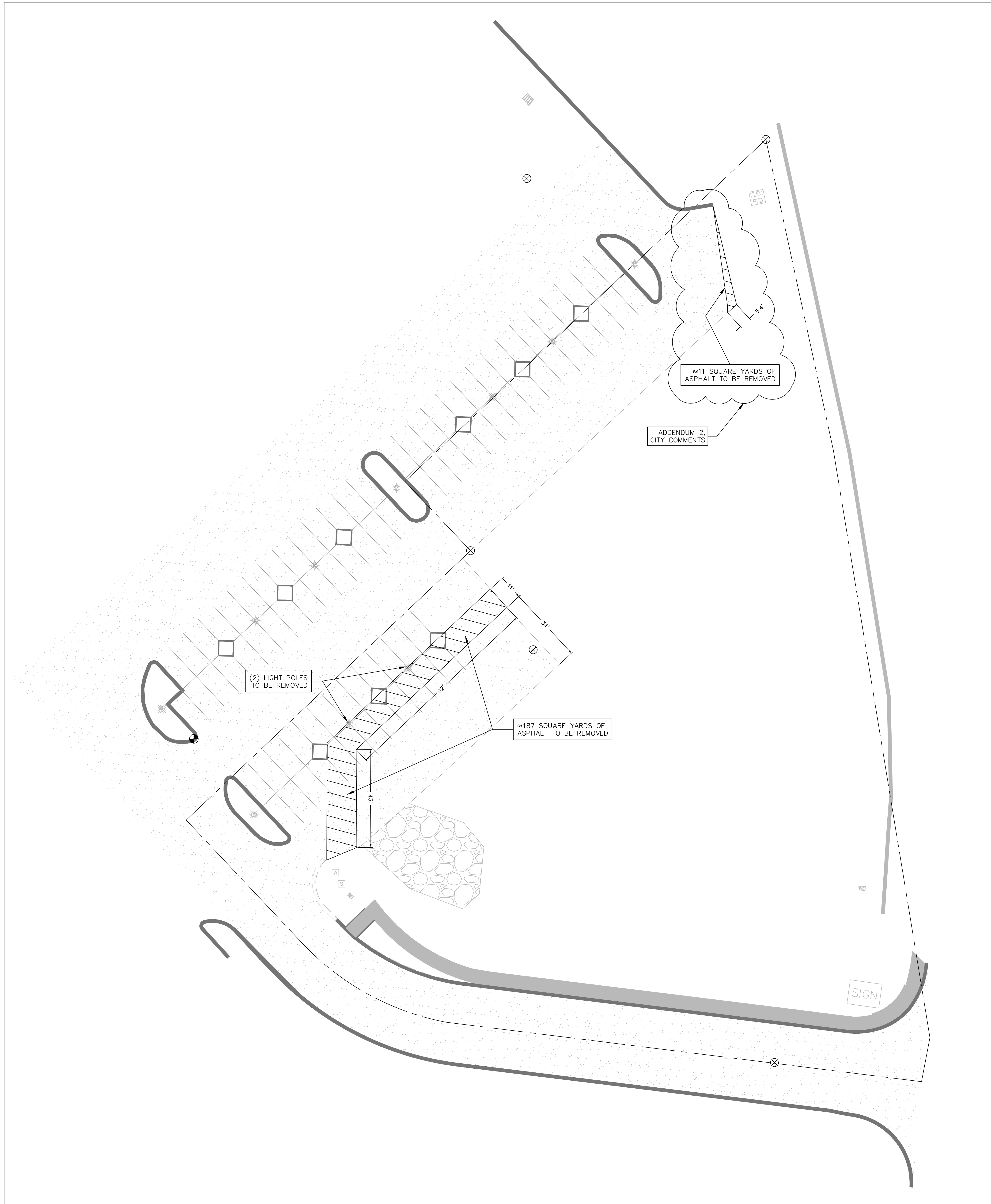
TOPO  
**C-100**

All designs, plans, images, text, and other content found on this page are protected by U.S. and international copyright law and may not be reproduced, duplicated, modified, or distributed, in whole or in part, without the express written consent of Seventeen Services LLC. All drawings purchased from Seventeen Services are protected by U.S. and international copyright law. It is illegal to duplicate, reproduce, resell, modify, redistribute, lease, or loan, in whole or in part, from the plans without the expressed written consent of Seventeen Services LLC.

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/08/2025  
 BY: [Signature]  
 HydroType # D17D106D

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVAL AND PERMIT SHALL NOT BE DEEMED A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN OBTAINED BY THE DEVELOPER.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS



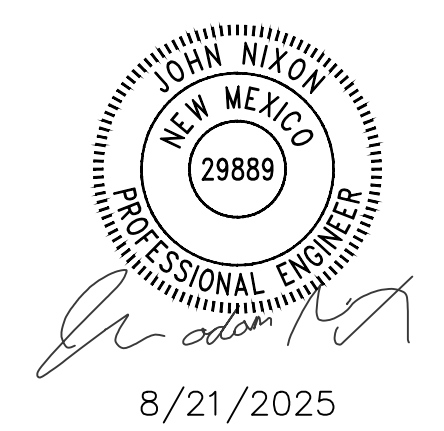
- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
  - ▬ EXISTING CURB AND GUTTER
  - ▬ EXISTING SIDEWALK
  - ▬ EXISTING ASPHALT PAVING
  - ▬ EXISTING TRACKOUT ROCK
  - - - - - BOUNDARY LINE

**CAPRA BANK ALBUQUERQUE**  
 5171 LANG AVE NE  
 ALBUQUERQUE, NEW MEXICO 87109



**Seventeen Services LLC**  
 Texas Architecture Firm BR 3014  
 1500 Broadway - Suite 203  
 Lubbock, TX 79401  
 806.787.8533  
 tyler@17services.com

Project Number 25ENG27  
 Date 6-10-25  
 Drawn By SM  
 Sheet Size E1 30X42

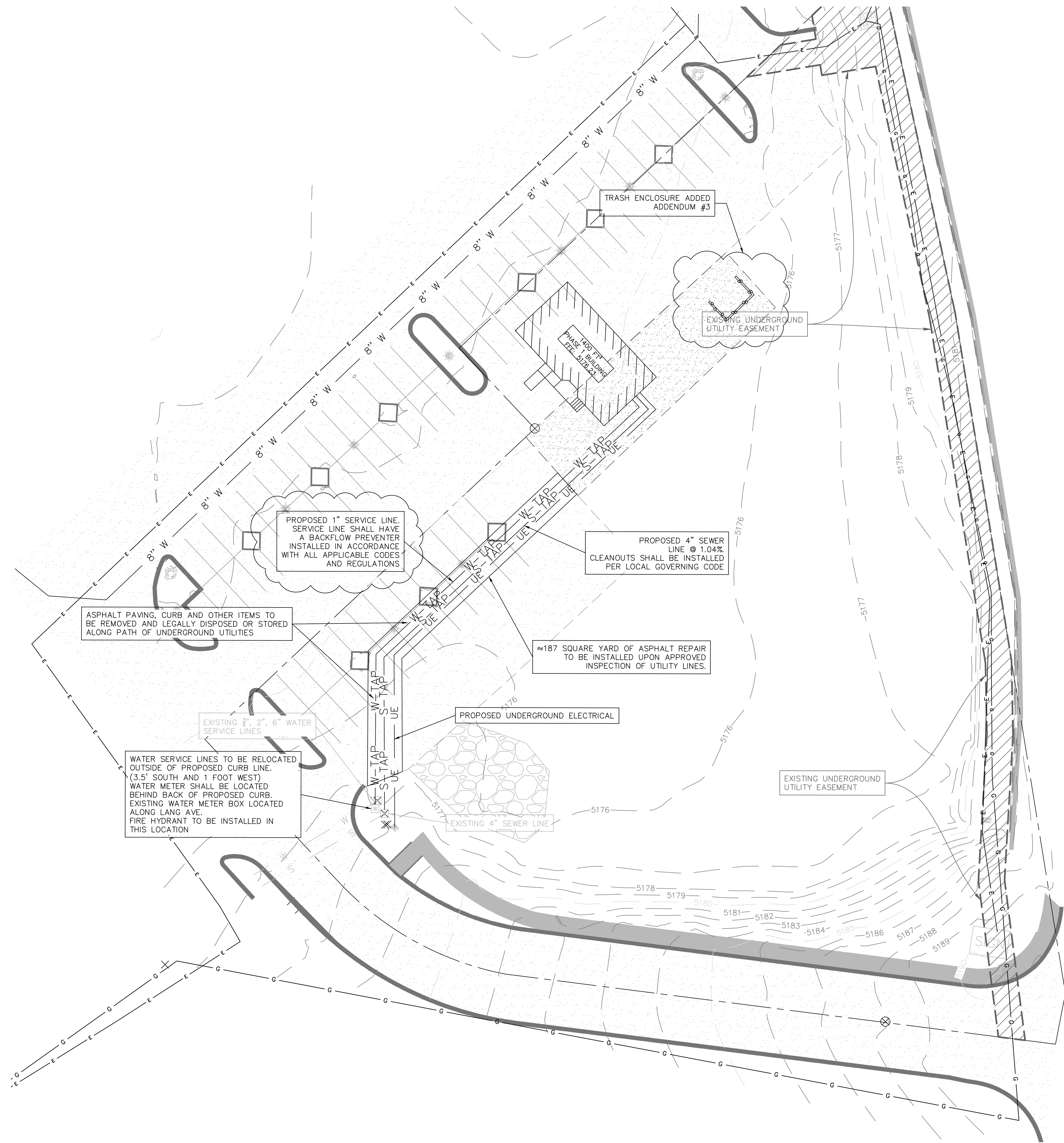


8/21/2025



**PHASE 1  
 DEMO PLAN**

**C-101**



**LEGEND AND NOTES:**

- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- PROPOSED WATER SERVICE LINE
- PROPOSED SEWER SERVICE LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING WATER LINE
- EXISTING SEWER LINE

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF ALBUQUERQUE ENGINEERING MINIMUM DESIGN STANDARDS AND SPECIFICATIONS.

ALL UTILITY APPURTENANCES LOCATED WITHIN A DRIVE AISLE AND/OR SURFACE SHALL USE TRAFFIC RATED COVERS

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.

**REVISIONS:**

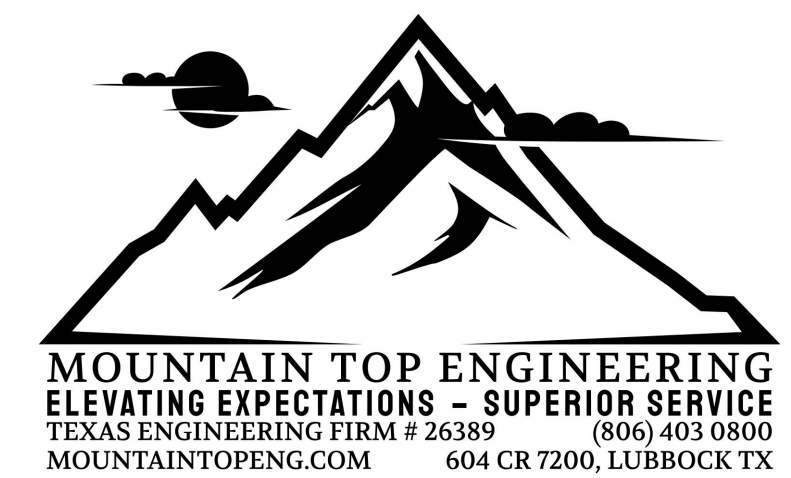
DATE	DESCRIPTION
8/21/2025	ADDED BACKFLOW PREVENTER
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED

**CAPRA BANK ALBUQUERQUE**  
**5171 LANG AVE NE**  
**ALBUQUERQUE, NEW MEXICO 87109**



**Seventeen Services LLC**  
 Texas Architecture Firm BR 3014  
 1500 Broadway - Suite 203  
 Lubbock, TX 79401  
 806.787.8533  
 tyler@17services.com

Project Number 25ENG27  
 Date 6-10-25  
 Drawn By SM  
 Sheet Size E1 30X42



**PHASE 1**  
**UTILITY PLAN**

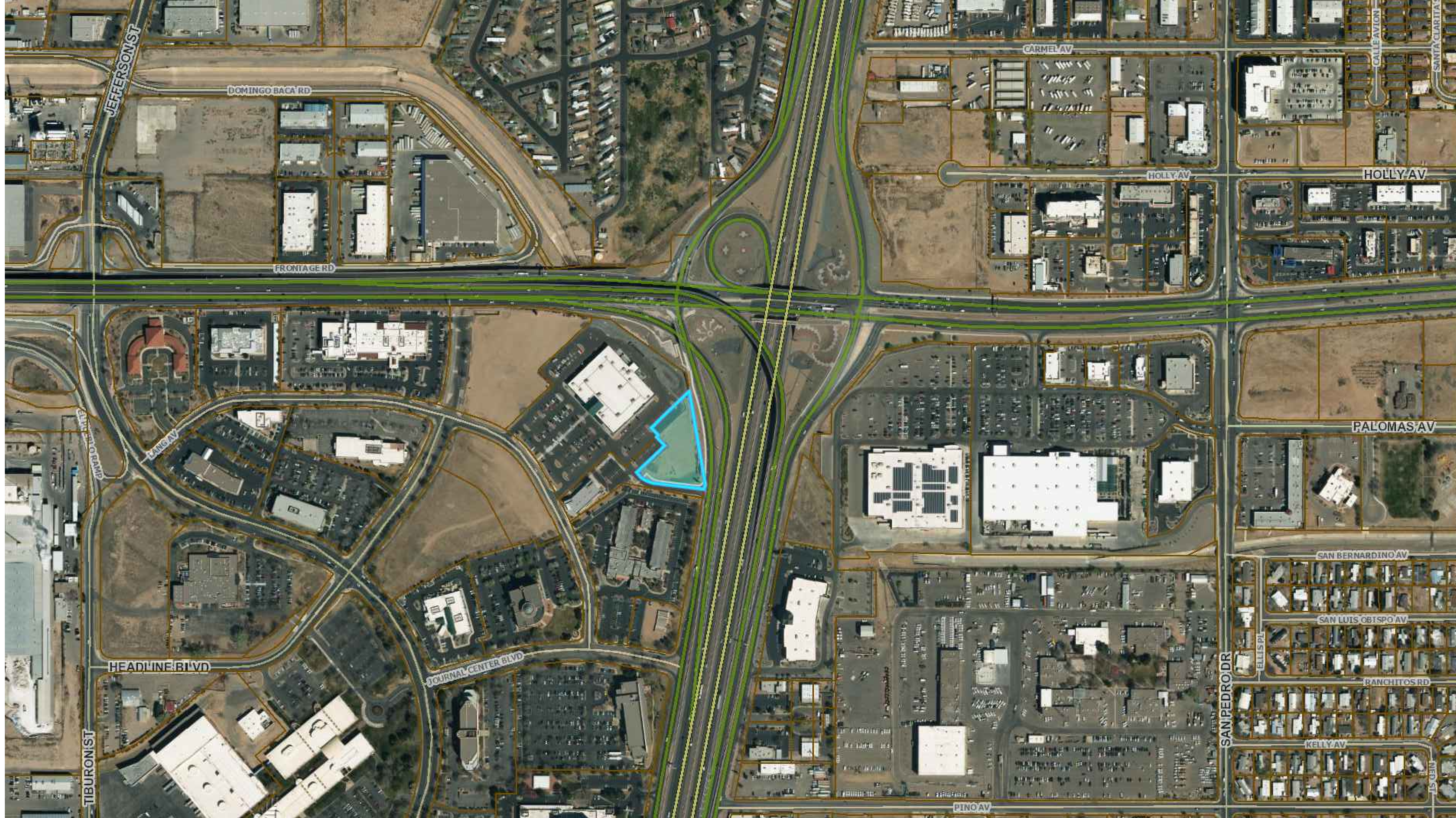
**C-200**

ADDENDUM #3  
VICINITY MAP ADDED

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 10/08/2025  
BY: *[Signature]*  
HydroForm #: D17D106D

THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY DEPARTMENT OR CITY LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENJOYING OR DEFENDING FOR ANY REASON OR DEFENDING IN PLAN, SPECIFIC TERMS, OR CONDITIONS FOR THE CITY OF ALBUQUERQUE. THESE PLANS REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.  
THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY WHICH PERMITS ARE BEING FILED BY THE DEVELOPER.



**LEGAL DESCRIPTION:**  
TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC

*[Signature]*  
7/26/2025

**MOUNTAIN TOP ENGINEERING**  
ELEVATING EXPECTATIONS - SUPERIOR SERVICE  
TEXAS ENGINEERING FIRM # 26389  
MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

**REVISIONS:**

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED

**CAPRA BANK ALBUQUERQUE**  
5171 LANG AVE NE  
ALBUQUERQUE, NEW MEXICO 87109



**Seventeen Services LLC**  
Texas Architecture Firm BR 3014  
1500 Broadway - Suite 203  
Lubbock, TX 79401  
806.787.8533  
tyler@17services.com

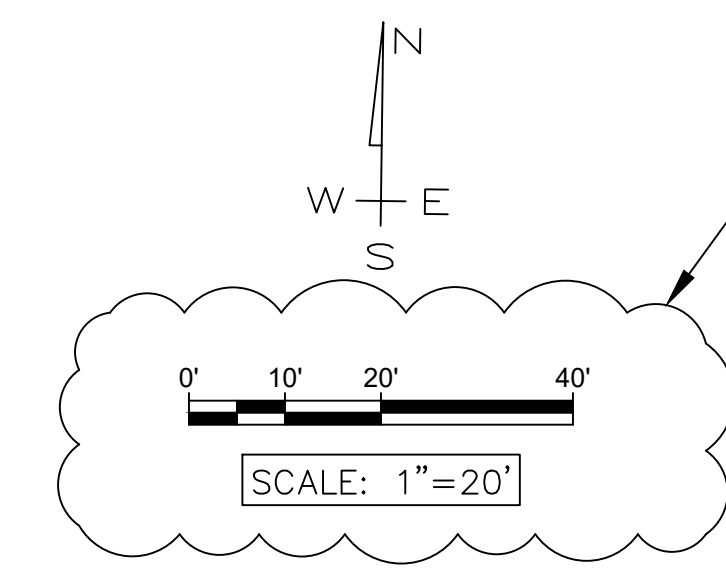
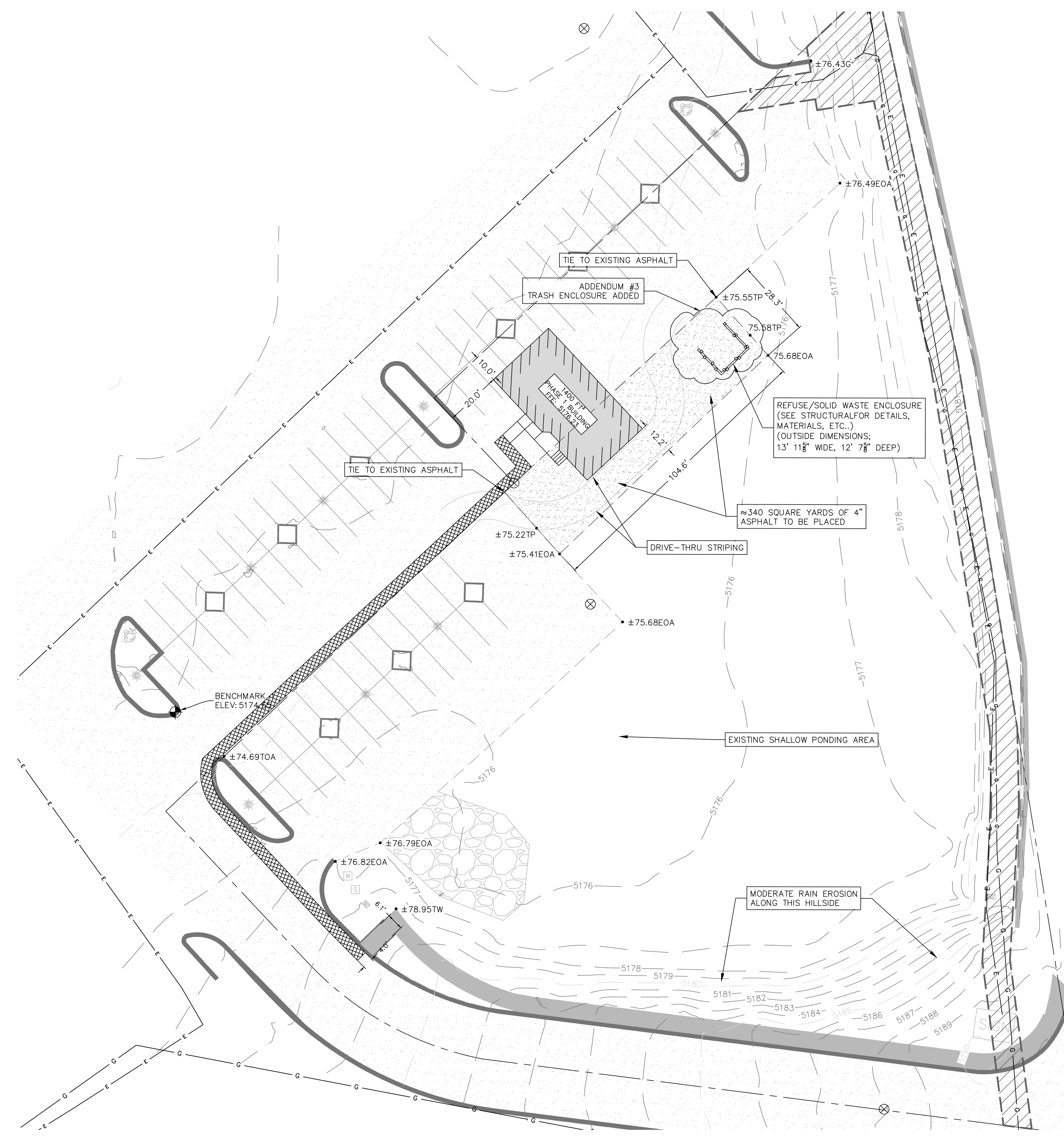
Project Number: 25ENG27  
Date: 6-10-25  
Drawn By: SM  
Sheet Size: E1 30X42

VICINITY MAP  
**C-400**

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/08/2025  
 BY: [Signature]  
 Title: [Signature]  
 D17D106D

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF ANY CITY PERFORMANCE OR LIABILITY AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCING, CHALLENGING OR MODIFYING ANY CITY ORDINANCE, POLICY, PROCEDURE, OR CONSTRUCTION DOCUMENTS, SUCH AS APPROVED PLANS, PERMITS, ETC., NOT BE CONSIDERED A CONTRACT WITH THE CITY OF ALBUQUERQUE. THE APPROVAL OF THESE PLANS DOES NOT EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF THE BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, C&D COMMENTS ADDRESSED



ADDENDUM #3  
 1:20 SCALE ADDED

**LEGEND AND NOTES:**

- 88.65' - TYPICAL PROPOSED ELEVATIONS
  - ±88.65' - TYPICAL APPROXIMATE EXISTING ELEVATIONS
  - PROPOSED CURB AND GUTTER
  - PROPOSED ASPHALT PAVING
  - PROPOSED ASPHALT BOUNDARY
  - ADA ACCESS PATH
  - EXISTING CURB AND GUTTER
  - EXISTING ASPHALT PAVING
  - BOUNDARY LINE
- BP - BREAK POINT
  - EC - EDGE OF CONCRETE
  - FFE - FINISHED FLOOR ELEVATION
  - FG - FINISHED GRADE
  - FL - FLOWLINE
  - G - GUTTER
  - GB - GRADE BREAK
  - NG - NATURAL GROUND
  - TC - TOP OF CURB
  - TP - TOP OF PAVEMENT
  - TW - TOP OF WALK
  - EDA - EDGE OF ASPHALT
  - TP - TOP OF PAVEMENT

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF ALBUQUERQUE ENGINEERING MINIMUM DESIGN STANDARDS AND SPECIFICATIONS.

ALL ELEVATIONS SHOWN ARE TOP OF CONCRETE UNLESS INDICATED OTHERWISE.

ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS INDICATED OTHERWISE.

CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS TO DRAIN. A.D.A. PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 2%. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MEET ALL A.D.A. AND T.A.S. STANDARDS.

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

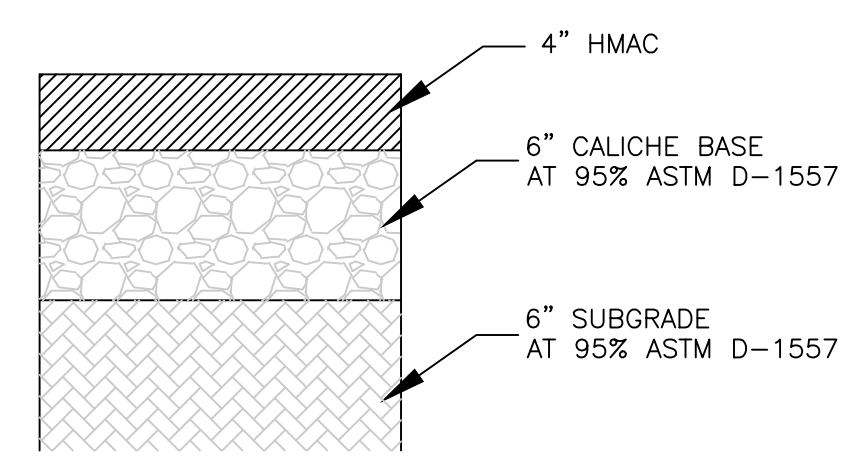
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.

SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC. 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.214.b)

**BENCHMARK:**  
 BENCHMARK #1 = "X" IN BOX CUT IN BACK OF CURB LOCATED IN A PARKING END CAP PENINSULA NORTH OF THE WESTERN MOST PLAT CORNER.

ADDENDUM #3  
 BENCHMARK ADDED



NOTE: AREAS OF SOFT OR YIELDING SUBGRADE BELOW BASE SHALL BE CUT OUT, REPLACE WITH APPROVED MATERIALS, AND COMPACTED IN LIFTS TO ACHIEVE A MINIMUM 95% MODIFIED PROCTOR DENSITY (ASTM D-1557)

**TYPICAL ASPHALT PAVING SECTION**  
 NOT TO SCALE

**EXISTING AND PROPOSED SITE GRADING FEATURES:**

**EXISTING SITE GRADING:** THE SITE IS CURRENTLY PARTIALLY PAVED WITH LARGE DIRT LOT TO THE EAST OF THE PARKING LOT. THIS DIRT AREA IS MOSTLY LOWER THAN OR FLUSH TO THE EDGE OF ASPHALT. THERE ALSO EXISTS A RETAINING WALL AT THE EASTERN PROPERTY BOUNDARY THAT ABUTS THE PAN AMERICAN FREEWAY ACCESS/FRONTAGE ROAD, NORTH OF THE ACCESS ROAD, THAT RUNS ALONG THE SOUTHERN BOUNDARY LINE. IS A LONG SLOPED HILL THAT LEVELS OUT TO THE DIRT LOT. CURRENTLY, WATER DRAINS TO THE NORTH AND INTO THE DROP INLETS OF THE STORM SEWER SYSTEM THAT EXISTS ALONG THE BASS PRO SHOPS DRIVE AISLE.

**PROPOSED SITE GRADING (PHASE 1):** THE PROPOSED SITE GRADING WILL ADD AN ASPHALT PAD FOR THE BUILDING FOOTING. ALL PREVIOUS DRAINAGE REMAINS UNCHANGED OTHER THAN THE ADDED ASPHALT WHICH FLOWS IN THE EXISTING NATURAL DIRECTION, NORTH. ALL FLOW CONVEYS AS SHEET FLOW TO THE DRIVE AISLE NORTH OF THE SITE WHERE THE EXISTING STORM INLETS ARE.



**CAPRA BANK ALBUQUERQUE**  
 5171 LANG AVE NE  
 ALBUQUERQUE, NEW MEXICO 87109



**Seventeen Services LLC**  
 Texas Architecture Firm BR 3014  
 1500 Broadway - Suite 203  
 Lubbock, TX 79401  
 806.787.8533  
 tyler@17services.com

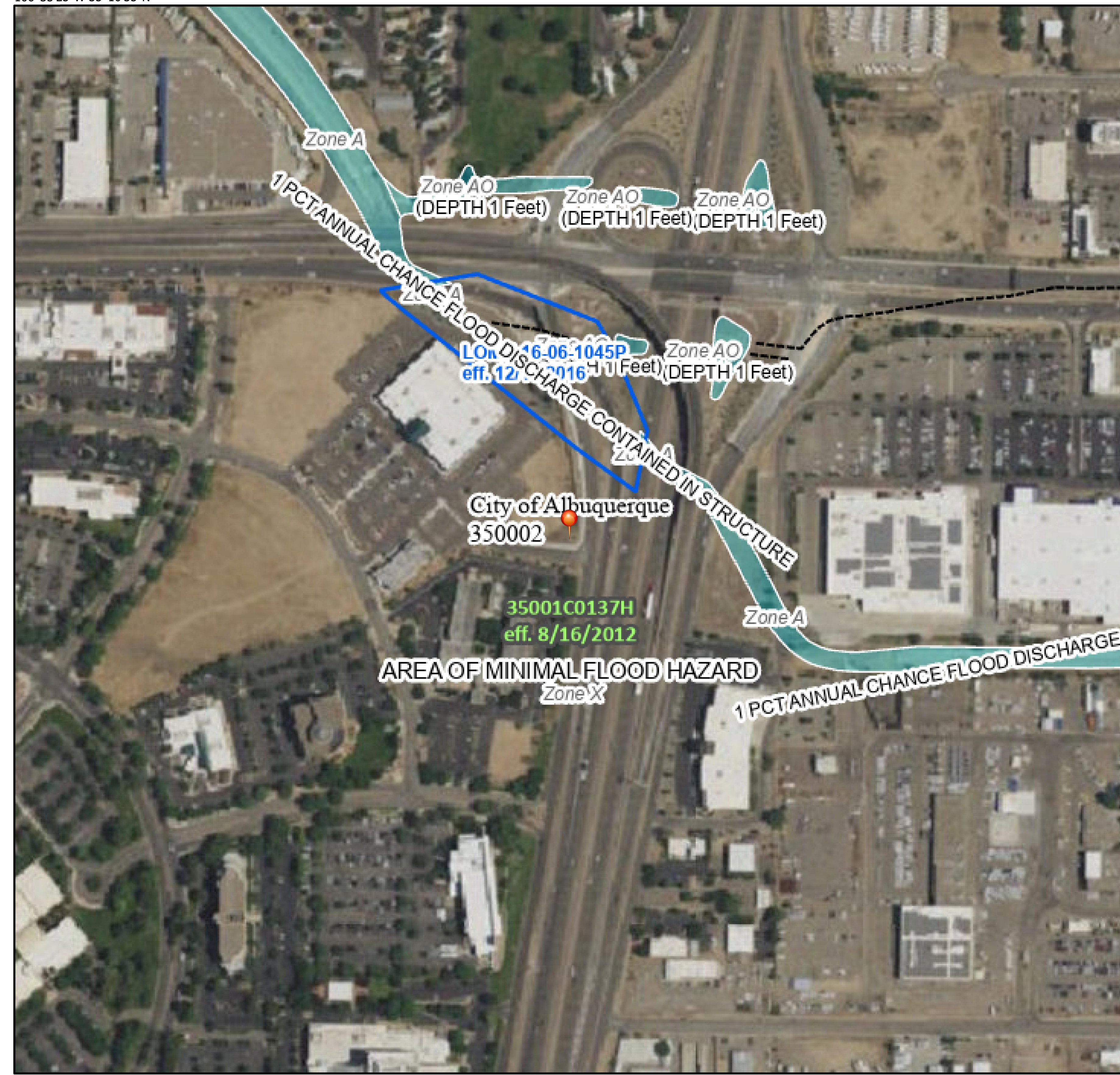
Project Number 25ENG27  
 Date 6-10-25  
 Drawn By SM  
 Sheet Size E1 30X42

**GRADING, PAVING AND DRAINAGE PLAN - PHASE 1 BUILDING**  
**C-401**

# National Flood Hazard Layer FIRMette



106°35'25"W 35°10'35"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
    - Without Base Flood Elevation (BFE) Zone A, V, A99
    - With BFE or Depth Zone AE, AO, AH, VE, AR
    - Regulatory Floodway
  - OTHER AREAS OF FLOOD HAZARD**
    - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
    - Future Conditions 1% Annual Chance Flood Hazard Zone X
    - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
    - Area with Flood Risk due to Levee Zone D
  - OTHER AREAS**
    - NO SCREEN Area of Minimal Flood Hazard Zone X
    - Effective LOMRs
    - Area of Undetermined Flood Hazard Zone D
  - GENERAL STRUCTURES**
    - Channel, Culvert, or Storm Sewer
    - Levee, Dike, or Floodwall
  - OTHER FEATURES**
    - 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
    - 17.5 Coastal Transect
    - Base Flood Elevation Line (BFE)
    - Limit of Study
    - Jurisdiction Boundary
    - Coastal Transect Baseline
    - Profile Baseline
    - Hydrographic Feature
  - MAP PANELS**
    - Digital Data Available
    - No Digital Data Available
    - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/1/2025 at 4:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000  
Basemap Imagery Source: USGS National Map 2023

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 10/08/2025  
BY: *[Signature]*  
HydroTeam # D17D106D

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO BE THE CITY OF ALBUQUERQUE'S GUARANTEE OF ACCURACY. THE CITY OF ALBUQUERQUE, THROUGH ITS ENGINEERS, ARCHITECTS, PLANNERS, OR CONSULTANTS, DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED IN THESE PLANS/REPORTS. THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO BE THE CITY OF ALBUQUERQUE'S GUARANTEE OF ACCURACY. THE CITY OF ALBUQUERQUE, THROUGH ITS ENGINEERS, ARCHITECTS, PLANNERS, OR CONSULTANTS, DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED IN THESE PLANS/REPORTS. THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO BE THE CITY OF ALBUQUERQUE'S GUARANTEE OF ACCURACY. THE CITY OF ALBUQUERQUE, THROUGH ITS ENGINEERS, ARCHITECTS, PLANNERS, OR CONSULTANTS, DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED IN THESE PLANS/REPORTS.

REVISIONS:	
DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED

**CAPRA BANK ALBUQUERQUE**  
 5171 LANG AVE NE  
 ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC  
Texas Architecture Firm BR 3014  
1500 Broadway - Suite 203  
Lubbock, TX 79401  
806.787.8533  
tyler@17services.com

Project Number	25ENG27
Date	6-10-25
Drawn By	SM
Sheet Size	E1 30X42

FIRMette  
**C-402**

