

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 22, 2026

John Nixon
Mountain Top Engineering
2525 86th St B,
Lubbock, TX 79423

RE: Capra Bank Albuquerque – Phase 2 of 2
5171 Lang Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 11/19/2025
Hydrology File: D17D106D
Case # HYDR-2025-00455

Dear Mr. Nixon:

Based upon the information provided in your submittal received 1/19/2026, the Grading & Drainage Plan is approved for Demo Permit, Grading Permit, and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

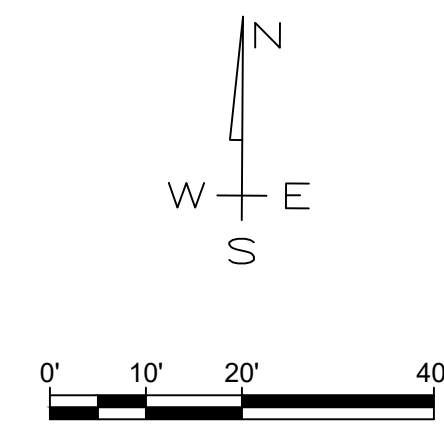
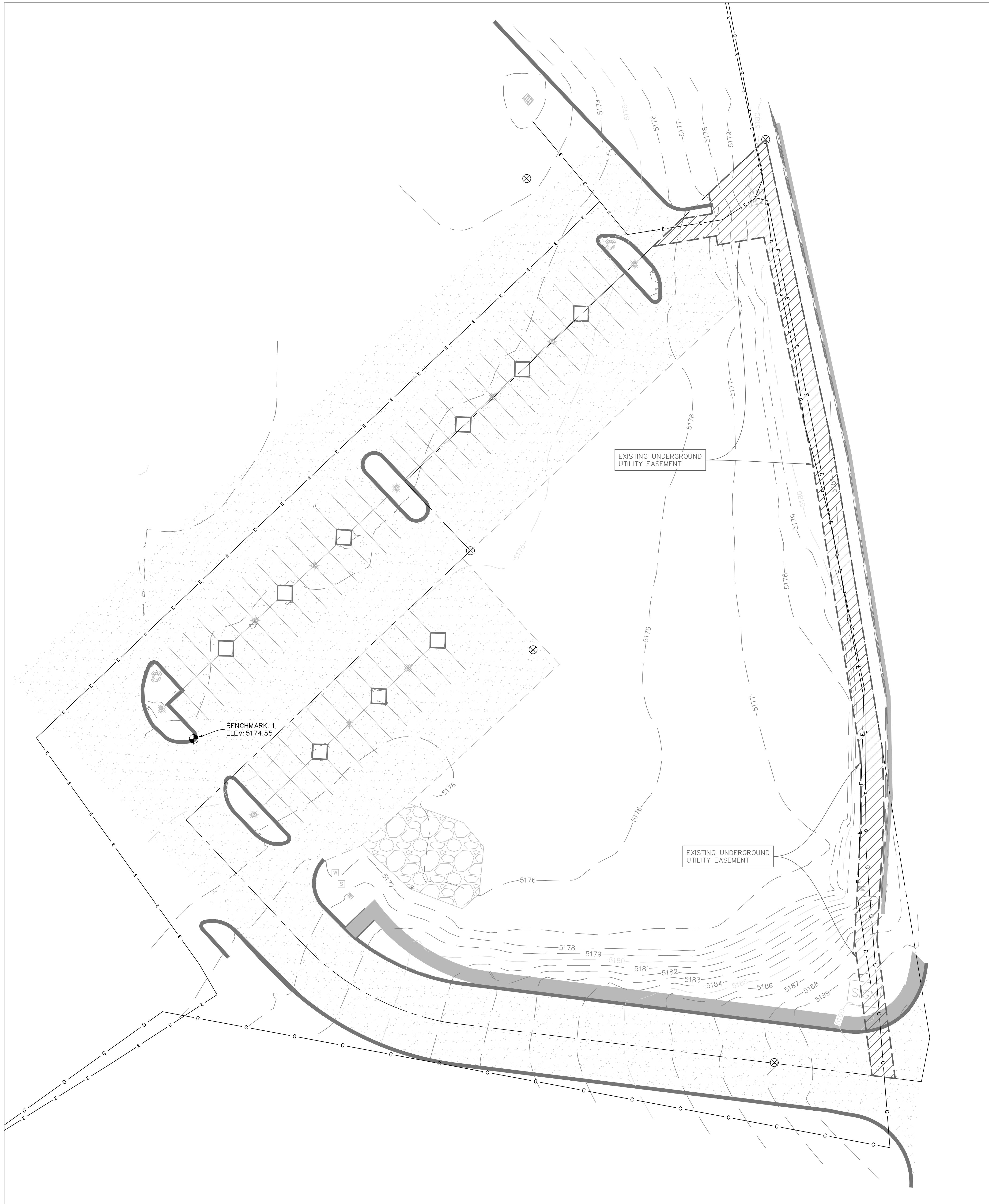
If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: [Signature]
 HYDROLOGIST: D17D106D

THE APPROVAL OF THESE PLANS AND/OR DETAILS SHALL NOT BE CONSIDERED TO
 PREVENT OR LIMIT THE CITY OF ALBUQUERQUE OR STATE LAW AND
 SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING
 A PERMIT FROM THE PUBLIC WORKS DEPARTMENT, AND THE CITY OF ALBUQUERQUE
 OR CONTRACTORS TO OBTAIN SUCH PERMIT. APPROVED PLANS AND/OR DETAILS SHALL
 NOT BE CHANGED, MODIFIED, OR ALTERED WITHOUT THE APPROVAL OF THE CITY OF ALBUQUERQUE.
 THE APPROVAL OF THESE PLANS AND/OR DETAILS SHALL EXPIRE TWO (2)
 YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN
 FILED BY THE DEVELOPER.



- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
 - - - - - EXISTING CONTOUR LINE
 - - - - - EXISTING CURB AND GUTTER
 - - - - - EXISTING SIDEWALK
 - - - - - EXISTING ASPHALT PAVING
 - - - - - EXISTING TRACKOUT ROCK
 - - - - - BOUNDARY LINE

7/26/2025



REVISIONS:

DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
 5171 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87109



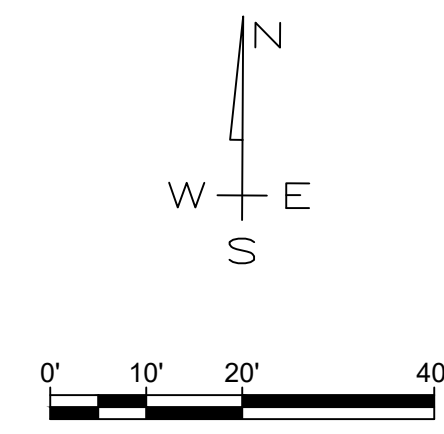
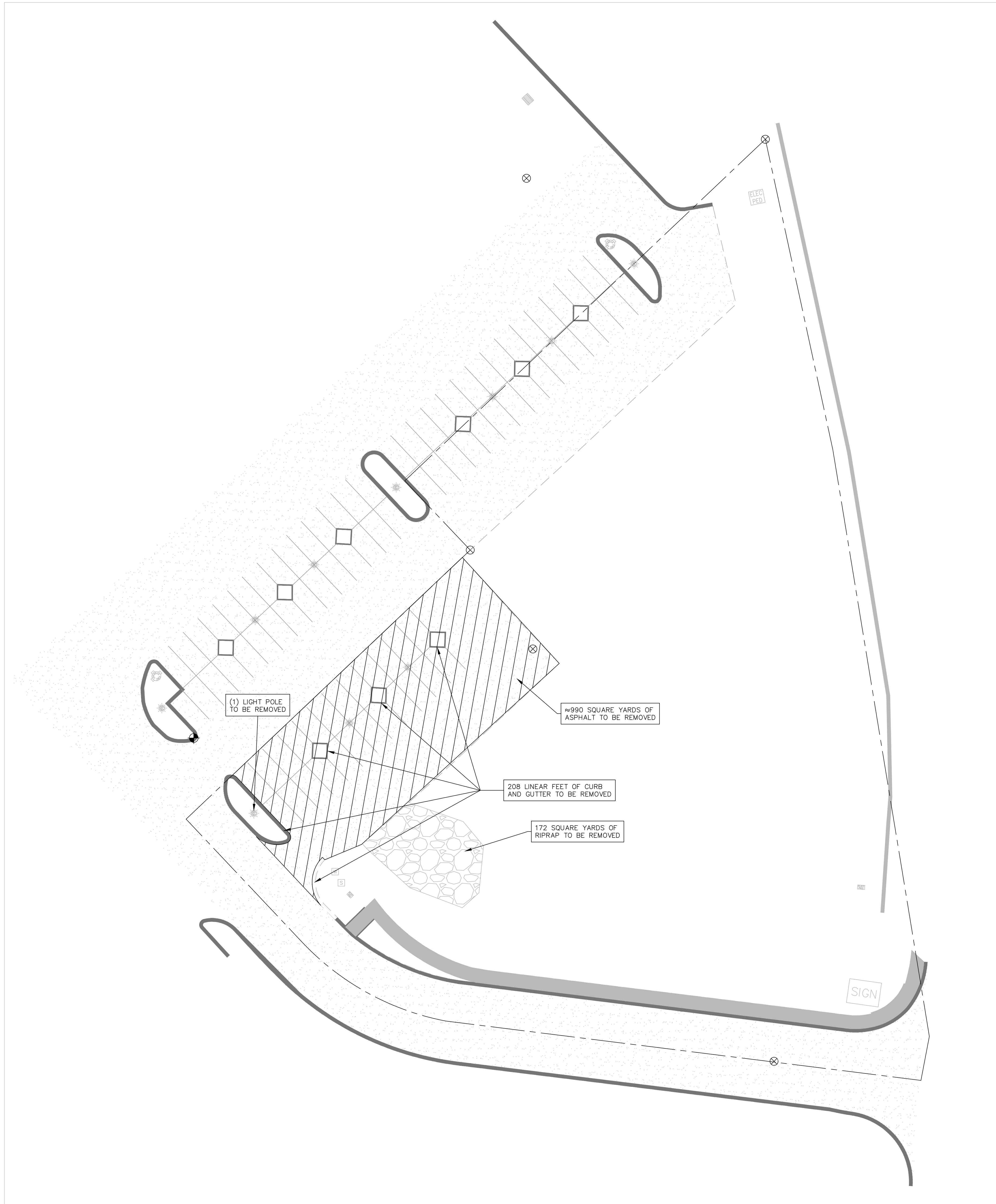
Seventeen Services LLC
 Texas Architecture Firm BR 3014
 1500 Broadway - Suite 203
 Lubbock, TX 79401
 806.787.8533
 tyler@17services.com

Project Number 25ENG27
 Date 6-10-25
 Drawn By SM
 Sheet Size E1 30X42

TOPO
C-100

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: *[Signature]*
 HydroTeam #: D17D106D

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO
 PREVENT THE VIOLATION OF ANY CITY ORDINANCE OR STATE LAW, AND
 SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING
 CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS,
 OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL
 NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2)
 YEARS AFTER THE APPROVAL DATE IF NO RELATED PERMITS HAS BEEN
 FILED ON THE DEVELOPMENT.



- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
 - EXISTING CURB AND GUTTER
 - EXISTING SIDEWALK
 - EXISTING ASPHALT PAVING
 - EXISTING TRACKOUT ROCK
 - - - - - BOUNDARY LINE

[Signature]
 11/19/2025

MOUNTAIN TOP ENGINEERING
 ELEVATING EXPECTATIONS - SUPERIOR SERVICE
 TEXAS ENGINEERING FIRM # 26389
 MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

REVISIONS:	
DATE	DESCRIPTION

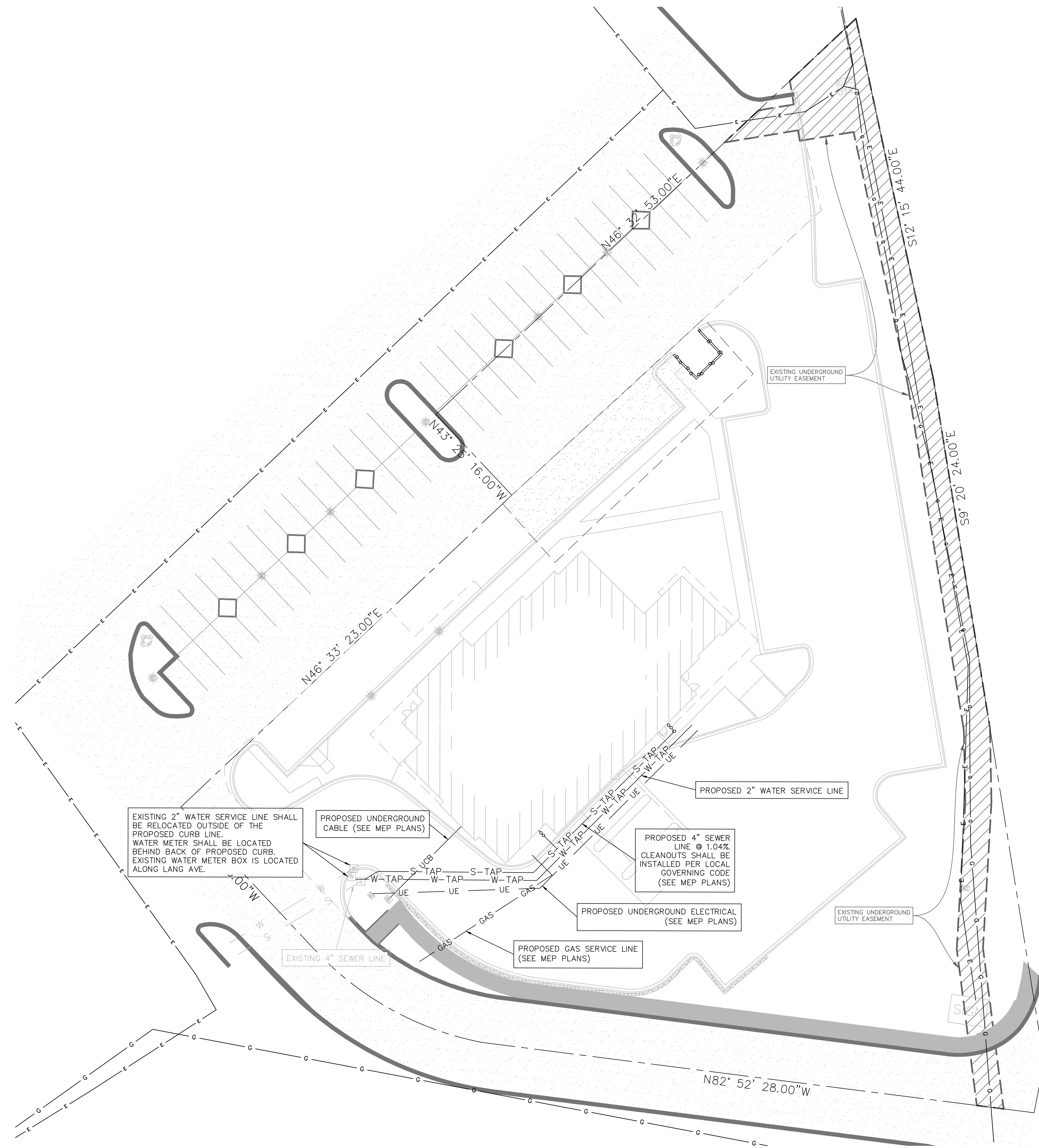
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DEMO PLAN
PHASE 2
C-101



LEGEND AND NOTES:

- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- W-TAP — PROPOSED WATER SERVICE LINE
- S-TAP — PROPOSED SEWER SERVICE LINE
- UE — PROPOSED UNDERGROUND ELECTRIC
- UCB — PROPOSED UNDERGROUND CABLE
- GAS — PROPOSED GAS SERVICE LINE
- W — EXISTING WATER LINE
- S — EXISTING SEWER LINE

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF ALBUQUERQUE ENGINEERING MINIMUM DESIGN STANDARDS AND SPECIFICATIONS.

ALL UTILITY APPURTENANCES LOCATED WITHIN A DRIVE AISLE AND/OR SURFACE SHALL USE TRAFFIC RATED COVERS

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

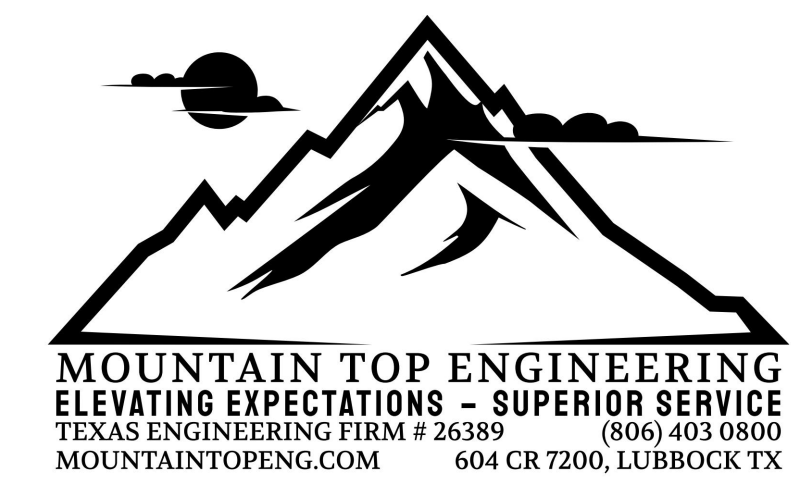
THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.



11/19/2025



REVISIONS:	
DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



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**UTILITY PLAN
 PHASE 2**

C-200

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: *[Signature]*
 HydroType #: D17D106D
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO
 PREVENT THE ACTION OF ANY CITY ORDINANCE OR STATE LAW, AND
 SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCEING
 CORRECT TECHNICAL STANDARDS OR ORDINANCES IN PLANS, SPECIFIC DETAILS,
 OR CONSTRUCTION METHODS AS SUCH APPROVAL AND OPERATIONS SHALL
 NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE THREE
 YEARS AFTER THE APPROVAL DATE IF THE BUILDING PERMIT HAS BEEN
 FILED ON THE DEVELOPMENT.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED



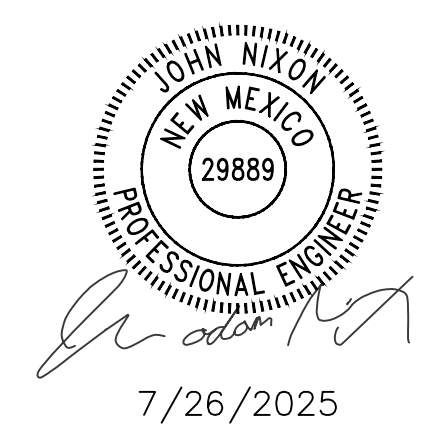
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Date	6-10-25
Drawn By	SM
Sheet Size	E1 30X42

LEGAL DESCRIPTION:
 TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC



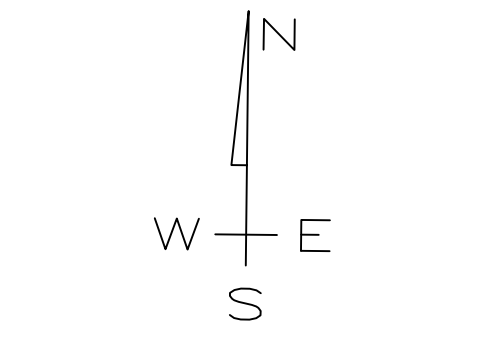
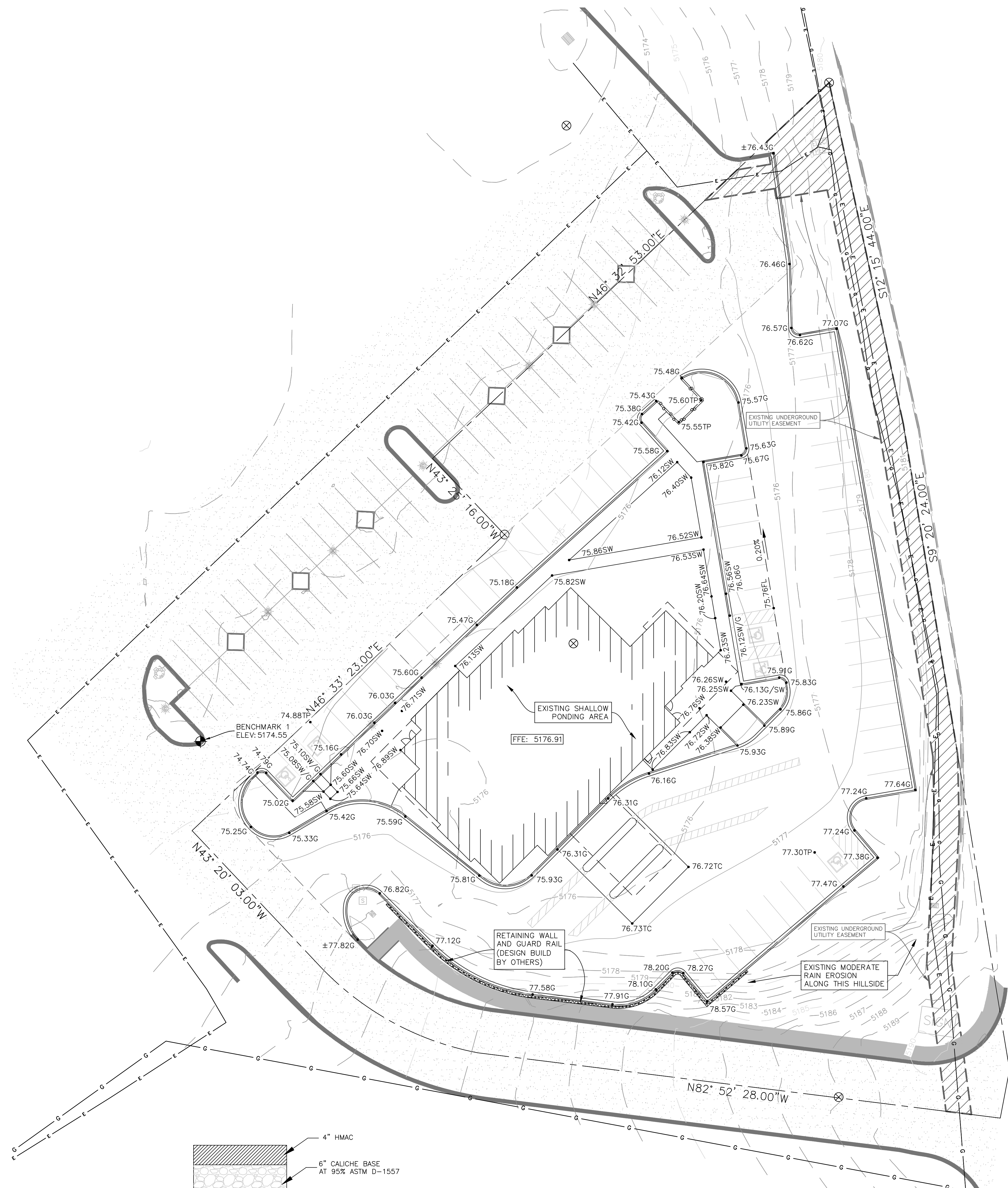
VICINITY MAP
C-400

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/22/2026
BY: [Signature]
Hydrology # D17D106D

THE APPROVAL OF THESE PLANS BY THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND OR A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE DOES NOT ASSUME ANY LIABILITY FOR DAMAGES OF ANY KIND, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THESE PLANS SHALL BE VALID FOR ONE YEAR FROM THE DATE OF APPROVAL. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ORIGINAL DESIGNER OR HIS/her REPRESENTATIVE. ANY CHANGES MADE WITHOUT THE DESIGNER'S APPROVAL SHALL BE AT THE USER'S RISK AND WITHOUT LIABILITY TO THE CITY OF ALBUQUERQUE.

REVISIONS:

DATE	DESCRIPTION
1-16-2026	ADDED HYDRO. CALCS.



LEGEND AND NOTES:

- 88.65' - TYPICAL PROPOSED ELEVATIONS
 - ±88.65' - TYPICAL APPROXIMATE EXISTING ELEVATIONS
 - 1.50% - TYPICAL PROPOSED SLOPE
 - - PROPOSED CURB
 - - PROPOSED RETAINING WALL
 - - PROPOSED PROPERTY LINE
 - - FLOW LINE
 - - PROPOSED CONTOURS
 - - EXISTING CONTOURS
 - - EXISTING CURB AND GUTTER
 - - EXISTING ASPHALT PAVING
 - ⊕ - BENCHMARK
- BP - BREAK POINT
EC - EDGE OF CONCRETE
FCE - FINISHED FLOOR ELEVATION
FG - FINISHED GRADE
FL - FLOWLINE
G - GUTTER
GB - GRADE BREAK
NG - NATURAL GROUND
SW - SIDEWALK
TC - TOP OF CURB
TP - TOP OF PAVEMENT
TW - TOP OF WALK

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE.

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ALL ELEVATIONS SHOWN ARE TOP OF CONCRETE UNLESS INDICATED OTHERWISE.

ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS INDICATED OTHERWISE.

CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS TO DRAIN. A.D.A. PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 2%. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MEET ALL A.D.A. AND T.A.S. STANDARDS.

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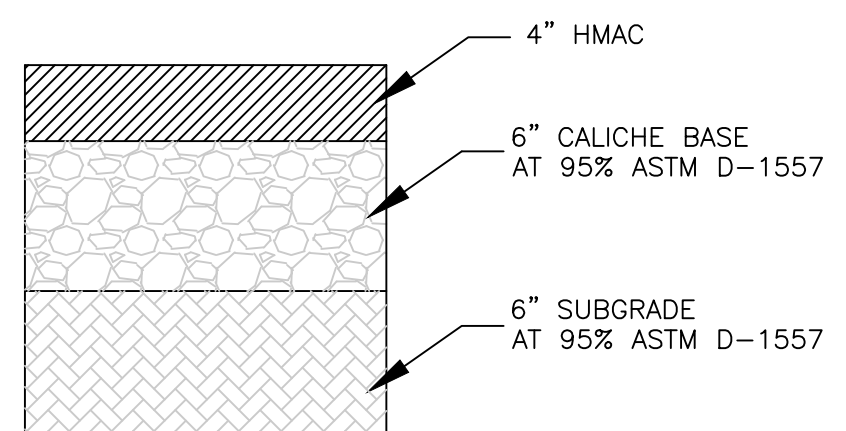
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SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.214.b)

ADDED HYDRO. CALCS. REVISION #1

BASIN	AREA (SQ. FT.)	AREA (ACRES)	TREATMENT A				TREATMENT B				TREATMENT C				TREATMENT D				100 YEAR, 6-hr		
			%	(ACRES)	%	(ACRES)	%	(ACRES)	%	(ACRES)	%	(ACRES)	WEIGHTED E (INCHES)	VOLUME (AC-FT)	FLOW (CFS)						
EXISTING	68457	1.57	-	-	-	-	67%	1.05	33%	0.52	1.46	0.191	0.36								
PROPOSED	68457	1.57	-	-	-	-	40%	0.62	60%	0.95	1.82	0.238	0.48								

IMPERVIOUS AREA
TOTAL IMPERVIOUS AREA:
41,282 SQ. FT. (4587 SQ. YDS.)



NOTE: AREAS OF SOFT OR YIELDING SUBGRADE BELOW BASE SHALL BE CUT OUT, REPLACE WITH APPROVED MATERIALS, AND COMPACTED IN LIFTS TO ACHIEVE A MINIMUM 95% MODIFIED PROCTOR DENSITY (ASTM D-1557)

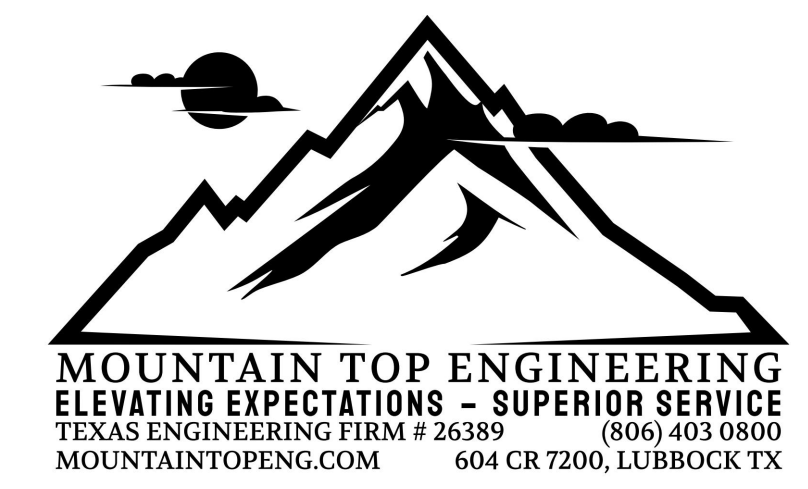
TYPICAL ASPHALT PAVING SECTION
NOT TO SCALE

EXISTING AND PROPOSED SITE GRADING FEATURES:

EXISTING SITE GRADING: THE SITE IS CURRENTLY PARTIALLY PAVED WITH LARGE DIRT LOT TO THE EAST OF THE PARKING LOT. THIS DIRT AREA IS MOSTLY LOWER THAN OR FLUSH TO THE EDGE OF ASPHALT. THERE ALSO EXISTS A RETAINING WALL AT THE EASTERN PROPERTY BOUNDARY THAT ABUTS THE PAN AMERICAN FREEWAY ACCESS/FRONTAGE ROAD, NORTH OF THE ACCESS ROAD, THAT RUNS ALONG THE SOUTHERN BOUNDARY LINE. IS A LONG SLOPED HILL THAT LEVELS OUT TO THE DIRT LOT. CURRENTLY, WATER DRAINS TO THE NORTH AND INTO THE DROP INLETS OF THE STORM SEWER SYSTEM THAT EXISTS ALONG THE BASS PRO SHOPS DRIVE AISLE.

PROPOSED SITE GRADING (PHASE 2): THE PROPOSED SITE GRADING WILL ADD A 8026 SQ. FT BUILDING FOOTPRINT WITH A FULL PERIMETER DRIVE AISLE AND PARKING LOT. THE LOT MAINTAINS THE SAME DRAINAGE PATTERNS ALBEIT WITH DIFFERENT PATHS FOR FLOW WITH THE INTRODUCTION OF THE PHASE 2 BUILDING. THE BUILDING ACTS AS THE DIVIDING FACTOR FOR STORM WATER. THE SIDE OF THE BUILDING THAT STORM WATER LANDS ON WILL DECIDE ITS FLOW PATH. STORM WATER ON THE SOUTHEAST AND EAST SIDE OF THE BUILDING WILL FLOW FROM THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE AISLE. STORM WATER ON THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE AISLE. STORM WATER ON THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE-THRU ENTRANCE. ALL FLOW CONVEYS AS SHEET FLOW OR SHALLOW CONCENTRATED FLOW TO THE DRIVE AISLE NORTH OF THE SITE WHERE THE EXISTING STORM INLETS ARE.

BENCHMARK:
BENCHMARK #1 = "X" IN BOX CUT IN BACK OF CURB LOCATED IN A PARKING END CAP PENINSULA NORTH OF THE WESTERN MOST PLAT CORNER.



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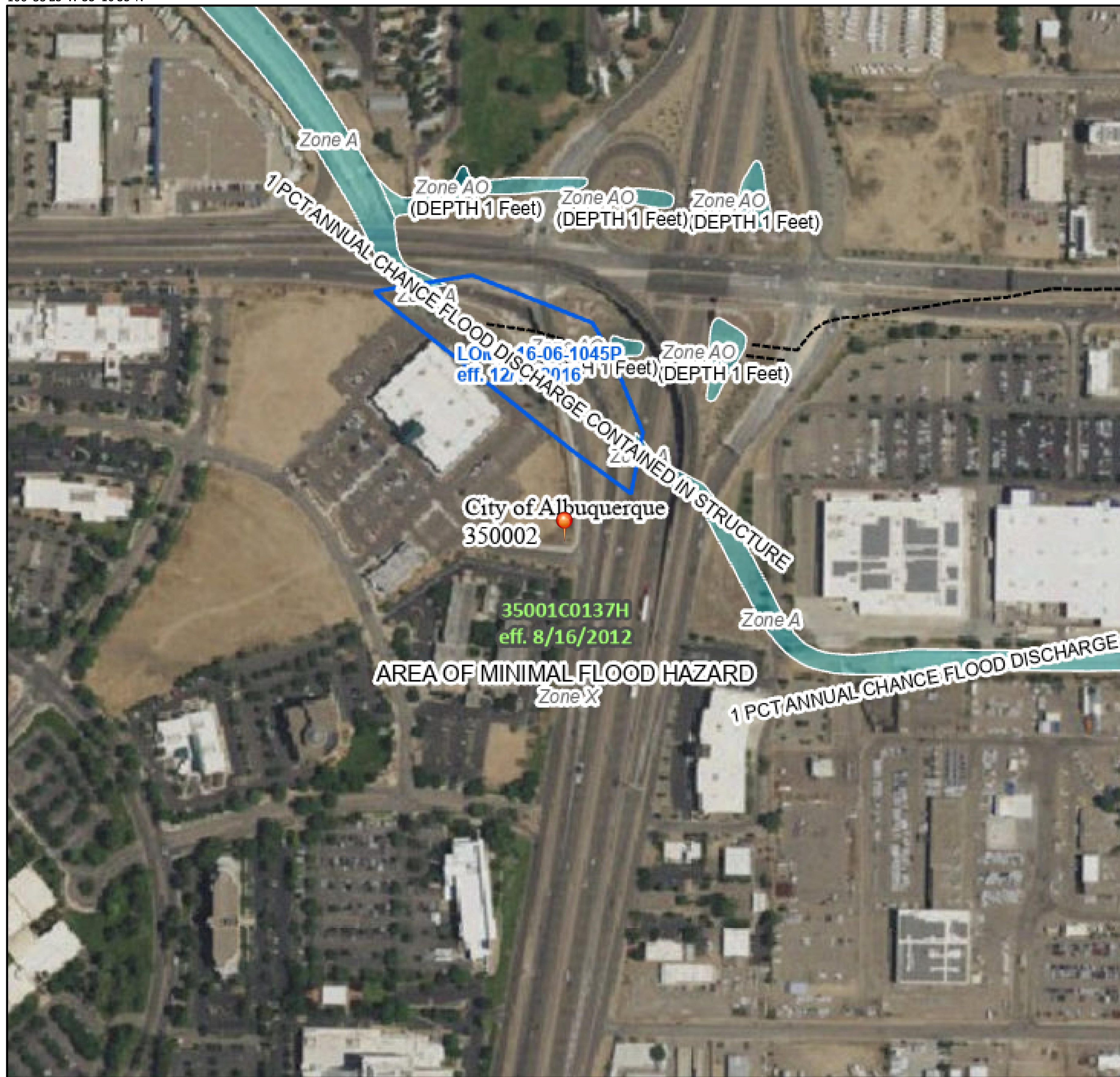
GRADING PLAN
- PHASE 2

C-401

National Flood Hazard Layer FIRMette



106°35'25"W 35°10'35"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD	NO SCREEN	Area of Minimal Flood Hazard Zone X
	Effective LOMRs	
	Area of Undetermined Flood Hazard Zone D	

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

OTHER FEATURES	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

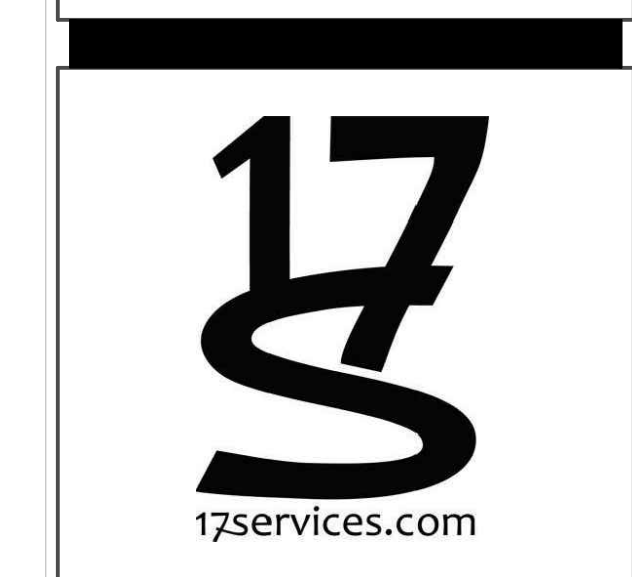
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/1/2025 at 4:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/22/2026
BY: [Signature]
HydroTeam # D17D106D
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DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



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FIRMette
C-402

