

VICINITY MAP  
 ZONE ATLAS PAGE: D-18-Z



REVISIONS:

DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE  
 5171 LANG AVE NE  
 ALBUQUERQUE, NEW MEXICO 87109



**Seventeen Services LLC**  
 Texas Architecture Firm BR 3014  
 1500 Broadway - Suite 203  
 Lubbock, TX 79401  
 806.787.8533  
 tyler@17services.com

Project Number	25ENG27
Date	9-19-25
Drawn By	SM
Sheet Size	D 24X36

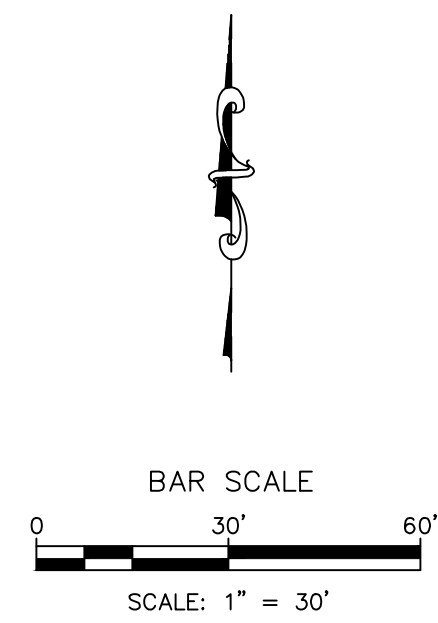
TRAFFIC  
 CIRCULATION  
 PLAN  
 - MAP

**TCL-1**

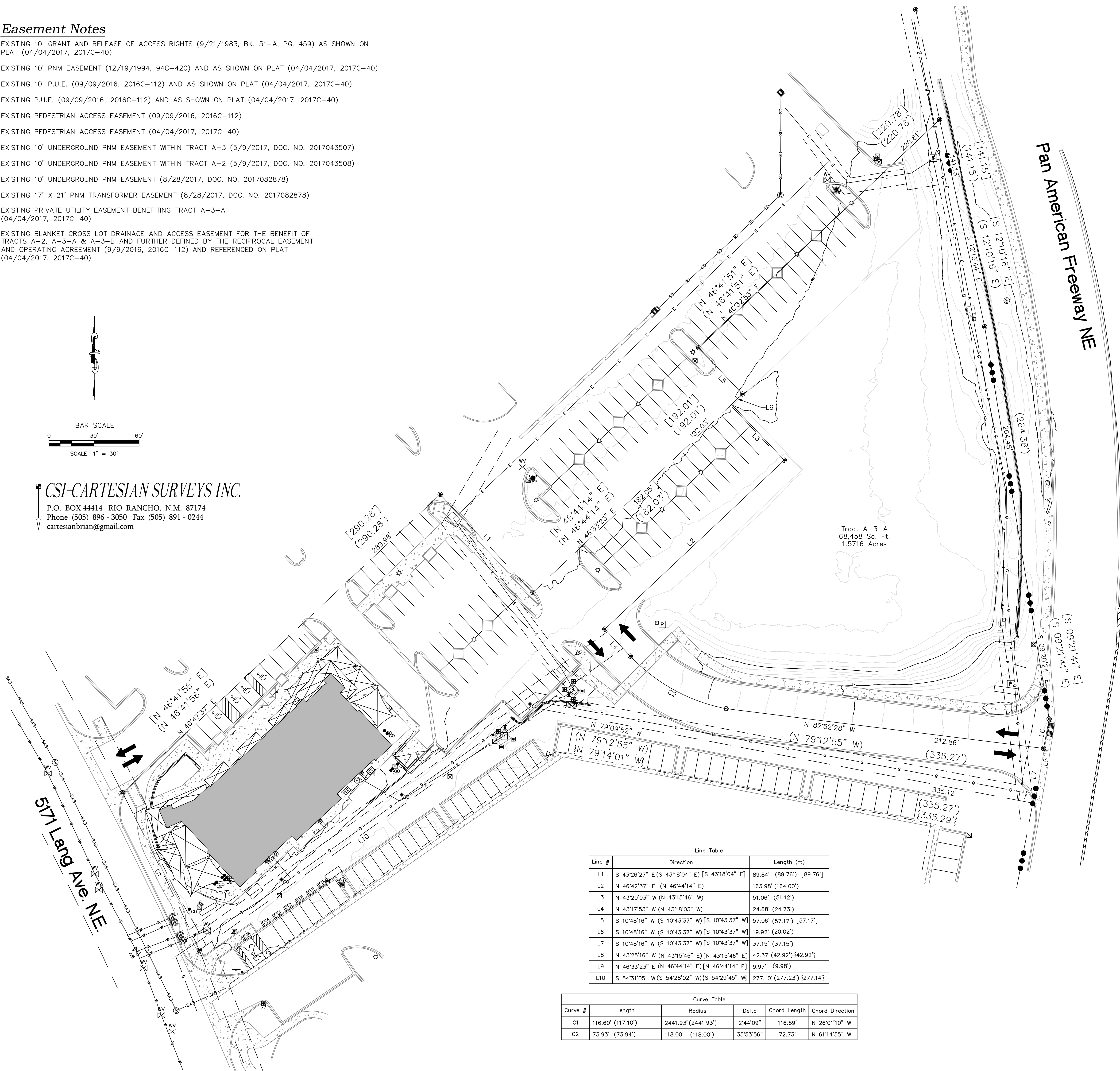
**Boundary Survey**  
for  
**Topographic Map**  
for  
**Tract A-3-A**  
**Legacy at Journal Center**  
City of Albuquerque  
Bernalillo County, New Mexico  
June 2025

**Easement Notes**

- 1 EXISTING 10' GRANT AND RELEASE OF ACCESS RIGHTS (9/21/1983, BK. 51-A, PG. 459) AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 2 EXISTING 10' PNM EASEMENT (12/19/1994, 94C-420) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 3 EXISTING 10' P.U.E. (09/09/2016, 2016C-112) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 4 EXISTING P.U.E. (09/09/2016, 2016C-112) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 5 EXISTING PEDESTRIAN ACCESS EASEMENT (09/09/2016, 2016C-112)
- 6 EXISTING PEDESTRIAN ACCESS EASEMENT (04/04/2017, 2017C-40)
- 7 EXISTING 10' UNDERGROUND PNM EASEMENT WITHIN TRACT A-3 (5/9/2017, DOC. NO. 2017043507)
- 8 EXISTING 10' UNDERGROUND PNM EASEMENT WITHIN TRACT A-2 (5/9/2017, DOC. NO. 2017043508)
- 9a EXISTING 10' UNDERGROUND PNM EASEMENT (8/28/2017, DOC. NO. 2017082878)
- 9b EXISTING 17' X 21' PNM TRANSFORMER EASEMENT (8/28/2017, DOC. NO. 2017082878)
- 10 EXISTING PRIVATE UTILITY EASEMENT BENEFITING TRACT A-3-A (04/04/2017, 2017C-40)
- 11 EXISTING BLANKET CROSS LOT DRAINAGE AND ACCESS EASEMENT FOR THE BENEFIT OF TRACTS A-2, A-3-A & A-3-B AND FURTHER DEFINED BY THE RECIPROCAL EASEMENT AND OPERATING AGREEMENT (9/9/2016, 2016C-112) AND REFERENCED ON PLAT (04/04/2017, 2017C-40)



**CSI-CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
cartesianbrian@gmail.com



**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (4/4/2017, 2017C-40)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (8/15/2023, 2023C-66)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (9/9/2016, 2016C-112)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
—●—	ACCESS CONTROL LINE PER RIGHT OF WAY MAP, PROJECT NO. "A301180"
▭	CONCRETE
▨	COVERED AREA
▩	BLOCK WALL
— —	METAL FENCE
— —	BOLLARD
□	UTILITY PEDESTAL
⊞	ELECTRIC VEHICLE CHARGING STATION
⊞	PULL BOX
☆	LIGHT POLE
⊞	ELECTRIC METER
⊞	TRANSFORMER
⊞	ELECTRIC CABINET
⊞	SANITARY SEWER MANHOLE
⊞	SAS CLEANOUT
⊞	IRRIGATION BOX
⊞	WATER VALVE
⊞	WATER METER
⊞	FIRE HYDRANT
⊞	HOT BOX
⊞	SIGN
⊞	CURB CUT/INDICATION OF ACCESS TO ROADWAY
⊞	STORM DRAIN MANHOLE
⊞	STORM DRAIN INLET
⊞	ROOF DRAIN
⊞	GAS METER
⊞	RAMP
—○—	UNDERGROUND GAS UTILITY LINE
—○—	UNDERGROUND WATER UTILITY LINE
—○—	UNDERGROUND SANITARY SEWER LINE
—○—	UNDERGROUND ELECTRIC UTILITY LINE
—○—	FDC
—○—	PIV
5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TOP 5075.50	TOP OF SLOPE ELEVATION
TOE 5075.50	TOE OF SLOPE ELEVATION

Line #	Direction	Length (ft)
L1	S 43°26'27" E (S 43°18'04" E) [S 43°18'04" E]	89.84' (89.76') [89.76']
L2	N 46°42'37" E (N 46°44'14" E)	163.98' (164.00')
L3	N 43°20'03" W (N 43°15'46" W)	51.06' (51.12')
L4	N 43°17'53" W (N 43°18'03" W)	24.68' (24.73')
L5	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	57.06' (57.17') [57.17']
L6	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	19.92' (20.02')
L7	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	37.15' (37.15')
L8	N 43°25'16" W (N 43°15'46" E) [N 43°15'46" E]	42.37' (42.92') [42.92']
L9	N 46°33'23" E (N 46°44'14" E) [N 46°44'14" E]	9.97' (9.98')
L10	S 54°31'05" W (S 54°28'02" W) [S 54°29'45" W]	277.10' (277.23') [277.14']

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	116.60' (117.10')	2441.93' (2441.93')	2°44'09"	116.59'	N 26°01'10" W
C2	73.93' (73.94')	118.00' (118.00')	35°53'56"	72.73'	N 61°14'55" W

**TRAFFIC CIRCULATION PLAN**  
- EXISTING  
**TCL-2**

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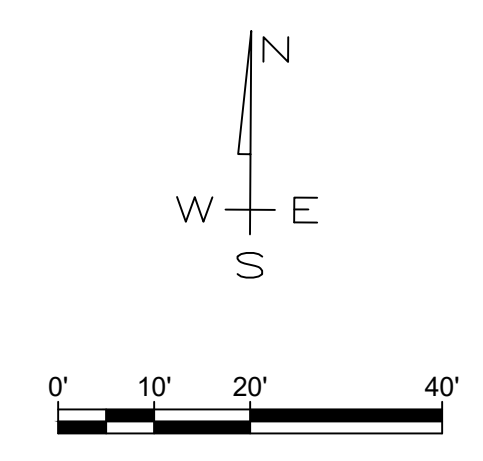
**TRAFFIC**  
**CIRCULATION**  
**PLAN**  
**- PHASE 1**  
TCL-3

**SITE DATA:**

USE: BANK  
 ZONING: NR-BP  
 OVERLAY: NORTH I-25 AREA - CPO-9  
 CENTERS AND CORRIDORS: FAR NORTH, JOURNAL CENTER  
 PREMIUM TRANSIT STATION: N/A  
 TRANSIT: I-25, PASEO DEL NORTE NE  
 BICYCLE FACILITIES: PASEO DEL NORTE TRAIL  
 LEGAL DESCRIPTION: TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC  
 NET SITE AREA: 68511.2 FT<sup>2</sup>  
 ZONE ATLAS PAGE: D-18-Z  
 SETBACKS:  
 BUILDING HEIGHT: 11.25'  
 BUILDING FOOTPRINT: 1400 FT<sup>2</sup>  
 PARKING:  
     REQUIRED: 7 SPACES (1 SPACE PER 200 FT<sup>2</sup>)  
     PROVIDED: 23  
 MOTORCYCLE SPACES REQUIRED: 1 (1 SPACE FOR 1-25 OFF-STREET SPACES)  
 MOTORCYCLE SPACES PROVIDED: 1  
 BICYCLE SPACES REQUIRED: 2 (ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES)  
 BICYCLE SPACES PROVIDED: 2

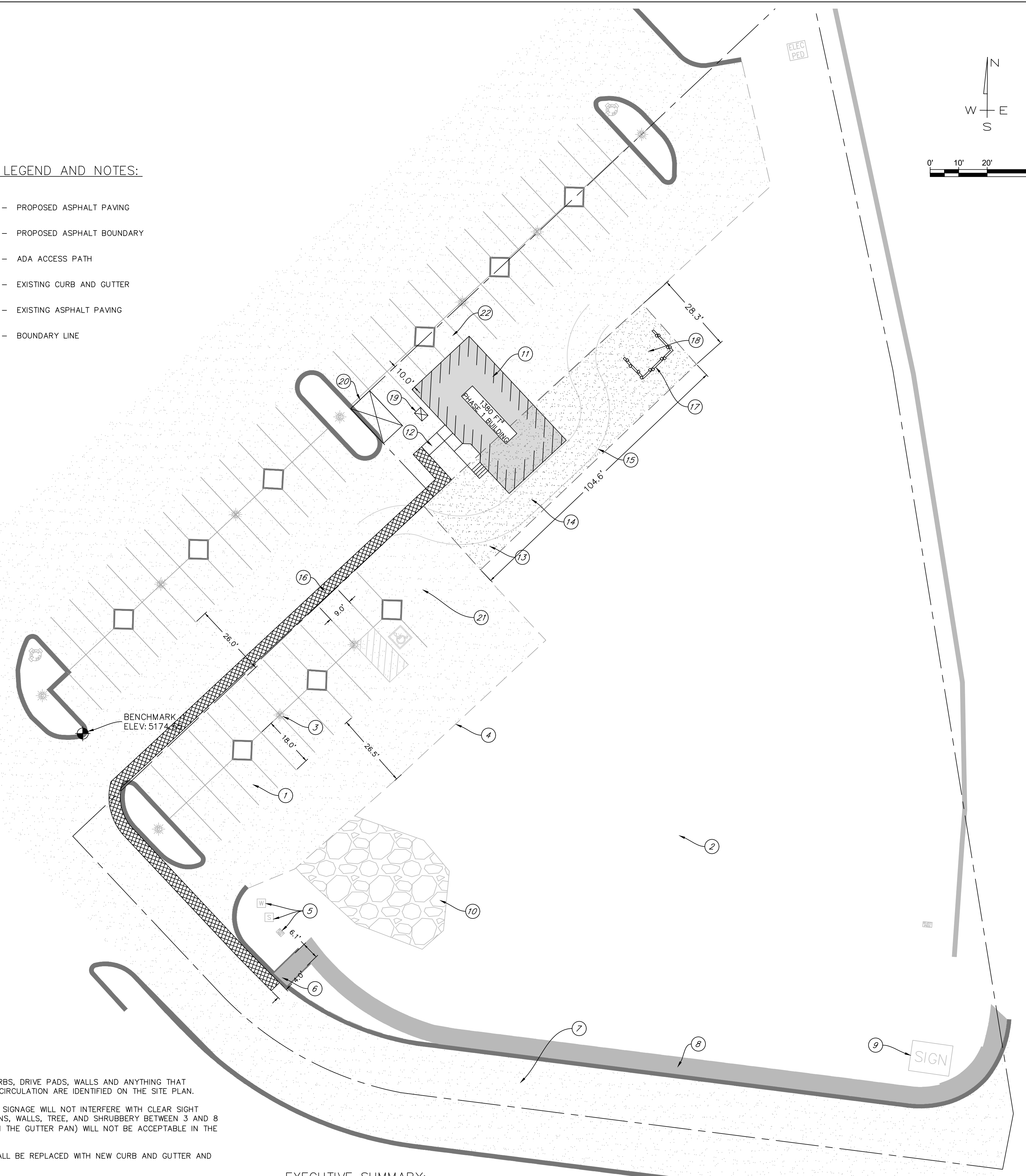
**KEYED NOTES:**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. EXISTING PARKING TO REMAIN</li> <li>2. EXISTING LOT TO BE DEVELOPED IN THE FUTURE</li> <li>3. EXISTING LIGHT POLES TO REMAIN</li> <li>4. EXISTING EDGE OF ASPHALT</li> <li>5. EXISTING UTILITY STUB-OUTS</li> <li>6. EXISTING ADA RAMP</li> <li>7. EXISTING ACCESS ROAD TO PAN AMERICAN FRONTAGE ROAD</li> <li>8. EXISTING SIDEWALK</li> <li>9. EXISTING MARQUEE SIGN</li> <li>10. EXISTING RIPRAP RUNOUT TRACK</li> </ol> | <ol style="list-style-type: none"> <li>11. PROPOSED MODULAR BUILDING</li> <li>12. PROPOSED ADA RAMP ACCESSING MODULAR BUILDING (TO BE CONSTRUCTED ONSITE AND FOLLOW ALL APPLICABLE STANDARDS)</li> <li>13. PROPOSED ASPHALT PAVING</li> <li>14. PROPOSED DRIVE-THRU LANE (SEE STACKING EXHIBIT, SHEET TCL-4)</li> <li>15. PROPOSED DRIVE THRU STRIPING</li> <li>16. PROPOSED ADA PATH MARKING</li> <li>17. PROPOSED REFUSE SHIELDING BARRIER</li> <li>18. PROPOSED REFUSE CONTAINER STORAGE AREA</li> <li>19. PROPOSED BICYCLE SPACES WITH RACK</li> <li>20. PROPOSED MOTORCYCLE SPACE WITH SIGN</li> <li>21. (6) PARKING SPACES STRIPING TO BE REMOVED</li> <li>22. (4) PARKING SPACES TO BE COVERED UPON PLACEMENT OF BUILDING</li> </ol> |
|--|---|



**LEGEND AND NOTES:**

- PROPOSED ASPHALT PAVING
- PROPOSED ASPHALT BOUNDARY
- ADA ACCESS PATH
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- BOUNDARY LINE

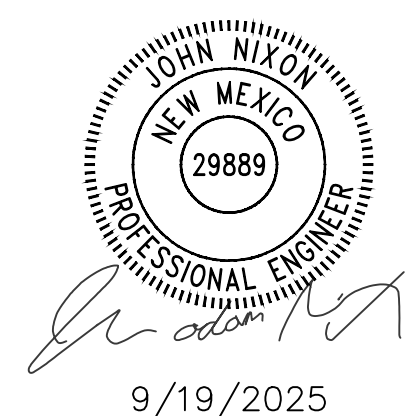


**GENERAL NOTES:**

1. ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALLS AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
2. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREE, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB AND GUTTER AND SIDEWALKS.
4. ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND GUTTERS.
5. A 6-FOOT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
6. SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO MX-M REQUIREMENTS.
7. EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.

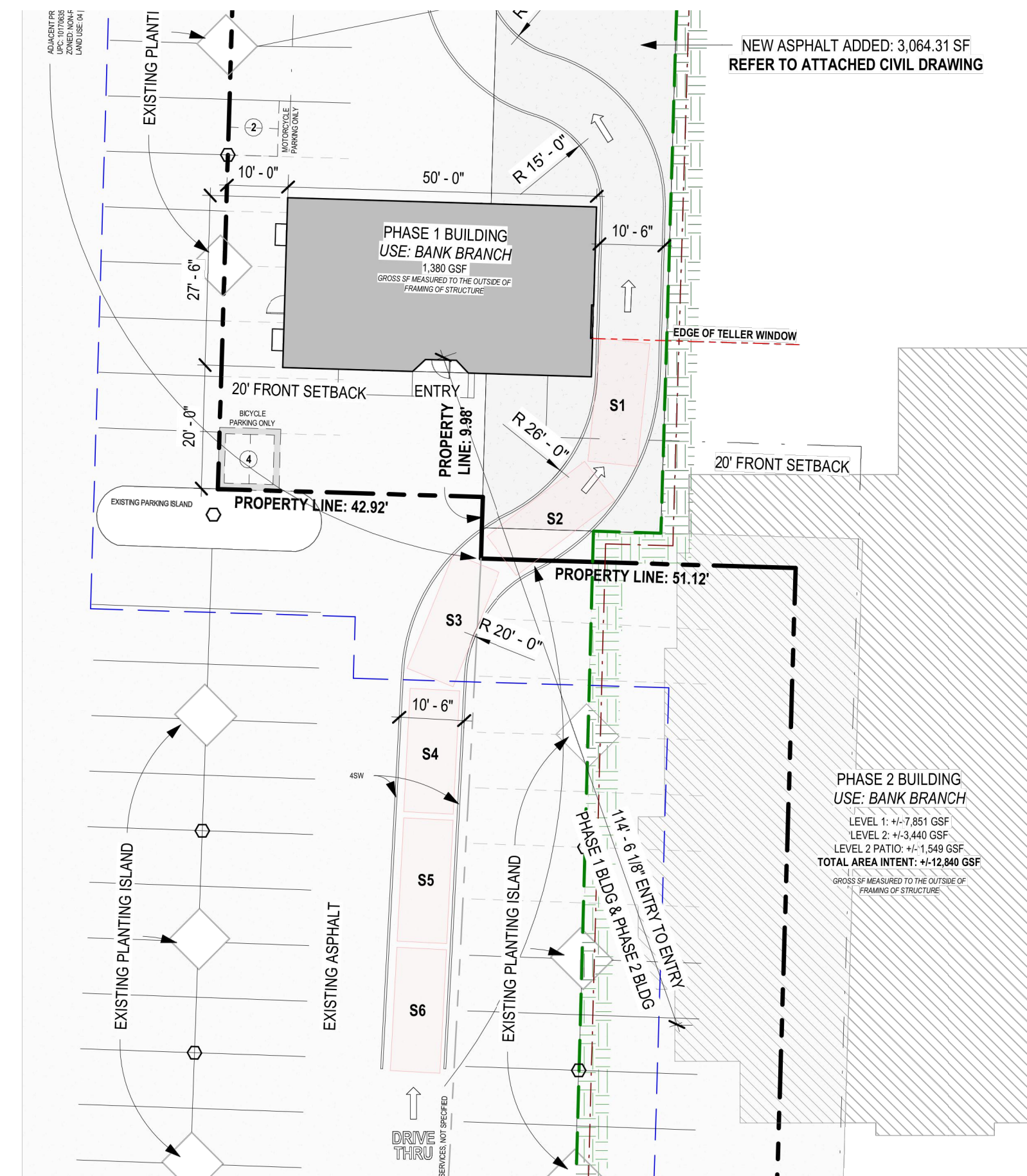
**EXECUTIVE SUMMARY:**

This site is located just west of the Pan American Freeway NE Frontage Road. The site has a common access from the frontage road along its southern boundary. Lang Avenue NE is located through the parking lot to the west. The site currently is vacant and has no structures. The proposed site includes a modular building on the 2.21 acre lot. Access to the site can be made from Lang Avenue or from the frontage road to the east. The lot will maintain the common access drive from the frontage road which serves the businesses within the development. A small amount of asphalt will be added for a drive thru to the modular building, a bank. This drive thru allows circulation around the building.

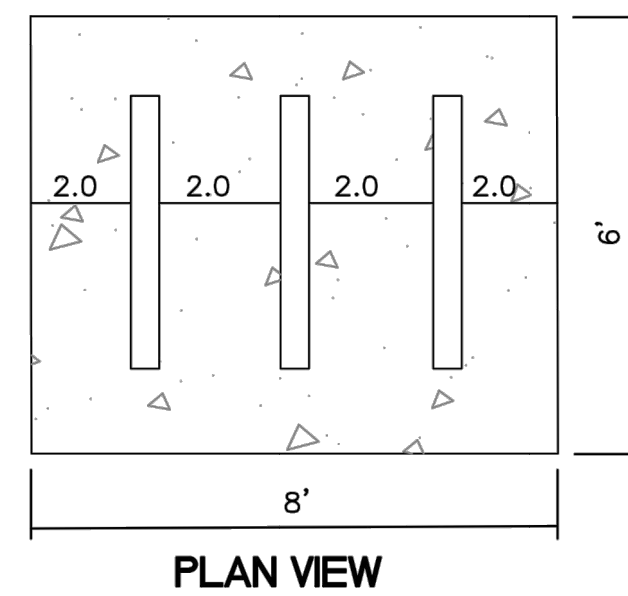


9/19/2025

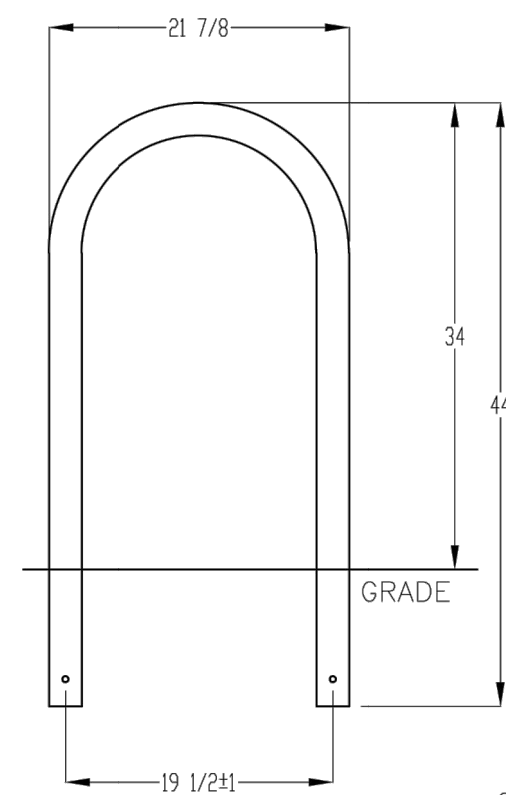




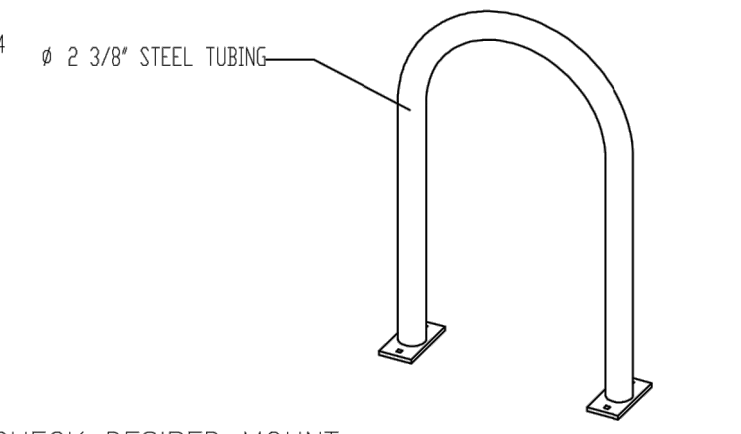
DRIVE-THRU  
STACKING EXHIBIT



MUDRAX DIVISION  
GRABER MANUFACTURING, INC.  
1080 LINCOLN DRIVE  
WALNUT CREEK, CA 94597  
PHONE: 415-779-1100, 415-779-1100, FAX: 415-779-1100  
WWW.MUDRAX.COM, E-MAIL: SALES@MUDRAX.COM



CHECK DESIRED MOUNT



PRODUCT: 1238-16(S)  
DESCRIPTION: BIKE RACK  
DATE: 10-4-18  
ENG: SNC

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BIKE RACK DETAIL  
SCALE: NONE

NON-VAN ACCESSIBLE SPACES  
BOTTOM OF THIS SIGN  
60" MIN. ABOVE GROUND  
ANSI 502.7

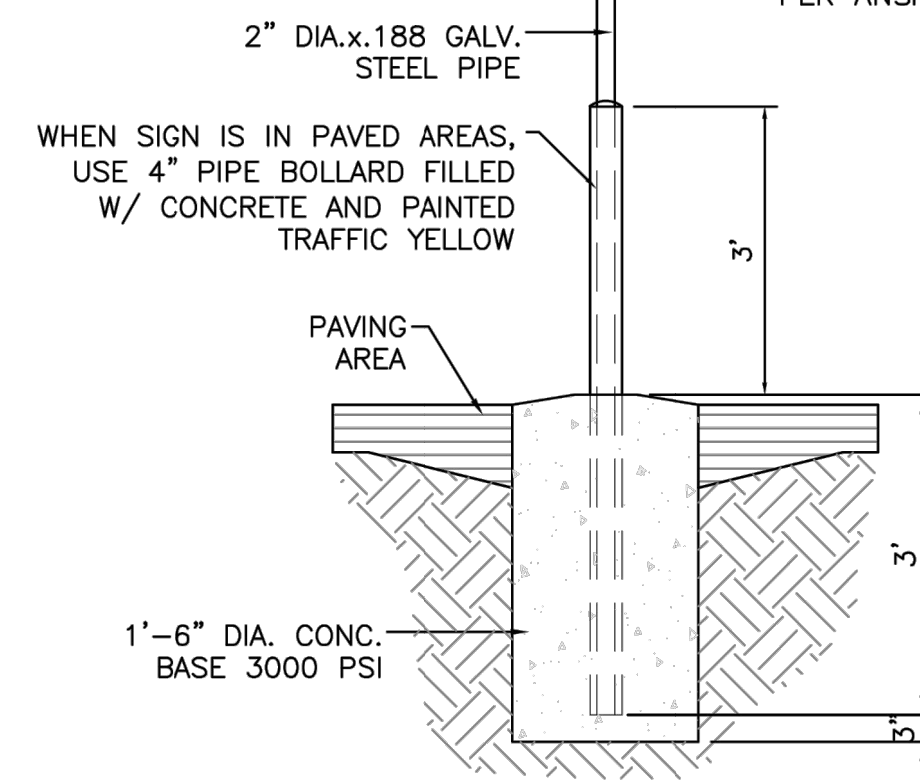
VAN ACCESSIBLE SPACES  
BOTTOM OF THIS SIGN  
60" MIN. ABOVE GROUND  
ANSI 502.7

SIGN TYPE R7-8 (12"x18")  
SIGN FIELD IS WHITE  
SIGN LETTERING AND BORDER ARE GREEN  
INTERNATIONAL SYMBOL OF ACCESSIBILITY  
IS WHITE ON A BLUE BACKGROUND

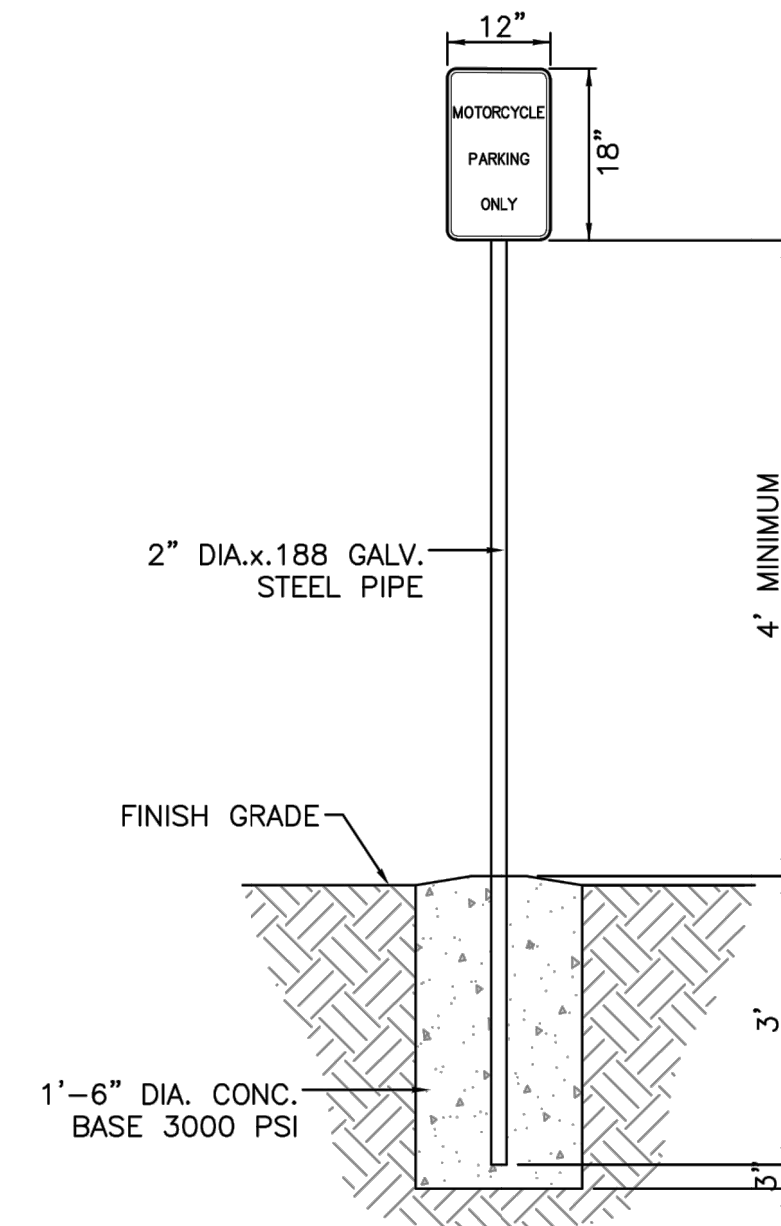
REQUIRED LANGUAGE PER  
NMSA 197866-7-352.4C  
(Violators are subject to a  
fine and/or towing)

SIGN TYPE R7-8A (6"x12")  
SIGN FIELD IS WHITE  
SIGN LETTERING AND BORDER ARE GREEN

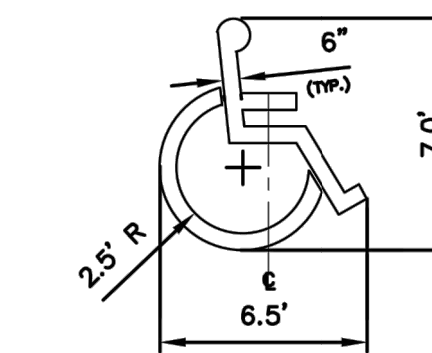
REQUIRED LANGUAGE  
(VAN ACCESSIBLE)  
PER ANSI 502.7



ACCESSIBLE PARKING SIGN  
NTS



MOTORCYCLE PARKING SIGN  
NTS



ACCESSIBLE PARKING SYMBOL



9/19/2025



MOUNTAIN TOP ENGINEERING  
ELEVATING EXPECTATIONS - SUPERIOR SERVICE  
TEXAS ENGINEERING FIRM # 26389 (806) 403 0800  
MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

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TRAFFIC  
CIRCULATION  
PLAN  
- PHASE 1

TCL-4