

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 23, 2023

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: Legacy 2 Multifamily
7800 Headline Blvd NE
Permanent C.O. – Accepted
Engineer’s Certification Date: 05/02/23
Engineer’s Stamp Date: 09/17/20
Hydrology File: D17D107**

Dear Mr. Balaskovits:

PO Box 1293

Based on the Certification received 05/02/2023 and site visit on 05/15/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque

Reference Number: 2021190001-45
Date/Time: 07/09/2021 4:42:15 PM



Departmental Deposit
2021190001-45-1
Departmental Deposit 1@ \$36,464.00
GL #: |305|461615|7547210|PCDMD|24MS4||
Total: \$36,464.00

TREASURY DIVISION DAILY DEPOSIT
Transmittals for:
PROJECTS Only

1 ITEM TOTAL: \$36,464.00
TOTAL: \$36,464.00
DUPLICATE RECEIPT 7/9/2021 4:43:00 PM

Check \$36,464.00
Bank Account #: *****2912
Check Number: 124
Bank Routing #: *****6606
Address:
Total Received: \$36,464.00

**-Lieu for Storm Water Quality
Volume Requirement**

ITEM	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
1	305	PCDMD	24_MS4	7547210	\$ 36,464.00
				TOTAL DEPOSIT	\$ 36,464.00



Thank you for your payment.

Name: Legacy 2 Multifamily.
Water Quality

e Blvd NE

ment/Development Review Services, Hydrology

PREPARED BY Renee C. Brissette, P.E. CFM PHONE 505-924-3995

BUSINESS DATE November 19, 2020

DUAL VERIFICATION OF DEPOSIT Renee C Brissette
EMPLOYEE SIGNATURE

AND BY _____
EMPLOYEE SIGNATURE

REMITTER: _____

AMOUNT: _____

BANK: _____

CHECK #: _____ DATE ON CHECK: _____

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.

CE 202119000145



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Legacy 2 Multifamily (ALLASO) **Building Permit #:** _____ **Hydrology File #:** D17D107

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Tract TR-2A-2A-2B-1-A of Plat RE 2A-2A-2A-2B-1-A (TRACT A LEGACY 2 AT JOURNAL CENTER)

City Address: 7800 Headline Blvd NE, Albuquerque, NM 97109

Applicant: Bohannan Huston **Contact:** Mike Balaskovits

Address: 7500 Jefferson St. NE, Albuquerque, NM 87109

Phone#: 505-823-1000 **Fax#:** _____ **E-mail:** mbalaskovits@bhinc.com

Owner: Titan Construction **Contact:** Josh Rogers

Address: 30 Frontage Rd, Placitas, NM 87043

Phone#: 505-771-3399 **Fax#:** _____ **E-mail:** jrogers@titan-development.com>;

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 5/2/2023 **By:** Mike Balaskovits

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE TO AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/17/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J. MARTINEZ, NMPRS 18374, OF THE FIRM CARTESIAN SURVEY'S INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/2/2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


MICHAEL BALASKOVITS, NMPE 18187

5/2/2023

LEGEND

- FL60.22 DESIGN GRADE
- FL60.22 AS-BUILT GRADE
- 60.25



JEFFERSON ST

C-101

C-102

HEADLINE BLVD

C-103

NOTE

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

NOTE

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

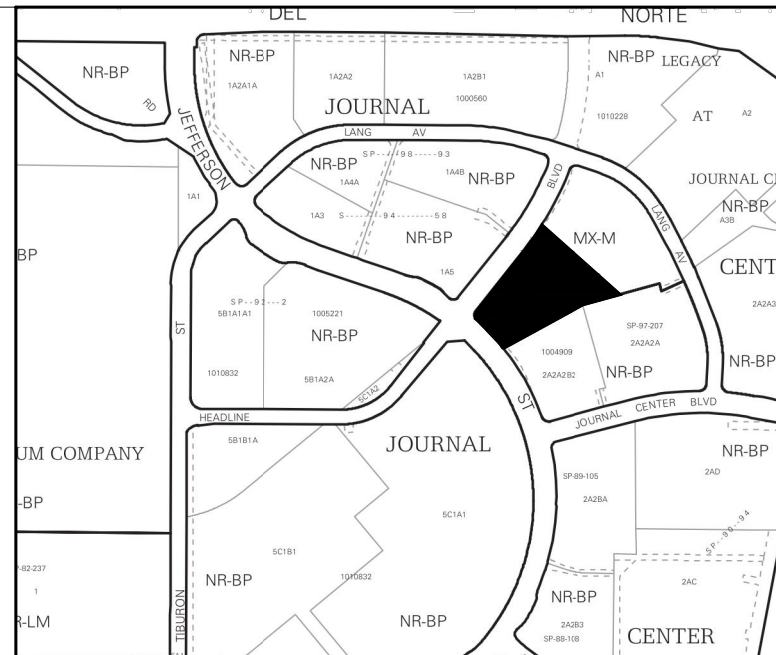
NOTE

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19")

- BUILD SIDEWALK CULVERT PER COA STD DWG 2238.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 235-8106 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 235-8106 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.



VICINITY MAP
NOT TO SCALE

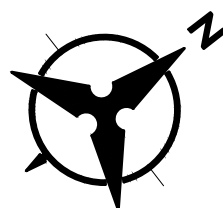


GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



30 15 0 30
1"=30'



Bohannon & Huston
www.bhinc.com 800.877.5332

**ALLASO
JOURNAL CENTER**

7800 HEADLINE BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO, 87109



WorldHQ@ORBArch.com



DATE: SEPTEMBER, 17, 2020 ORB #: 18-236

C-100

OVERALL GRADING PLAN

GRADING PLAN

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW. ANS SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLAN:
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

ALLASO JOURNAL CENTER

7800 HEADLINE BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO, 87109



WorldHQ@ORBArch.com



DRAINAGE CERTIFICATION

I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE TO AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/17/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J. MARTINEZ, NMPRS 18374, OF THE FIRM CARTESIAN SURVEY'S INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/2/2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

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5/2/2023

LEGEND

- FL60.22 DESIGN GRADE
- FL60.22 AS-BUILT GRADE

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 11/19/20
BY: *Rosa C. Brissette*
HydroTrans # D17D107

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR ERROR OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

GRADING KEYNOTES

- INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE.
- INSTALL CONCRETE CURB OPENING PER DETAIL B, SHEET C-102.
- INSTALL CONCRETE RIBBON CHANNEL PER DETAIL A, SHEET C-102.
- WATER HARVESTING. LANDSCAPE DEPRESSION. ENSURE 6" MINIMUM DEPRESSION BELOW FLOWLINE.
- MATCH EXISTING ELEVATION.
- INSTALL 1 - 24" SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND STEEL PLATE 12" OFFSET FROM BOTH SIDES OF SIDEWALK.
- INSTALL RETAINING WALL. SEE STRUCTURAL PLAN FOR DETAILS.
- INSTALL TYPE "D" INLET PER COA STD DWG 2206 (OR APPROVED EQUAL).
- CONNECT TO EXISTING STORM DRAIN INLET.
- INSTALL PRE-FABRICATED STORM DRAIN FITTING. SEE PLAN FOR SIZE.
- REGRADE, INSTALL EARTHEN SWALE.
- INSTALL 1-12" SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 12" NYLOPLAST INLET (OR APPROVED EQUAL) WITH PEDESTRIAN RATED GRATE.
- INSTALL 12" NYLOPLAST INLET (OR APPROVED EQUAL) WITH DOME GRATE.
- INSTALL STORM DRAIN TO WITHIN 5' OF BUILDING. CONNECT TO ROOF DRAIN OUTLET BELOW GRADE. PROVIDE FITTINGS AS NECESSARY. SEE PLUMBING PLAN FOR CONTINUATION. CONFIRM INVERTS, AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
- INSTALL 1" WIDE CONCRETE RIBBON CHANNEL. CENTER ON ROOF DRAIN OUTLET.
- EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- INSTALL 24" NYLOPLAST INLET (OR APPROVED EQUAL) WITH DOME RATED GRATE.
- INSTALL TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2209.
- INSTALL RCP STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
- INSTALL RIP RAP PAD PER DETAIL C, SHEET C-102.
- INSTALL 2 - 24" SIDEWALK CULVERTS PER COA STD DWG 2236.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE SPOT ELEVATION
FL=FLOW LINE
TC=TOP OF CURB
TS=TOP OF SIDEWALK
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19")

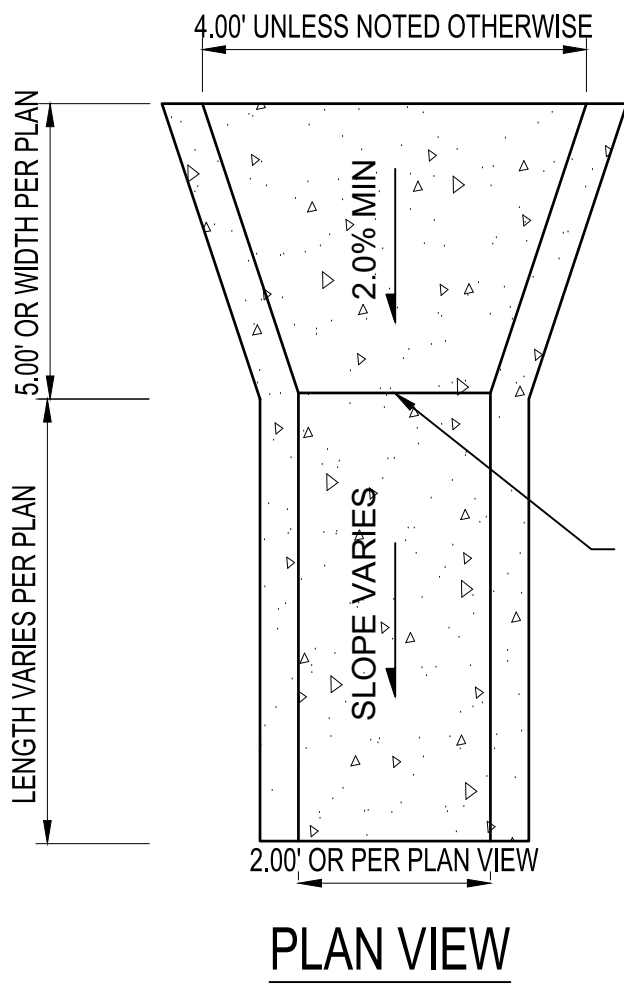
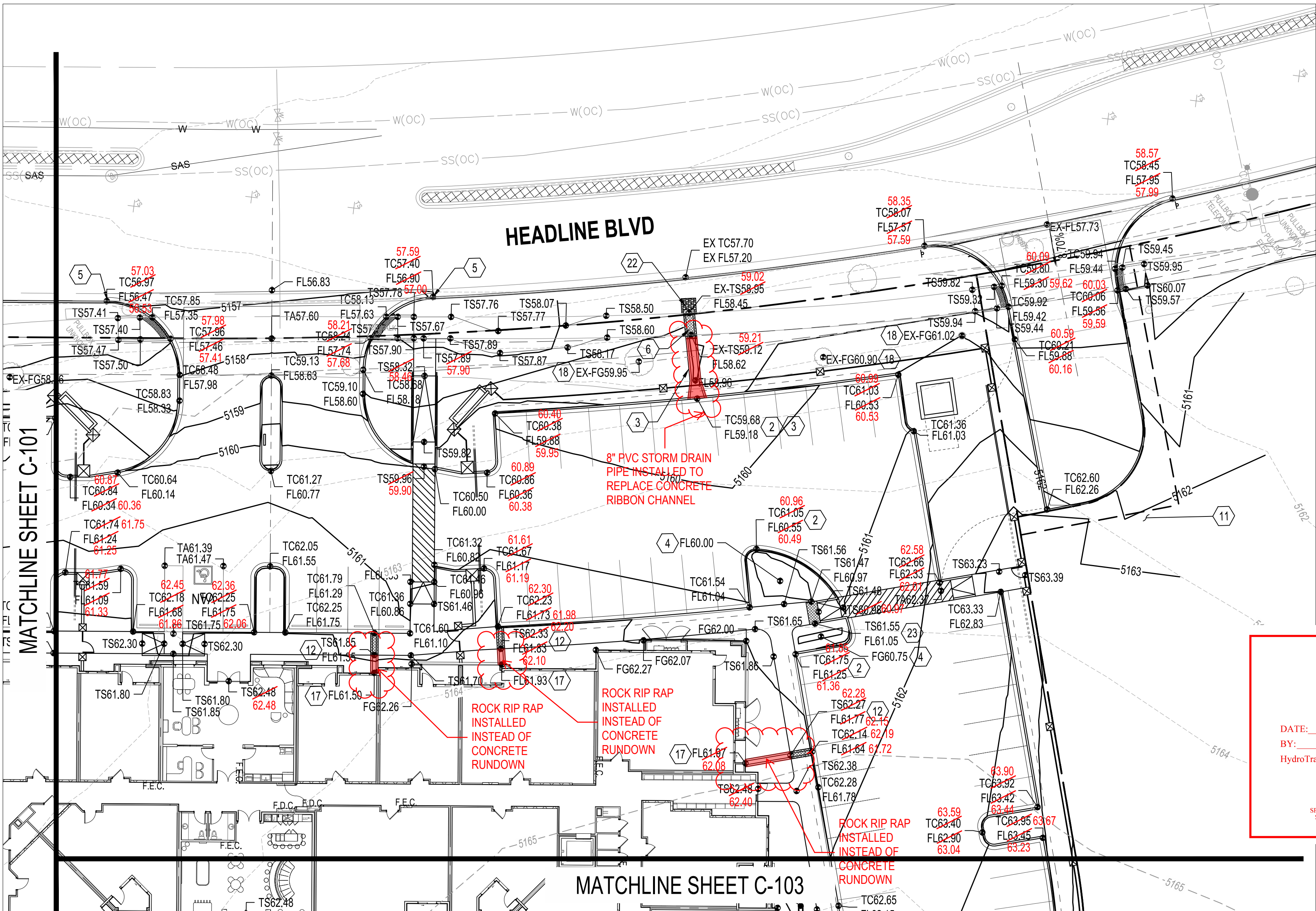
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DATE: SEPTEMBER, 17, 2020 ORB #: 18-236

C-102

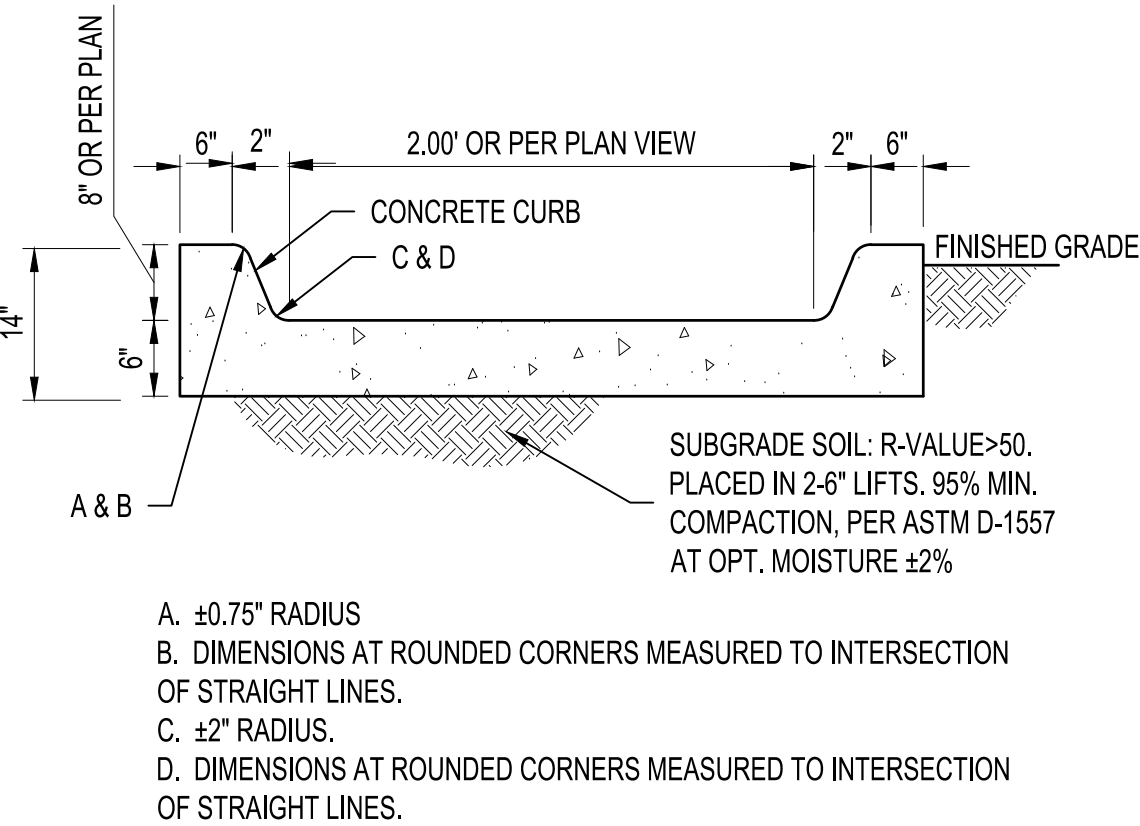
GRADING PLAN

Bohannon & Huston
www.bhinc.com 800.877.5332



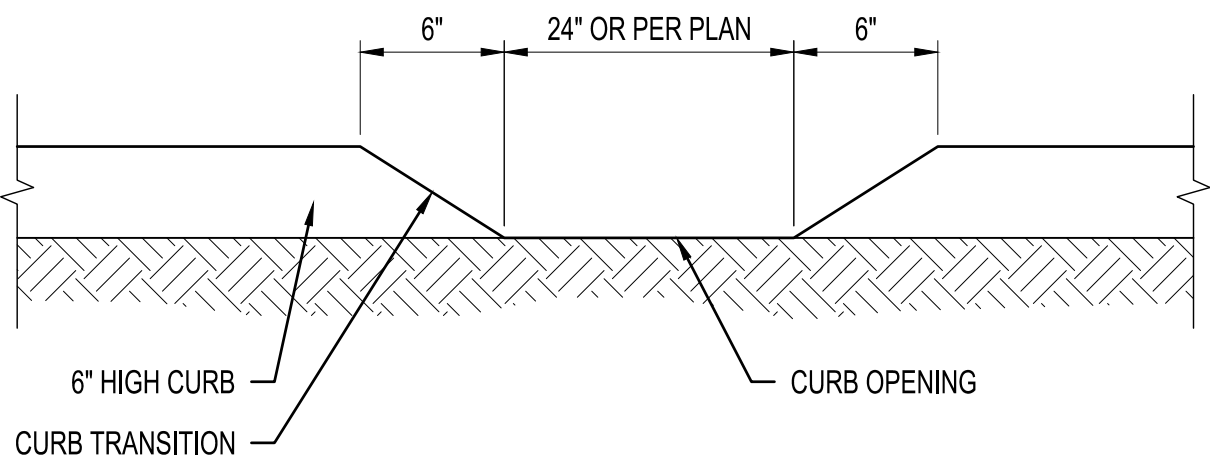
A CONCRETE RUNDOWN

NTS



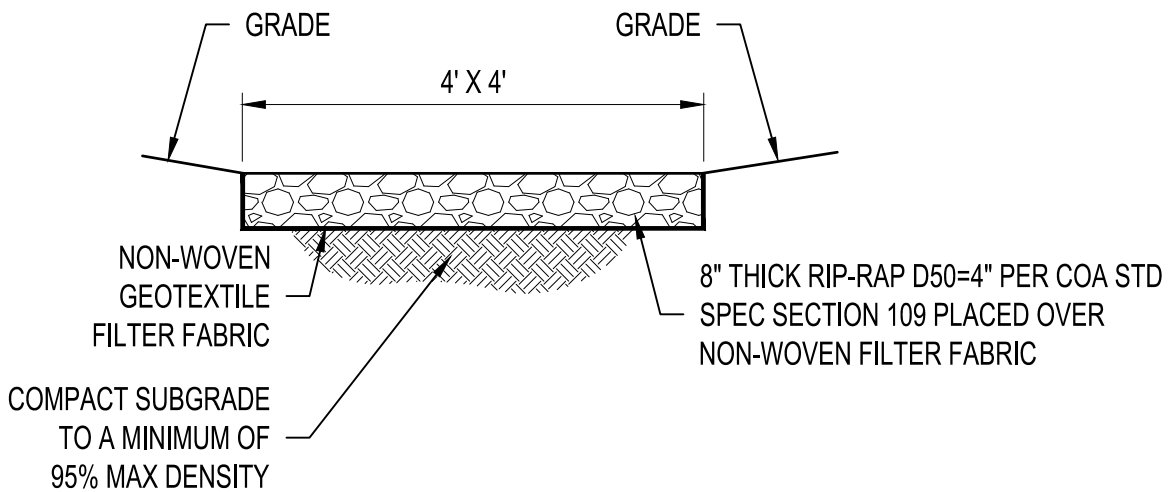
CROSS SECTION

NTS



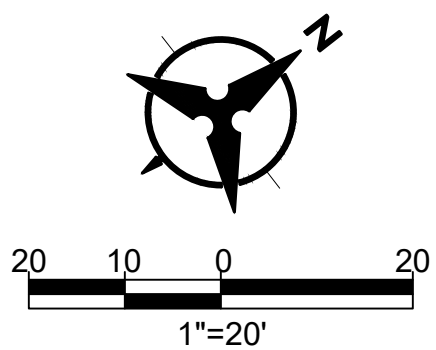
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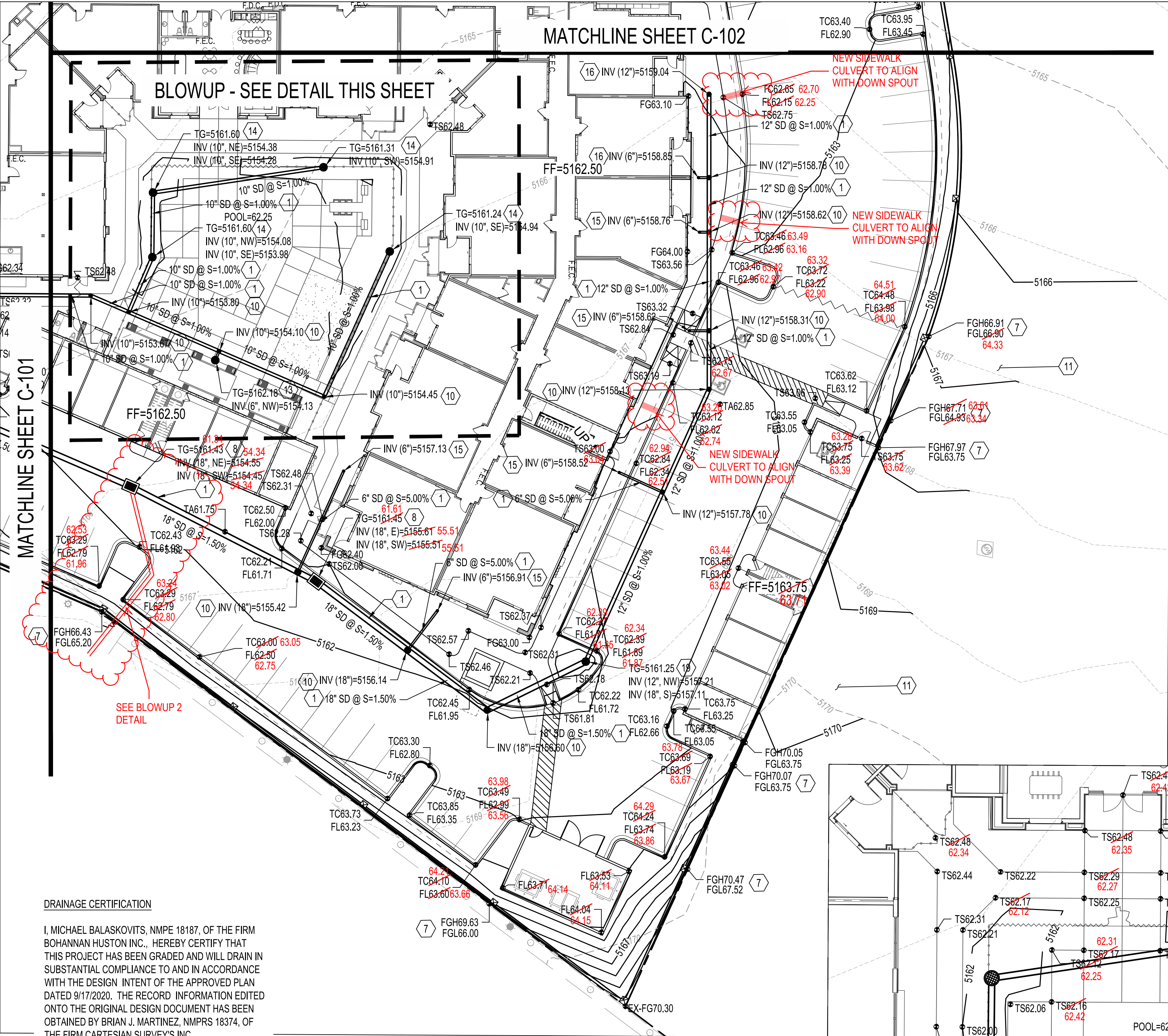
NTS



C RIP-RAP PAD

NTS





DRAINAGE CERTIFICATION

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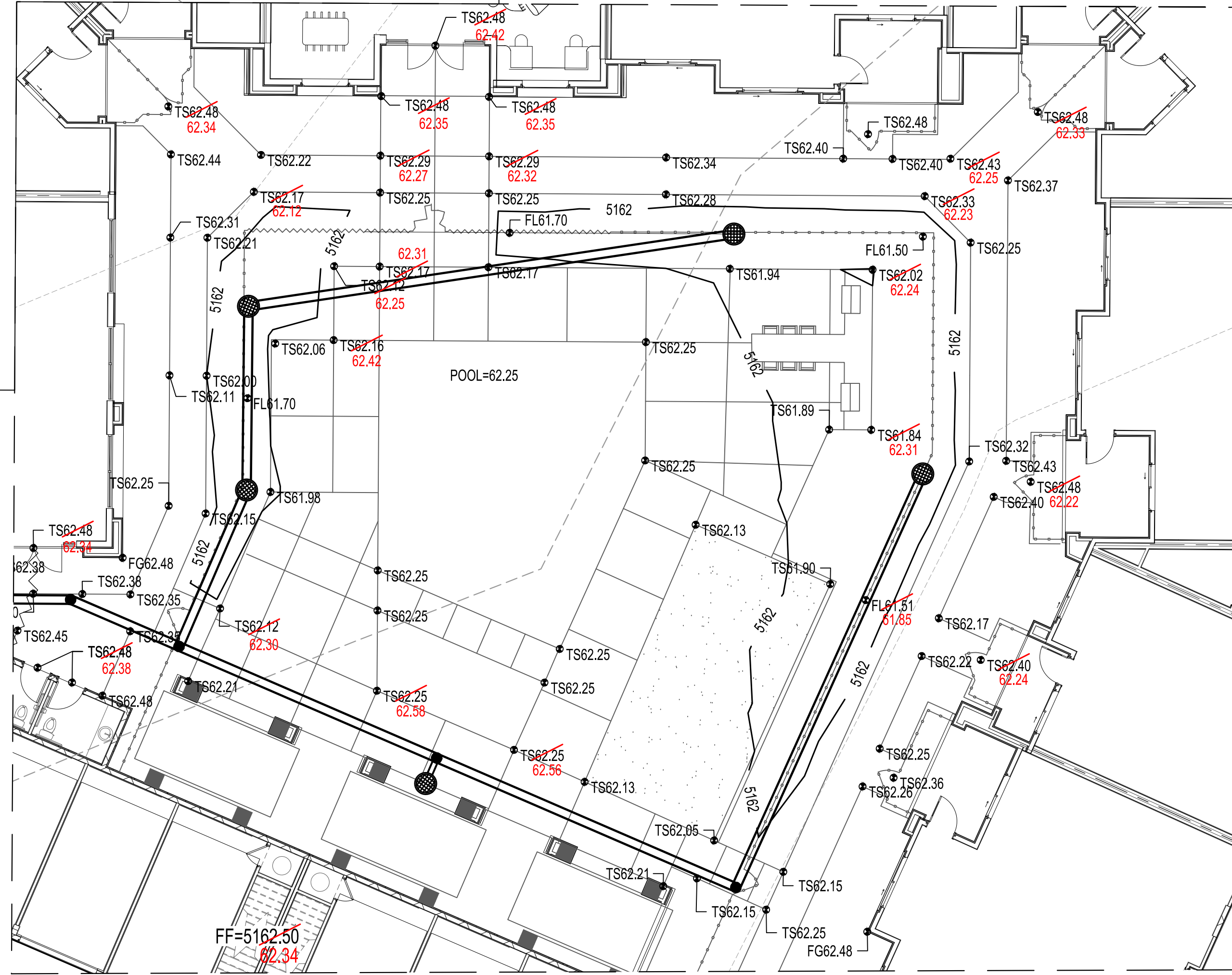
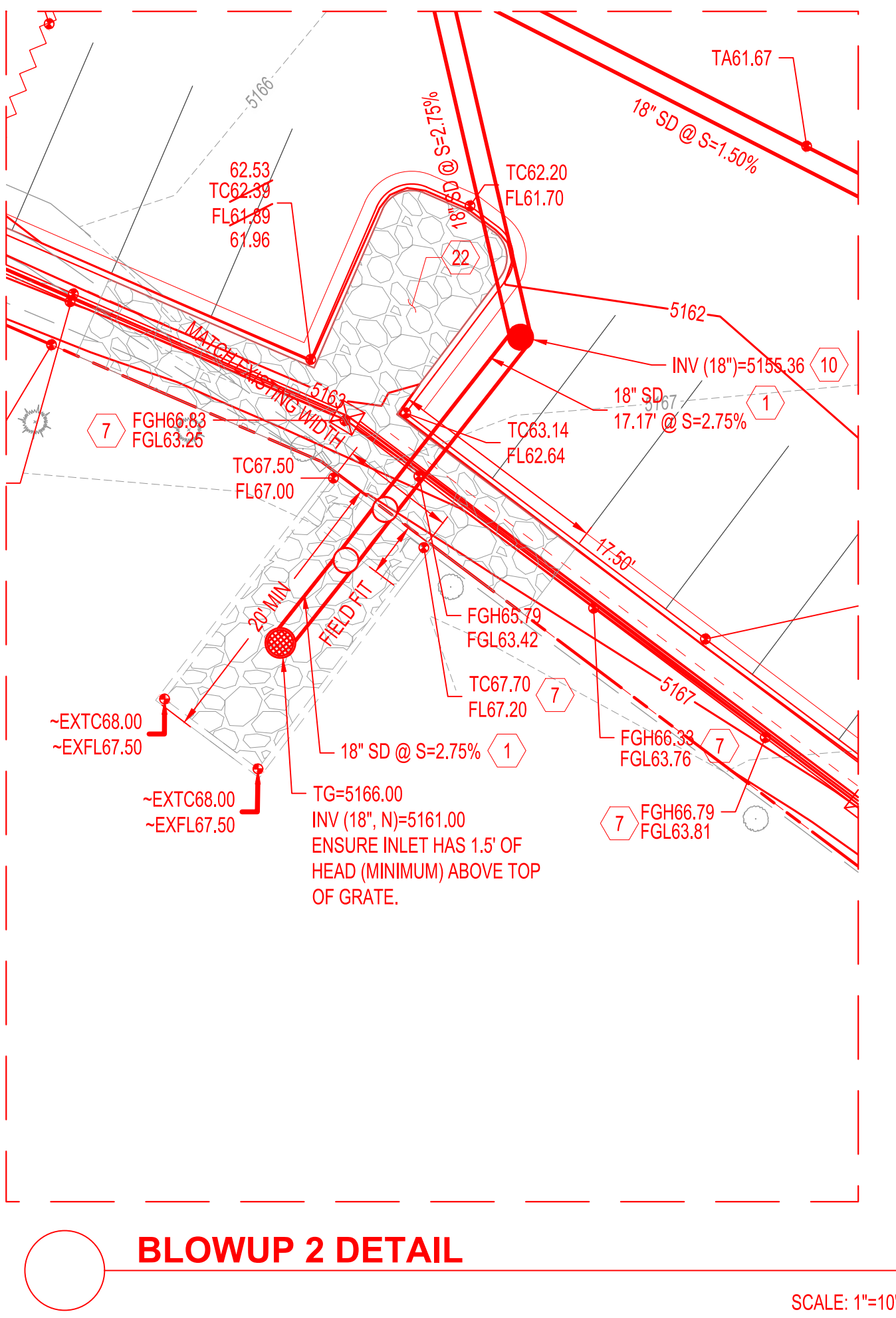
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Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187



- 5/2/2023
- LEGEND**
- FL60.22 DESIGN GRADE
 - FL60.22 AS-BUILT GRADE



GRADING KEYNOTES

1. INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE.
2. INSTALL CONCRETE CURB OPENING PER DETAIL B, SHEET C-102.
3. INSTALL CONCRETE RIBBON CHANNEL PER DETAIL A, SHEET C-102.
4. WATER HARVESTING, LANDSCAPE DEPRESSION. ENSURE 6" MINIMUM DEPRESSION BELOW FLOWLINE.
5. MATCH EXISTING ELEVATION.
6. INSTALL 1 - 24" SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND STEEL PLATE 12" OFFSET FROM BOTH SIDES OF SIDEWALK.
7. INSTALL RETAINING WALL. SEE STRUCTURAL PLAN FOR DETAILS.
8. INSTALL TYPE "D" INLET PER COA STD DWG 2206 (OR APPROVED EQUAL).
9. CONNECT TO EXISTING STORM DRAIN INLET.
10. INSTALL PRE-FABRICATED STORM DRAIN FITTING. SEE PLAN FOR SIZE.
11. REGRADE, INSTALL EARTHEN SWALE.
12. INSTALL 1-12" SIDEWALK CULVERT PER COA STD DWG 2236.
13. INSTALL 12" NYLOPLAST INLET (OR APPROVED EQUAL) WITH PEDESTRIAN RATED GRATE.
14. INSTALL 12" NYLOPLAST INLET (OR APPROVED EQUAL) WITH DOME GRATE.
15. INSTALL STORM DRAIN TO WITHIN 5' OF BUILDING. CONNECT TO ROOF DRAIN OUTLET BELOW GRADE. PROVIDE FITTINGS AS NECESSARY. SEE PLUMBING PLAN FOR CONTINUATION. CONFIRM INVERTS, AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
16. INSTALL STORM DRAIN TO WITHIN 5' OF BUILDING. CONNECT TO PATIO DRAINS BELOW GRADE. SEE PLUMBING PLAN FOR CONTINUATION. CONFIRM INVERTS, AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
17. INSTALL 1" WIDE CONCRETE RIBBON CHANNEL, CENTER ON ROOF DRAIN OUTLET.
18. EXISTING TREE TO REMAIN. PROTECT IN PLACE.
19. INSTALL 24" NYLOPLAST INLET (OR APPROVED EQUAL) WITH DOME RATED GRATE.
20. INSTALL TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2209.
21. INSTALL RCP STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
22. INSTALL RIP RAP PAD PER DETAIL C, SHEET C-102.
23. INSTALL 2 - 24" SIDEWALK CULVERTS PER COA STD DWG 2236.

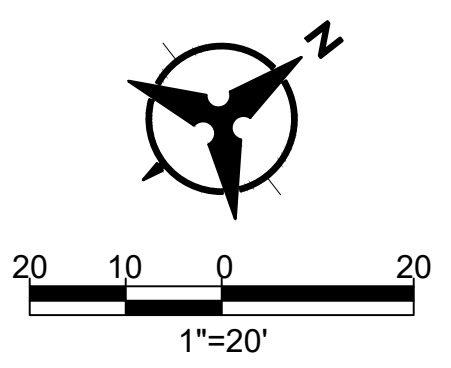
LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 11/19/20
BY: *Ross C. Brissett*
HydroTrans # D17D107

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS, OR FOR OTHER REASONS, SUCH AS SPECIFICATIONS, OR CONSTRUCTION. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.



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DATE: SEPTEMBER, 17, 2020 ORB #: 18-236

C-103
GRADING PLAN