

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 2, 2023

Rich Barber
ORB, LLC
2944 N. 44TH St.
Phoenix, AZ 85018

Re: Allaso Journal Center/ 7800 Headline Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 07-13-2020 (D17-D107)
Certification dated 03-29-23

Dear Mr. Barber,

Based upon the information provided in your submittal received 04-04-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



March 29, 2023

I, Rich Barber, a registered architect in the state of New Mexico, NM # 2295, of the firm ORB Architecture, LLC, hereby certify that this project, Allaso Journal Center, is in substantial compliance with and in accordance with the design intent of the amended DRB, AA or TCL approved plan dated 02/01/2021. I further certify that my architectural field representative has personally visited the project site on 03/29/2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certification of occupancy

Rich Barber
Architect
New Mexico # 2295

3/29/2023
Date

SITE LIGHTING LEGEND

Symbol	Label	Catalog Number	Description	Lamp	Lumens	LLF
	P4	EATON - LUMARK PRV C25 UNV T4 SA R2 7030 BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE 4 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 96W LED 3000K	Absolute 0.88	
	2S3	EATON - LUMARK PRV C15 UNV T3 SA R2 7030 BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 52W LED 3000K	Absolute 0.88	
	S3	EATON - LUMARK PRV C15 UNV T3 SA R2 7030 BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, POLE MOUNT AT +15' T.O.F.	52W LED 3000K	Absolute 0.88	
	S3HS	EATON - LUMARK PRV C15 UNV T3 SA R2 7030 HSS BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, HOUSE SIDE SHIELD, POLE MOUNT AT +15'	52W LED 3000K	Absolute 0.88	
	2S4	EATON - LUMARK PRV C15 UNV T4 SA R2 7030 BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 52W LED 3000K	Absolute 0.88	
	S5	EATON - LUMARK PRV C15 UNV T5 SA R2 7030 BRONZE FINISH	LED AREA LIGHT, FULLY CUTOFF, TYPE V OPTIC, POLE MOUNT AT +15' T.O.F.	52W LED 3000K	Absolute 0.88	
	PT3	LIGHTWAY INDUSTRIES PAPP-18-LED U 37W 2 23 III BRONZE FINISH	LED PEDESTRIAN POST TOP LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, +9' T.O.F.	37W LED 3000K	Absolute 0.90	
	CA	COLUMBIA LIGHTING LXN 4 30 KW RBA E U, WHITE FINISH	4 FT. LINEAR ENCLOSED AND CASKETED LED LIGHT	18W LED 3000K	Absolute 0.95	
	W9	HUBBELL OUTDOOR LIGHTING LNC 9LU 3K 3 1 BRONZE FINISH	WALL LED LIGHT, FULLY CUTOFF, TYPE W, WALL MOUNT AT +9' B.O.F.	22W LED 3000K	Absolute 0.95	
	CY	ACUTY - GOTHAM ARCHITECTURAL LIGHTING EVDWC 30/05 AR MWD LSS MVOLT JBX DN WL 100T1	4" WALL MOUNT LED CYLINDER LIGHT, WALL MOUNT AT +7' B.O.F.	7.2W LED 3000K	Absolute 0.95	

LEGEND

- DENOTES PROPERTY LINE
- DENOTES ACCESSIBLE PARKING
- FIRE HYDRANT
- DENOTES ACCESSIBLE ROUTE
- XX NO. OF PARKING SPACES IN A ROW
- XX NO. OF CARPORT SPACES

DEVELOPMENT DATA

LOT AREA:
NET: 170,004 SF (3,903 ACRES)

ZONING:
CURRENT: MX-M
LAND USE: MULTI-FAMILY RESIDENTIAL
WHERE THE MASTER PLAN OR SITE PLAN
ARE SILENT PROVISIONS OF THE IDO APPLY

CONSTRUCTION TYPE:
MAIN BLDG: VA
CARRIAGE BLDGS: VB

AMENITIES:
POOL, SPA, FITNESS, RECREATION CLUB ROOM,
RAMADAS, CABANAS, BBQ

SETBACKS:
REQUIRED:
JEFFERSON AND HEADLINE BLDG. AT 40' FROM FACE OF CURB
PARKING AT 30' FROM FACE OF CURB
BLDG. 10'-0" FROM PROPERTY LINE
BLDG. 10'-0" FROM PROPERTY LINE
PROVIDED:
FRONT (WEST) (HEADLINE): 30'-0" 87'-11"
SIDE (SOUTH) (JEFFERSON): 30'-0" 79'-3"
SIDE (NORTH): N/A 0'-0"
REAR (EAST): N/A 55'-8"

BLDG HEIGHT:
ALLOWED:
STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL
LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26
HIGH SHALL FALL WITHIN 45-DEGREE ANGLE PLANES DRAWN FROM
THE HORIZONTAL AT THE MAIN GRADE ALONG EACH INTERNAL
BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-
OF-WAY CENTERLINE. TO PROTECT SOLAR, A STRUCTURE OVER 26'
HIGH MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45-
DEGREE PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION
WITHIN PLANES DRAWN AT A 60-DEGREE ANGLE FROM THE SAME
BOUNDARIES OR CENTERLINE.

GLAZING:
• A MINIMUM 20% OF FACADE AREA WILL BE
PROVIDED WITH WINDOWS AT GROUND FLOOR.
• A MINIMUM 20% OF FACADE AREA WILL BE
PROVIDED WITH GLAZING AT UPPER FLOORS.

BUILDING AREAS:
MAIN BUILDING
Level L1 42,645 SF
Level L2 39,825 SF
Level L3 42,376 SF
Level L4 42,428 SF
TOTAL 167,276 SF
CARRIAGE BUILDINGS
Level L1 4,881 SF
Level L2 4,106 SF
TOTAL 8,987 SF

OPEN SPACE:
REQUIRED:
10% OF SITE AREA DESIGNATED AS
COMMON OPEN SPACE
170,004 x 0.10 = 17,000 SF REQUIRED
PROVIDED:
PRIVATE BALCONIES 11,105 S.F.
ON SITE 38,361 S.F.
TOTAL PROVIDED 49,466 S.F.

PARKING:
REQUIRED:
1.5 SPACES PER UNIT 158 x 1.5 = 237 P.S.
PROVIDED:
1.36 SPACES PER UNIT - 158x1.36 = 214 P.S.
GARAGE 15
SECURE CARPORT 142
SECURE OPEN 7
UNSECURE OPEN 7
TOTAL PROVIDED 214
* ALLOWANCE PER PARKING NEEDS STUDY

F.A.R.:
ALLOWED: 2.00
PROVIDED: 1.03

UNIT MIX:
Studio 9
1 Bedroom 93
2 Bedroom 56
TOTAL UNITS 158

DENSITY:
ALLOWED: 75 DU / ACRE
PROPOSED: 40.48 DU / ACRE

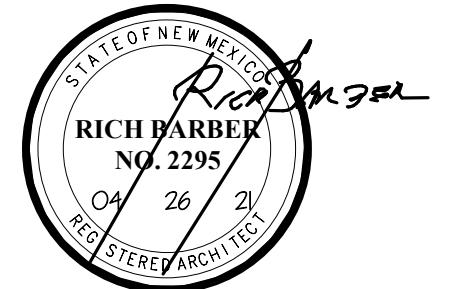
ACCESSIBILITY STANDARDS:
• 2% OF UNITS TO BE ANSI TYPE 'A'
ACCESSIBILITY STANDARDS.

ACCESSIBILITY STANDARDS:
REQUIRED: 214 x 0.02 = 4 PS
PROVIDED: 6 PS (2 VAN ACCESSIBLE)

BICYCLE PARKING: (10% OF PARKING REQUIRED)
REQUIRED: 237 x 0.10 = 24 PS
PROVIDED: GARAGE 15 PS
ON SITE RACKS 10 PS
TOTAL PROVIDED 25 PS

ALLASO
JOURNAL CENTER
7800 HEADLINE BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO 87109

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



KEYNOTES

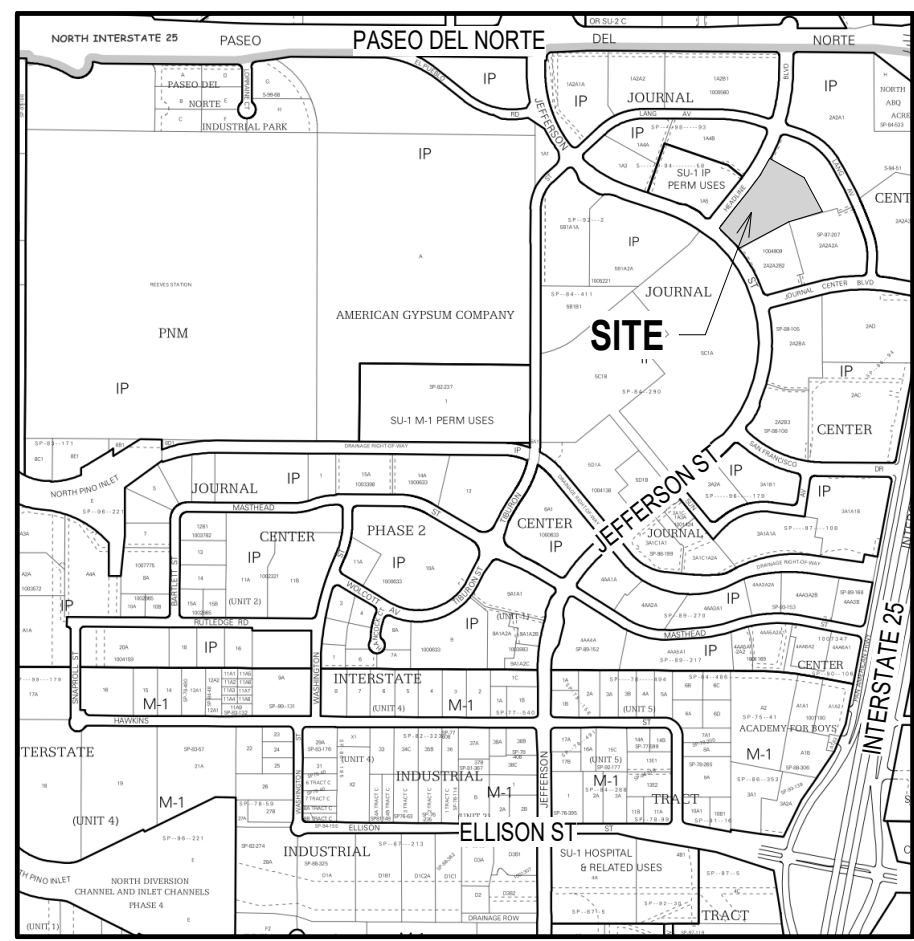
- 1001 8.5x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 11A1.41.
- 1002 11x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG. SEE DETAIL 9A1.41.
- 1003 ACCESSIBLE GARAGE SPACE.
- 1004 ACCESSIBLE CURB RAMP. SEE DETAIL 4A1.41.
- 1005 6' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH PAINTED STRIPING.
- 1006 INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 6A1.41.
- 1007 TRASH YARD WITH 6' TALL CMU WALL WITH STUCCO FINISH PAINTED TO MATCH BUILDING. 2 TRASH BINS AND 1 RECYCLE BIN. SEE DETAIL 31A1.42.
- 1008 VEHICULAR SLIDING GATE. SEE DETAIL 16A1.41.
- 1009 CALL BOX.
- 1010 EMERGENCY ONLY ACCESS SLIDING GATE. PROVIDE KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS. SIGN READING "EMERGENCY VEHICLES ONLY" TO BE PROVIDED ON EACH SIDE OF THE GATE.
- 1011 PEDESTRIAN GATE. SEE DETAIL 23A1.41.
- 1012 WROUGHT IRON PERIMETER VIEW FENCE. SEE DETAIL 11A1.41.
- 1013 WROUGHT IRON FENCE OVER CMU RETAINING WALL WITH STUCCO FINISH. REFER TO CIVIL DRAWINGS FOR RETAINING CONDITIONS. SEE DETAIL 14A1.41.
- 1015 6' SIDEWALK, TYPICAL AT PARKING. SEE DETAIL 7A1.41.
- 1016 9' SIDEWALK, TYPICAL NEXT TO DRIVEWAYS.
- 1017 4' SIDEWALK, TYPICAL AT INTERIOR SITE.
- 1018 EXISTING STREET SIDEWALK DETACHED FROM CURB TO REMAIN.
- 1019 NEW CURB CUT DRIVEWAY.
- 1021 WROUGHT IRON POOL FENCE. SEE DETAIL 11A1.41.
- 1022 SAFETY GLASS POOL FENCE SEE LANDSCAPE PLANS FOR LOCATION. SEE DETAIL 42A1.42.
- 1026 POOL CABANA.
- 1027 30x35' SIGHT VISIBILITY LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 1029 NEW FIRE HYDRANT.
- 1030 MOUNTABLE CURB FOR EMERGENCY ACCESS.
- 1032 JOURNAL CENTER MONUMENT SIGN. SEE DETAIL 18A1.41.
- 1033 PROJECT MONUMENT SIGN. SEE DETAIL 21A1.41.
- 1034 BICYCLE PARKING RACKS. SEE DETAIL 36A1.42.
- 1035 EXISTING FRONTAGE TREES TO REMAIN.
- 1036 REMOVE TREES AT NEW DRIVEWAY OR NEW PARKING ONLY.
- 1037 LANDSCAPE TO BE USED FOR PARKING SCREENING. REFER TO LANDSCAPE PLANS.
- 1039 24"x24" CMU PILASTER AT WROUGHT IRON FENCE. PILASTER TO BE SPACED 50' MAX. ON CENTER. SEE DETAIL 13A1.41.
- 1040 9' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH PAINTED STRIPING.
- 1041 6' CLEAR SIDE WALK CONNECTING ACCESSIBLE PARKING, PUBLIC WAY, AND MAIN BUILDING ENTRANCE.
- 1042 TEMPORARY SIGN TO BE LOCATED AT EMERGENCY DRIVE UNTIL PROJECT TO THE NORTH IS DEVELOPED. SIGN TO READ "EMERGENCY VEHICLES ONLY" WITH RED TEXT ON WHITE SIGN.
- 1043 TRANSFORMER LOCATION. REFER TO ELECTRICAL DRAWINGS.

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
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REVISIONS/SUBMITTALS		
DATE	DESCRIPTION	
2 11/24/2020	1ST CITY COMMENTS	
4 02/09/2021	PNM REVIEW	
5 04/26/2021	ASI-0001	

ASI-0001 (DELTA 5)
DATE: APRIL 26, 2021 ORB #: 18-236

A1.10
SITE PLAN



VICINITY MAP
NOT TO SCALE

1 SITE PLAN

SCALE: 1" = 30'-0"

SITE LIGHTING LEGEND

Symbol	Label	Catalog Number	Description	Lamp	Lumens	LLF
	P4	EATON - LUMARK PRV C25 UNV T4 SA BZ 7030 BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE 4 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 96W LED 3000K	Absolute	0.88
	253	EATON - LUMARK PRV C15 UNV T3 SA BZ 7030 BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 52W LED 3000K	Absolute	0.88
	S3	EATON - LUMARK PRV C15 UNV T3 SA BZ 7030 BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, POLE MOUNT AT +15' T.O.F.	52W LED 3000K	Absolute	0.88
	S3HS	EATON - LUMARK PRV C15 UNV T3 SA BZ 7030 HSS BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, HOUSE SIDE SHIELD, POLE MOUNT AT +15'	52W LED 3000K	Absolute	0.88
	254	EATON - LUMARK PRV C15 UNV T4 SA BZ 7030 BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, TWIN-HEAD AT 180° - POLE MOUNT AT +15' T.O.F.	(2) 52W LED 3000K	Absolute	0.88
	55	EATON - LUMARK PRV C15 UNV T5 SA BZ 7030 BRONZE FINISH.	LED AREA LIGHT, FULLY CUTOFF, TYPE V OPTIC, POLE MOUNT AT +15' T.O.F.	52W LED 3000K	Absolute	0.88
	PT3	LIGHTWAY INDUSTRIES PAPP-18-LED U 37W 2 Z3 HL BRONZE FINISH.	LED PEDESTRIAN POST TOP LIGHT, FULLY CUTOFF, TYPE 3 OPTIC, +9' T.O.F.	37W LED 3000K	Absolute	0.90
	CA	COLUMBIA LIGHTING LKEN 4 30 XW RBA E U, WHITE FINISH.	4 FT. LINEAR ENCLOSED AND GASKETED LED LIGHT.	18W LED 3000K	Absolute	0.95
	W9	HUBBELL OUTDOOR LNC 9LU 3K 3 1, BRONZE FINISH.	WALL LED LIGHT, FULLY CUTOFF, TYPE III, WALL MOUNT AT +9' B.O.F.	22W LED 3000K	Absolute	0.95
	CY	ACUITY - GOTHAM ARCHITECTURAL LIGHTING EVOWG 30/05 AR MWD LSS MWOLT JBK DN WL DOBT.	4" WALL MOUNT LED CYLINDER LIGHT, WALL MOUNT AT +7' B.O.F.	7.2W LED 3000K	Absolute	0.95

LEGEND

	DENOTES PROPERTY LINE
	DENOTES ACCESSIBLE PARKING
	FIRE HYDRANT
	DENOTES ACCESSIBLE ROUTE
	NO. OF PARKING SPACES IN A ROW
	NO. OF CARPORT SPACES

DEVELOPMENT DATA

LOT AREA: NET: 110,004 SF [3.903 acres]	SETBACKS: REQUIRED JEFFERSON AND HEADLINE BLDG. AT 40' FROM FACE OF CURB PARKING AT 30' FROM FACE OF CURB BLDG. 0'-0" FROM PROPERTY LINE BLDG. 10'-0" FROM PROPERTY LINE PROVIDED FRONT (WEST) (HEADLINE): SIDE (SOUTH) (JEFFERSON): SIDE (NORTH): REAR (EAST):
ZONING: CURRENT: MIX-M LAND USE: MULTI-FAMILY RESIDENTIAL WHERE THE MASTER PLAN OR SITE PLAN ARE SILENT PROVISIONS OF THE IDO APPLY	PARKING BUILDING 30'-0" 87'-11" 30'-0" 79'-3" N/A 0'-0" N/A 55'-8"
CONSTRUCTION TYPE: MAIN BLDG: VA CARRIAGE BLDGS: VB	BLDG HEIGHT: ALLOWED: STRUCTURE HEIGHT UP TO 28 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 28 HIGH SHALL FALL WITHIN 45 DEGREE ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MAIN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT- OF-WAY CENTERLINE. TO PROTECT SOLAR, A STRUCTURE OVER 28 HIGH MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45- DEGREE PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 90-DEGREE ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE. PROPOSED: 51' MAX
AMENITIES: POOL, SPA, FITNESS, RECREATION CLUB ROOM, RAMADAS, CABANAS, BBQ	GLAZING: • A MINIMUM 20% OF FACADE AREA WILL BE PROVIDED WITH WINDOWS AT GROUND FLOOR. • A MINIMUM 20% OF FACADE AREA WILL BE PROVIDED WITH GLAZING AT UPPER FLOORS.

BUILDING AREAS:

MAIN BUILDING	
Level L1	42,291 SF
Level L2	39,438 SF
Level L3	42,579 SF
Level L4	42,579 SF
TOTAL	166,888 SF

CARRIAGE BUILDINGS	
Level L1	4,074 SF
Level L2	4,074 SF
TOTAL	8,148 SF

F.A.R.:

ALLOWED:	2.00
PROPOSED:	1.03

UNIT MIX:

Studio	8
1 Bedroom	94
2 Bedroom	56
TOTAL UNITS	158

- ALL UNITS SHALL BE OF AT LEAST ANSI
TYPE B ACCESSIBILITY STANDARDS.
- 2% OF UNITS TO BE ANSI TYPE A
ACCESSIBILITY STANDARDS.

DENSITY:

ALLOWED:	75 D.U. / ACRE
PROPOSED:	40.48 D.U. / ACRE

OPEN SPACE:

REQUIRED: 10% OF SITE AREA DESIGNATED AS COMMON OPEN SPACE 170,004 x 0.10 = 17,000 SF REQUIRED	PROVIDED: PRIVATE BALCONIES 11,105 S.F. ON SITE 38,351 S.F. TOTAL PROVIDED 49,456 S.F.
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PARKING:

REQUIRED: 1.5 SPACES PER UNIT 158 x 1.5 = 247 P.S.	PROVIDED: 1.36 SPACES PER UNIT - 158 x 1.36 = 214 P.S.*
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GARAGE	15
SECURE CARPORT	142
SECURE OPEN	50
UNSECURED OPEN	7
TOTAL PROVIDED	214*

* ALLOWANCE PER PARKING NEEDS STUDY

ACCESSIBLE PARKING (2% OF PARKING PROVIDED)	
REQUIRED	214 x 0.02 = 5 PS
PROVIDED:	6 PS (2 VAN ACCESSIBLE)

BICYCLE PARKING (10% OF PARKING REQUIRED)	
REQUIRED	237 x 0.10 = 24 PS
PROVIDED:	15 PS
GARAGE	15 PS
ON SITE RACKS	10 PS
TOTAL PROVIDED	25 PS

KEYNOTES

- 8.5x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 11A1.41.
- 11x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG. SEE DETAIL 6A1.41.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE CURB RAMP. SEE DETAIL 4A1.41.
- 8' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH PAINTED STRIPING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 6A1.41.
- TRASH YARD WITH 6' TALL CMU WALL WITH STUCCO FINISH PAINTED TO MATCH BUILDING. 2 TRASH BINS AND 1 RECYCLE BIN. SEE DETAIL 31A1.42.
- VEHICULAR SLIDING GATE. SEE DETAIL 18A1.41.
- CALL BOX.
- EMERGENCY ONLY ACCESS SLIDING GATE. PROVIDE KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS. SIGN READING "EMERGENCY VEHICLES ONLY" TO BE PROVIDED ON EACH SIDE OF THE GATE.
- PEDESTRIAN GATE. SEE DETAIL 23A1.43.
- WROUGHT IRON PERIMETER VIEW FENCE. SEE DETAIL 11A1.41.
- WROUGHT IRON FENCE OVER CMU RETAINING WALL WITH STUCCO FINISH. REFER TO CIVIL DRAINGS FOR RETAINING CONDITIONS. SEE DETAIL 14A1.41.
- 8' SIDEWALK, TYPICAL AT PARKING. SEE DETAIL 7A1.41.
- 5' SIDEWALK, TYPICAL NEXT TO DRIVEWAYS.
- 4' SIDEWALK, TYPICAL AT INTERIOR SITE.
- EXISTING STREET SIDEWALK DETACHED FROM CURB TO REMAIN.
- NEW CURB OUT DRIVEWAY.
- POOL EQUIPMENT LOCATION.
- WROUGHT IRON POOL FENCE. SEE DETAIL 11A1.41.
- GLASS POOL FENCE. SEE DETAIL 44A1.43.
- POOL ENTRY GATE. SEE DETAIL 41A1.43.
- POOL CABANA.
- 35'x35' SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW FIRE HYDRANT.
- MOUNTABLE CURB FOR EMERGENCY ACCESS.
- JOURNAL CENTER MONUMENT SIGN. SEE DETAIL 18A1.43.
- PROJECT MONUMENT SIGN. SEE DETAIL 21A1.43.
- BICYCLE PARKING RACKS. SEE DETAIL 36A1.42.
- EXISTING FRONTAGE TREES TO REMAIN.
- REMOVE TREES AT NEW DRIVEWAY OR NEW PARKING ONLY.
- LANDSCAPE TO BE USED FOR PARKING SCREENING. REFER TO LANDSCAPE PLANS.
- POOL GLASS ENTRY GATE. SEE DETAIL 42A1.43.
- 24"x24" CMU PILASTER AT WROUGHT IRON FENCE. PILASTER TO BE SPACED 50' MAX. ON CENTER. SEE DETAIL 13A1.41.
- 5' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH PAINTED STRIPING.
- 8' CLEAR SIDE WALK CONNECTING ACCESSIBLE PARKING, PUBLIC WAY, AND MAIN BUILDING ENTRANCE.
- TEMPORARY SIGN TO BE LOCATED AT EMERGENCY DRIVE UNTIL PROJECT TO THE NORTH IS DEVELOPED. SIGN TO READ "EMERGENCY VEHICLES ONLY" WITH RED TEXT ON WHITE SIGN.

PROJECT NUMBER: PR-2020-003562
Application Number: SI-2020-00097

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<u>Jeanne Wolfenbarger</u> Jeanne Wolfenbarger (Jul 13, 2020 10:26 MDT)	Jul 13, 2020
Traffic Engineering, Transportation Division	Date
<u>Christy Garcia</u> Christy Garcia (Jul 13, 2020 10:40 MDT)	Jul 13, 2020
ABCWUA	Date
<u>Christy Garcia</u> Christy Garcia (Jul 17, 2020 10:17 MDT)	Jul 17, 2020
Parks and Recreation Department	Date
<u>Christy Garcia</u> Christy Garcia (Jul 10, 2020 10:17 MDT)	Jul 10, 2020
City Engineer	Date
<u>Herman Gallegos</u> Herman Gallegos (Aug 3, 2020 09:43 MDT)	Aug 3, 2020
Solid Waste Management	Date
<u>Carl Garcia</u> Carl Garcia (Jul 10, 2020 15:25 MDT)	Jul 10, 2020
Code Enforcement	Date
<u>Christy Garcia</u> Christy Garcia (Jul 31, 2020 10:17 MDT)	Jul 31, 2020
DRB Chairperson, Planning Department	Date

TITAN JOURNAL CENTER NEC JEFFERSON ST NE AND HEADLINE BLVD NE ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
Architecture, Inc.

WorldHQ@ORBArch.com

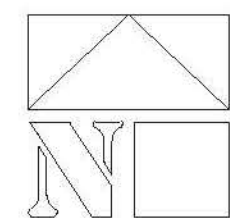


VICINITY MAP

NOT TO SCALE

SITE PLAN - DRB

0' 15' 30' 60'
SCALE: 1" = 30'-0"



DRB SUBMITTAL

DATE: MAY 18, 2020 ORB #: 18-236

A1.10

SITE PLAN - DRB