

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 27, 2022

Treveston Elliott, RA
Treveston Elliott Architect
811 12th St. NW
Albuquerque, NM 87102

Re: ASI
4500 Paseo Del Norte NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 7-14-21 (D17-D110)
Certification dated 01-26-22

Dear Mr. Elliott,

Based upon the information provided in your submittal received 01-20-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Due to Bicycle parking requirement, you need to provide one more bicycle Rack.
- Provide "MC" pavement marking for each Motorcycle parking space.
- Remove construction equipment, porta potties and debris from site.

Once these corrections are complete, email pictures & redlined TCL plan showing the changes to PLNDRS@cabq.gov, and malnajjar@cabq.gov for release of Final CO. If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: ASI Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: _____

Applicant: Treveston Elliott Architect Contact: Treveston Elliott
Address: 811 12th st NW
Phone#: 505.259.4617 Fax#: _____ E-mail: treveston@tearchitect.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: January 26, 2022 By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TREVESTON ELLIOTT ARCHITECT

811 12TH STREET NW
ALBUQUERQUE NM
87102

o 505.259.4617

www TEarchitect.com

TRAFFIC CERTIFICATION

I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 4500 PASEO DEL NORTE, ALBUQUERQUE NM 87107 IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JULY 14 2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED EN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

WITH NO EXCEPTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USENG IT FOR ANY OTHER PURPOSE.



Treveston Elliott RA

January 26, 2021

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 14, 2021

Treveston Elliott, RA
811 12th St NW
Albuquerque, NM 87102

Re: **ASI**
4500 Paseo Del Norte NE
Traffic Circulation Layout
Architect's Stamp 07-14-2021 (D17-D110)

Dear Mr. Elliott,

The TCL submittal received 07-14-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

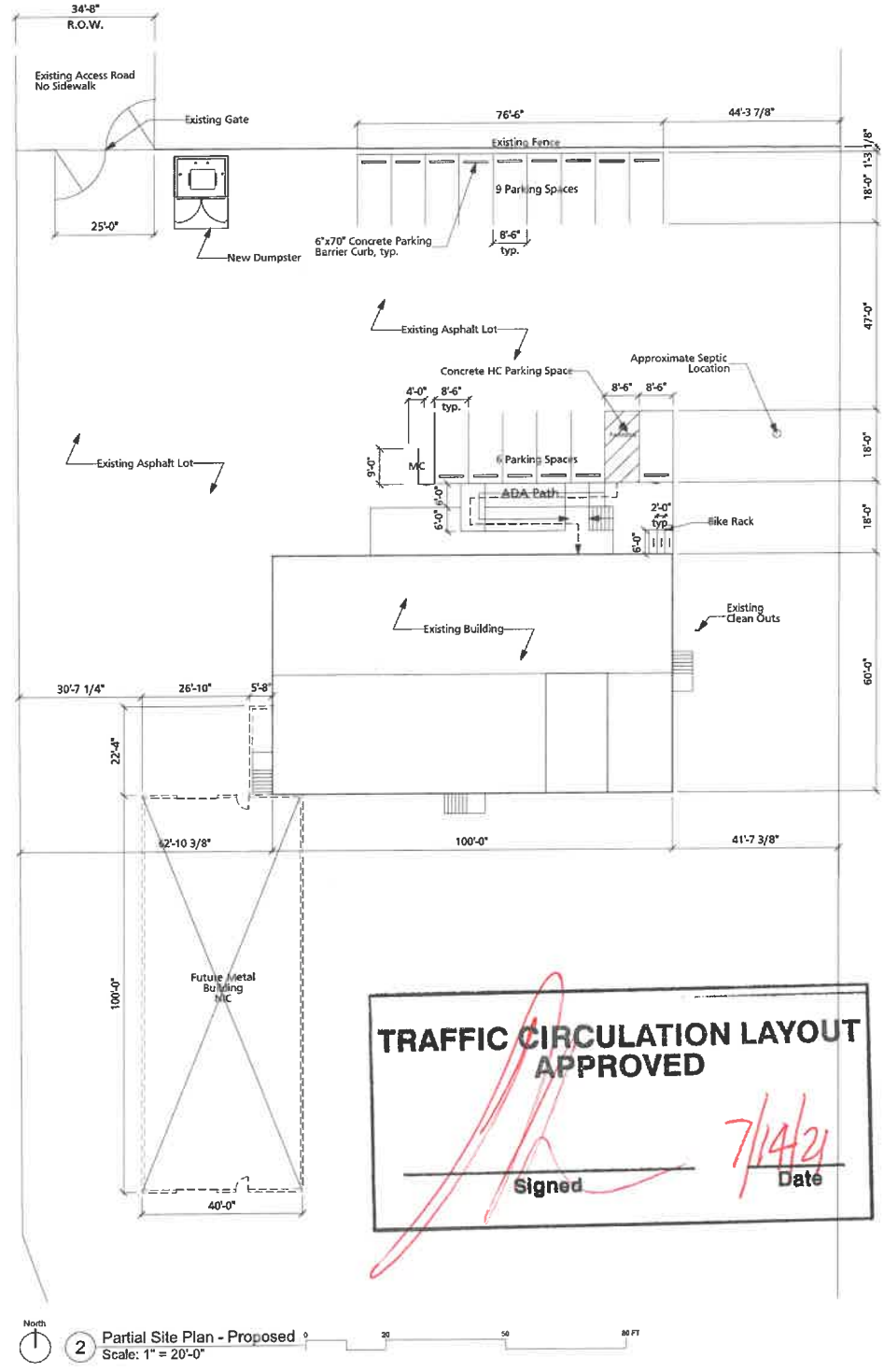
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

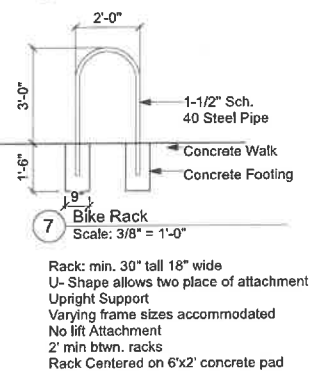
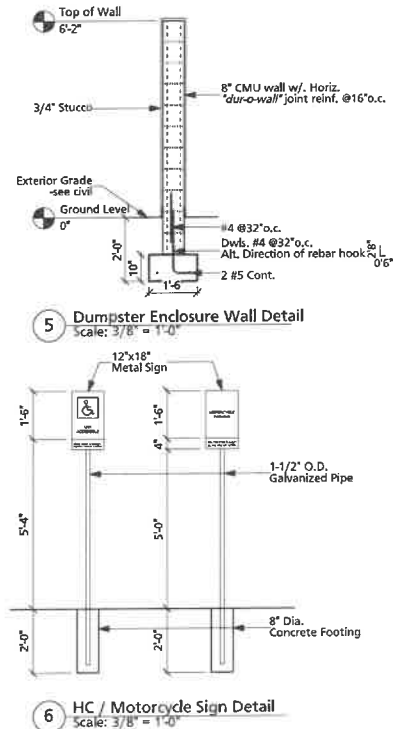
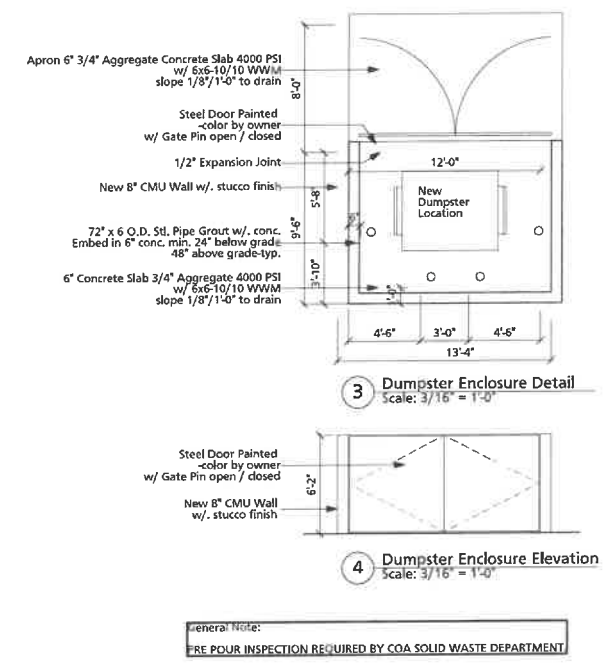
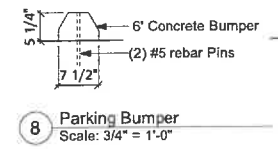
C: CO Clerk, File



Note: No new driveway, curb, or sidewalk.

TRAFFIC CIRCULATION LAYOUT APPROVED

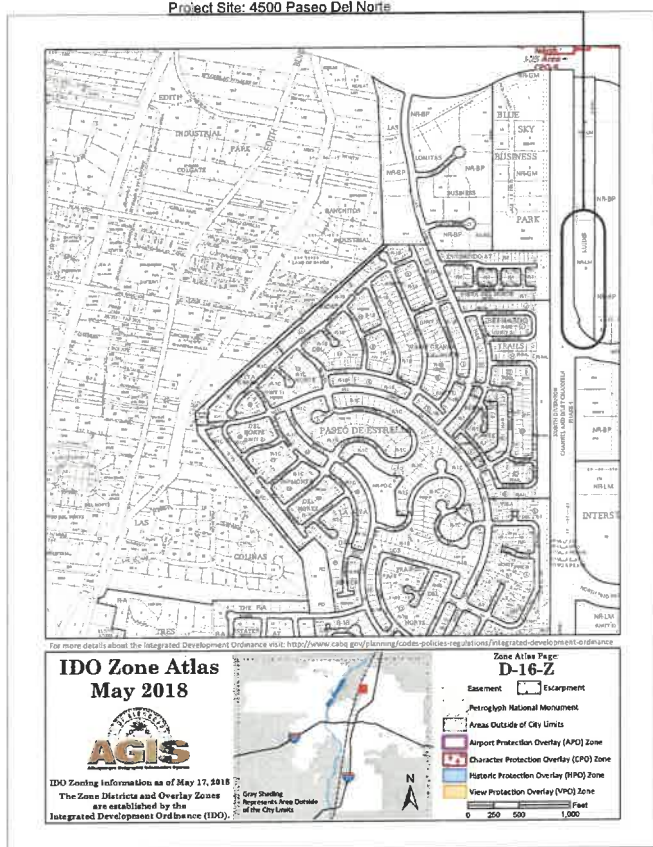
Signed _____ Date 7/14/21



CODE DATA
2015 International Building Code
2015 Uniform Plumbing Code
2018 Uniform Mechanical Code
2017 National Electrical Code
2018 International Energy Conservation Code
2015 International FIRE Code

City of Albuquerque	Location:	4500 Paseo Del Norte
		Albuquerque, New Mexico 87107
Zoning:	NR-LM	
Zoning Atlas Page:	D-16	
Setbacks:	5' Front	
Height:	65' Max	
Bld. Area:	= 6,022 sq.ft	
Parking:	3.5/1,000 GSF Office	@4,432 = 15.4
	NA Warehouse	@1,590 = 0
Total Spaces required		= 15 (1 HC)
		= 1 Motorcycle
		= 3 Bicycles
Occupancy:	B / S-1	
	Office @ 3,807 sq.ft. / 100 gsf	= 38
	Meeting Room @ 625 sq.ft. / 15 nsf	= 41.6
	Warehouse @ 1,590 sq.ft. / 500 gsf	= 3.1
Total		= 83
Construction Type:	Type IIIb	
Separation:	NA	
Seismic:	C	
Sprinkler:	Non-Sprinkled	
PLUMBING REQUIREMENTS		
Total	B = 83	
	WC 1/25 First 25 1/50 Remainder	3 required 3 provided
	LAV 1/40 First 40 1/80 Remainder	2 required 3 provided
	DF 1/100	1 required 1 provided
	SS 1	1 required 1 provided

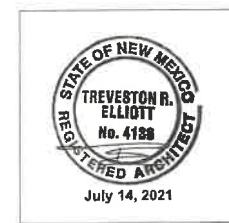
Remodel existing building- new interior offices, breakroom, and warehouse.



TREVESTON ELLIOTT
ARCHITECT

811 12TH ST. NW
ALBUQUERQUE, NEW MEXICO
87102
C 505.259.4817
treveston@earthlink.com
www.earthlink.com

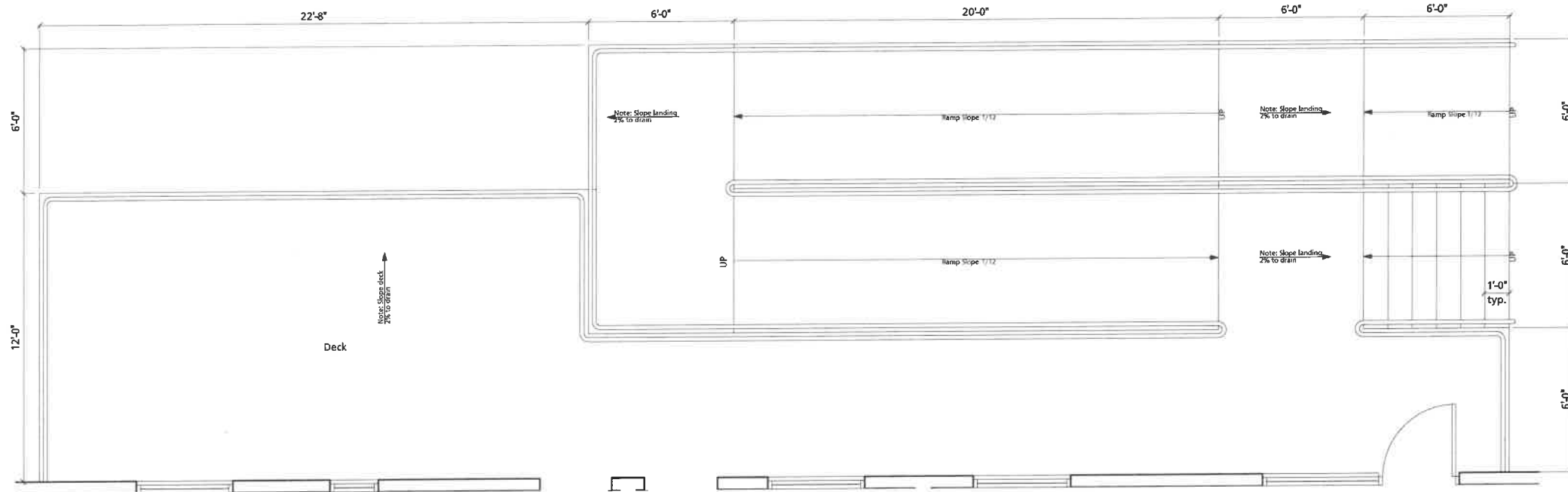
AMERICAN SERVICES INDUSTRIES
4500 Paseo Del Norte NE
ALBUQUERQUE, NEW MEXICO 87107



Date: July 14, 2021
Sheet: Traffic Control Layout

D17-D110

TCL

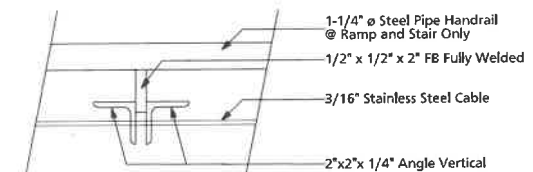
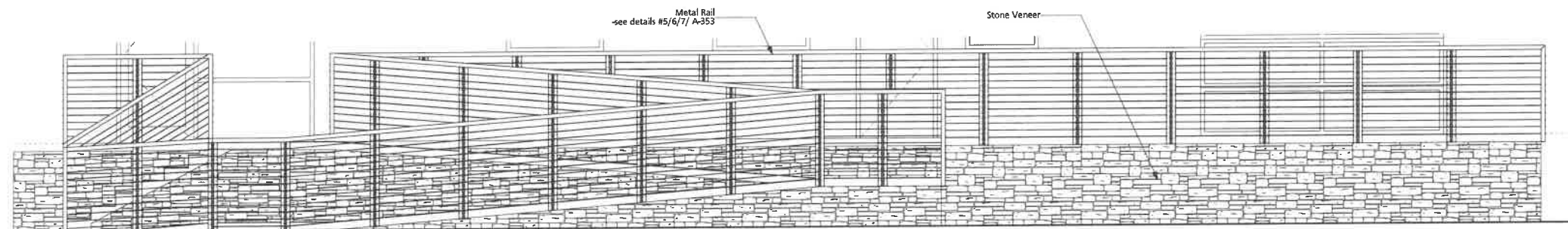


**TRAFFIC CIRCULATION LAYOUT
APPROVED**

[Signature] **Signed** *7/14/21* **Date**

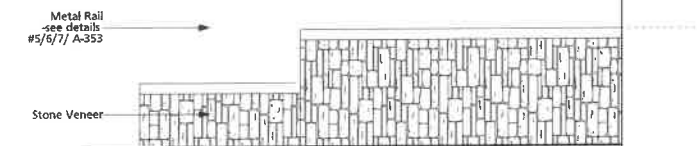
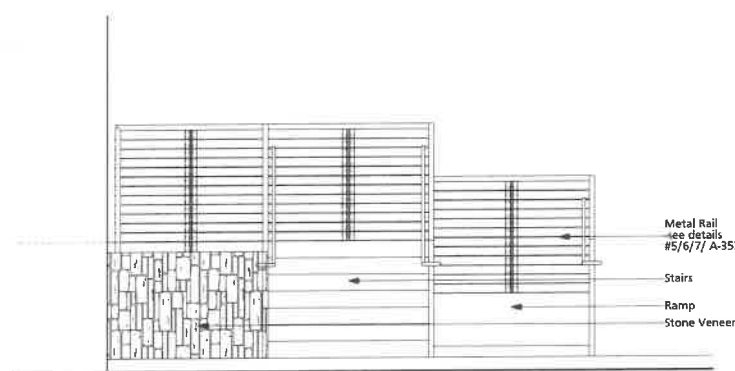
**TREVESTON ELLIOTT
ARCHITECT**
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1 Enlarged Ramp / Stair Plan
Scale: 3/8" = 1'-0"

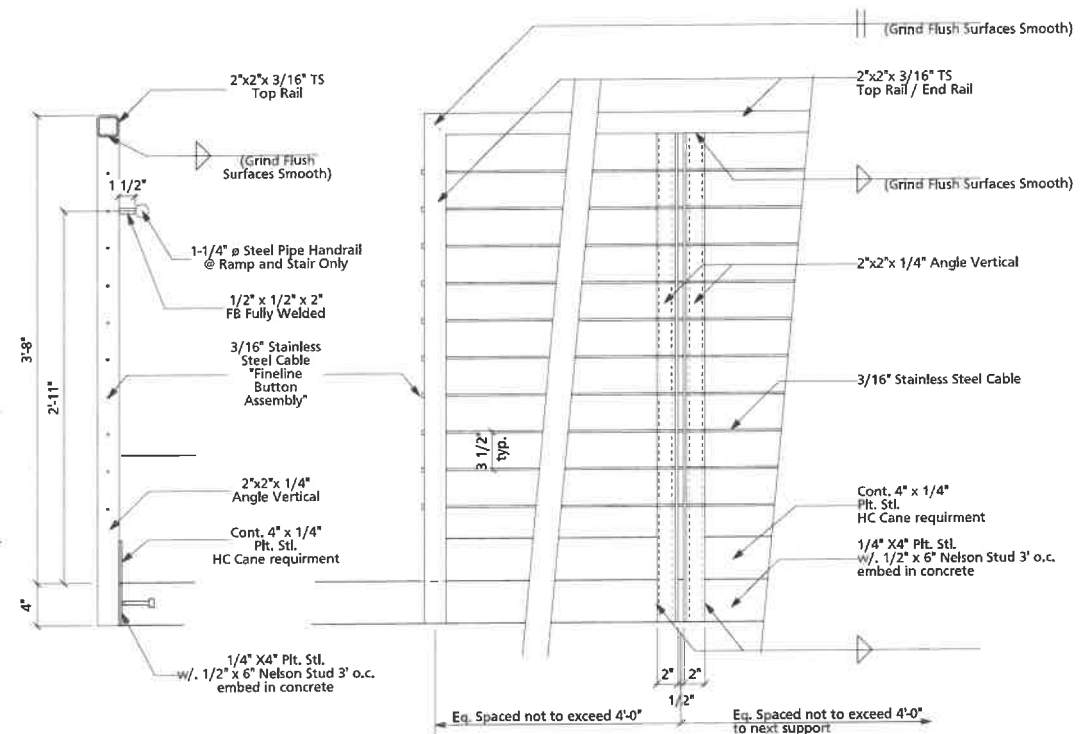


7 Rail Detail - Plan
Scale: 3" = 1'-0"

2 Ramp / Stair Elevation
Scale: 3/8" = 1'-0"



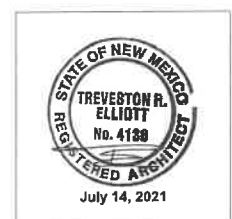
4 Ramp / Stair Elevation
Scale: 3/8" = 1'-0"



5 Rail Detail Section
Scale: 1 1/2" = 1'-0"

6 Rail Detail Elevation
Scale: 1 1/2" = 1'-0"

AMERICAN SERVICES INDUSTRIES
4500 Paseo Del Norte NE
ALBUQUERQUE, NEW MEXICO 87107



Date: July 14, 2021

Sheet: Enlarged Ramp / Stair Details

A-353

D17-D1D