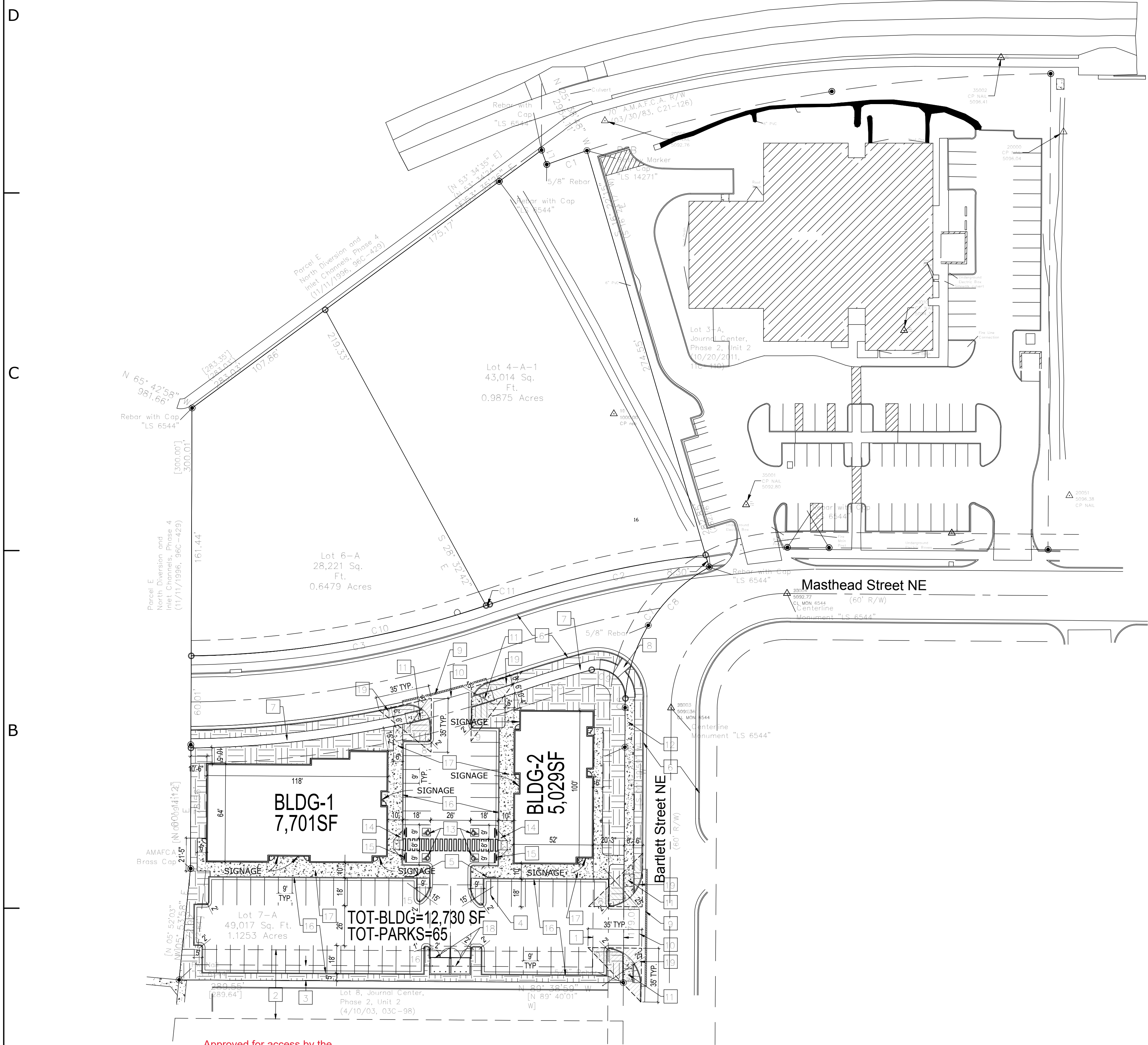




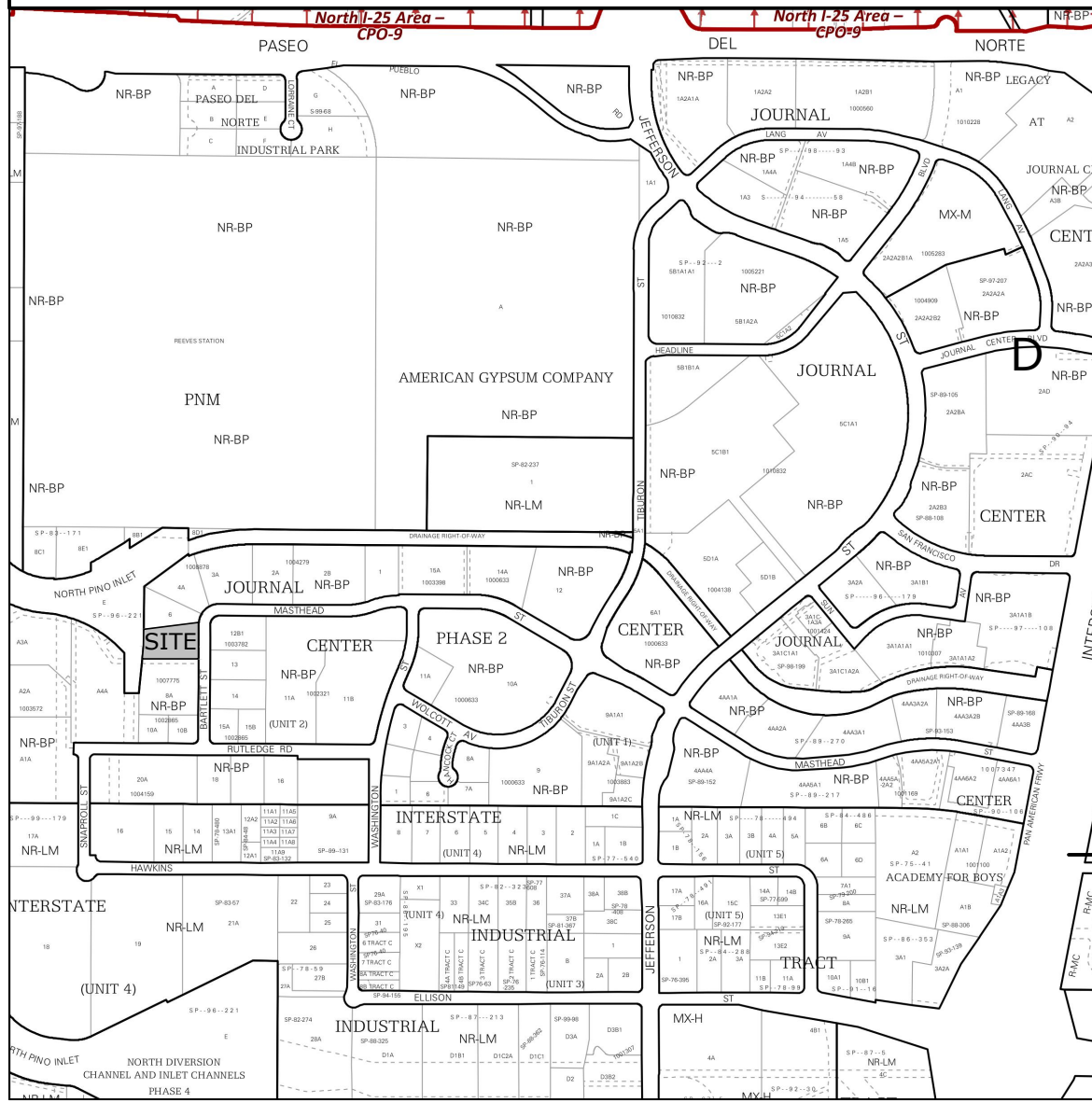
Approved for access by the
Solid Waste Department for a double trash enclosure
Herman Gallegos 11-02-22 *Herman Gallegos*

1 SITE PLAN
1" = 40'-0"
0' 10' 20' 40' 80'

SITE DATA

PROPERTY ADDRESS: 7441 BARTLETT ST. NE
LEGAL DESCRIPTION: LOT 7-A JOURNAL CENTER, PHASE 2, UNIT 2
PROPERTY SIZE: 1.13 ACRES
CURRENT ZONING: NR-BP
PROPOSED USE: OFFICE PARK
TOTAL BUILDING SIZE: 12,730 SQUARE FEET
UPC NUMBER: 101706308022630421

VICINITY MAP: D-17-Z



KEYNOTE LEGEND

- 20'-0" SETBACK
- EXISTING 45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT
- 10'-0" SETBACK
- MOTORCYCLE PARKING (2 SPACES), SEE SIGN DETAIL 12/AS502
- BICYCLE PARKING (6 SPACES), SEE DETAIL 13/AS502
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- SAWCUT & REMOVE ASPHALT PAVING, 12" WIDE BY LENGTH OF DRIVEWAY
- INSTALL NEW PRIVATE ENTRANCE PER COA STD DETAILS 2426 & 2420
- INSTALL NEW ACCESSIBLE CURB RAMP PER COA STD DETAIL 2440 & 2441
- INSTALL NEW PUBLIC CONCRETE SIDEWALK PER COA STD DETAIL 2430
- INSTALL NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 2/AS502
- INSTALL NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 15/AS501
- INSTALL ACCESSIBLE PARKING SIGN, SEE DETAIL 11/AS502
- INSTALL CONCRETE CURB & GUTTER, SEE DETAIL 10/AS501
- INSTALL CONCRETE SIDEWALK, SEE DETAIL 7/AS501
- INSTALL NEW REFUSE ENCLOSURES PER DETAILS ON AS503
- CLEAR SIGHT TRIANGLE - NO OBSTRUCTIONS TO VIEW, BETWEEN 3' AND 8' ABOVE THE GUTTER LINE SHALL BE PLACED OR MAINTAINED WITHIN SHADED AREA

PARKING CALCULATIONS

OFF-STREET PARKING:

3.5 SPACES PER 1000 SF

BUILDING 1: 7,701 SF
BUILDING 2: 5,029 SF

12,730/1,000 = 12.73
12.73x3.5 = 44.555

45 SPACES REQUIRED

TOTAL OFF-STREET PARKING PROVIDED = 65 SPACES

ACCESSIBLE: 36-50 SPACES = 3 SPACES REQUIRED (1 BEING VAN ACCESSIBLE)
4 ACCESSIBLE SPACES PROVIDED (ALL VAN ACCESSIBLE)

MOTORCYCLE PARKING:

26-50 OFF-STREET PARKING = 2 SPACES

2 SPACES REQUIRED
2 SPACES PROVIDED

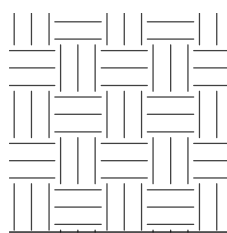
BICYCLE PARKING:

NON-RESIDENTIAL USES = 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER

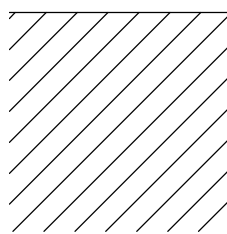
10% OF 45 SPACES = 4.5

5 SPACES REQUIRED
6 SPACES PROVIDED

SITE LEGEND

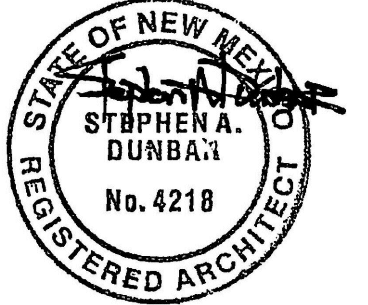


LANDSCAPED AREAS, REFER TO LANDSCAPE PLAN



EXISTING BUILDING AND PROPERTY NOT PART OF SCOPE

MODULUS ARCHITECTS



10-31-22

PROJECT TITLE
7441 BARTLETT
7441 BARTLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER
JFF

DRAWN BY:
XXX

SHEET TITLE
SITE PLAN

DATE

10/31/22

SHEET

SCALE:

AS101