

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 21, 2022

Stephen A. Dunbar, RA
Modulus Architects
100 Sun Ave. NE Suite 600
Albuquerque, NM 87109

**Re: 7441 Bartlett
7441 Bartlett St. NE
Traffic Circulation Layout
Architect's Stamp 10-31-22 (D17-D113)**

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 11-04-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Clarify existing property lines and proposed property lines.
3. Driveways accesses width need to be shown on the site plan.
4. The pavement marking "MC" should be shown in the opposite direction for Motorcycles entering the parking space.
5. Clear site triangle should be started at the back of the sidewalk. Please see the attachment.
6. Please provide a copy of Fire Marshal and Solid Waste approval.
7. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
8. Please remove all details that do not apply to this project (for example, the "DO NOT ENTER" sign).
9. Please specify the City Standard Drawing Number when applicable.
10. Work within the public right of way requires a work order with DRC approved plans.
11. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
12. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
13. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 Vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).
14. Please provide a letter of response for all comments given.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

NM 87103

ma via: email
C: CO Clerk, File

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 7441 Bartlett Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 7-A Journal Center, Phase 2, Unit 2

City Address: 7441 Bartlett St. NE

Applicant: Modulus Architects, Inc. Contact: Craig Calvert

Address: 100 Sun Ave. NE, Suite 600

Phone#: 505-338-1499 Fax#: _____ E-mail: ccalvert@modulusarchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

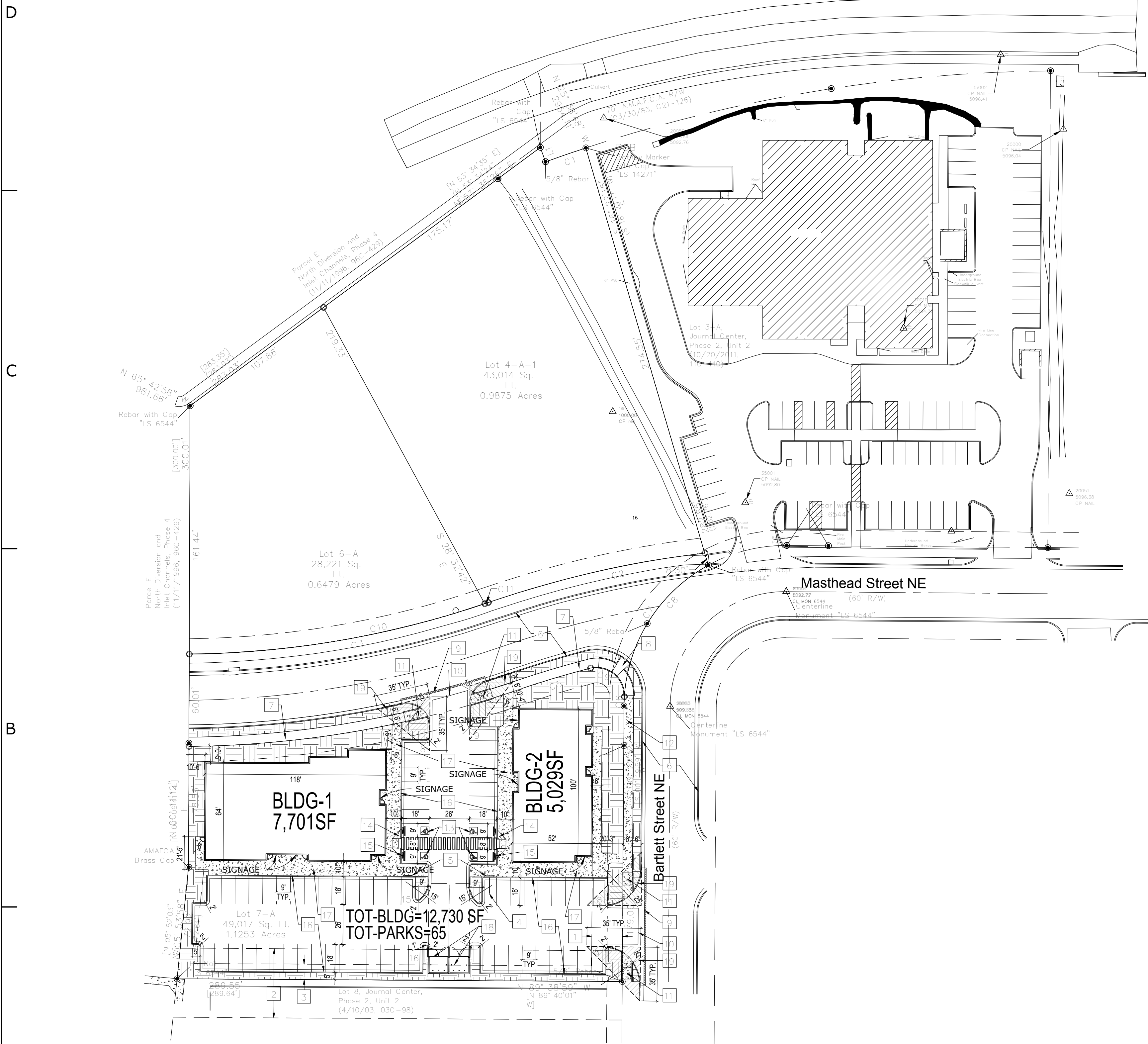
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 10/31/2022 By: _____

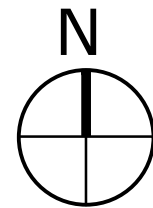
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



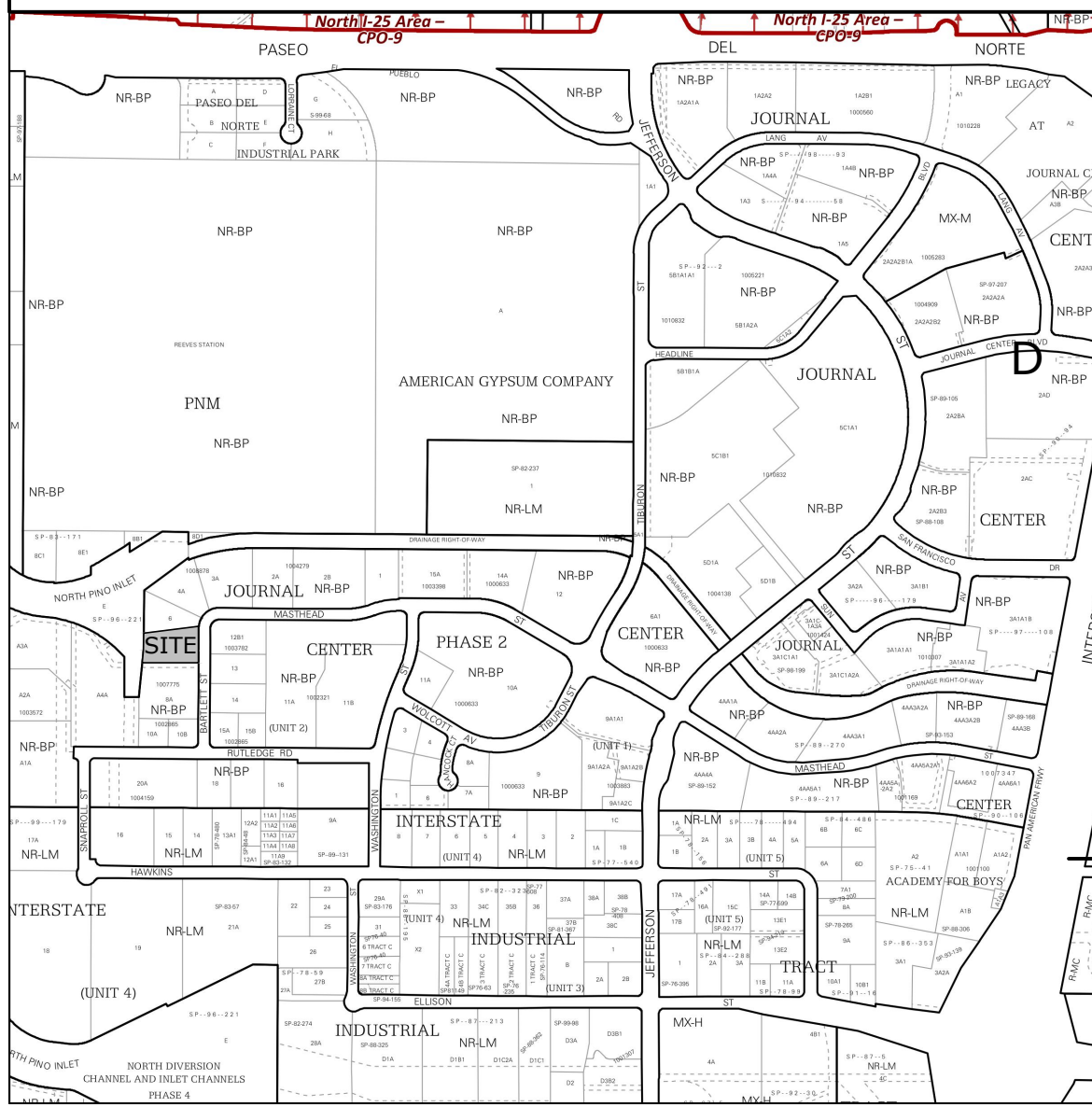
1 SITE PLAN
1" = 40'-0"



SITE DATA

PROPERTY ADDRESS: 7441 BARTLETT ST. NE
LEGAL DESCRIPTION: LOT 7-A JOURNAL CENTER, PHASE 2, UNIT 2
PROPERTY SIZE: 1.13 ACRES
CURRENT ZONING: NR-BP
PROPOSED USE: OFFICE PARK
TOTAL BUILDING SIZE: 12,730 SQUARE FEET
UPC NUMBER: 101706308022630421

VICINITY MAP: D-17-Z



KEYNOTE LEGEND

- 20'-0" SETBACK
- EXISTING 45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT
- 10'-0" SETBACK
- MOTORCYCLE PARKING (2 SPACES), SEE SIGN DETAIL 12/AS502
- BICYCLE PARKING (6 SPACES), SEE DETAIL 13/AS502
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- SAWCUT & REMOVE ASPHALT PAVING, 12" WIDE BY LENGTH OF DRIVEWAY
- INSTALL NEW PRIVATE ENTRANCE PER COA STD DETAILS 2426 & 2420
- INSTALL NEW ACCESSIBLE CURB RAMP PER COA STD DETAIL 2440 & 2441
- INSTALL NEW PUBLIC CONCRETE SIDEWALK PER COA STD DETAIL 2430
- INSTALL NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 2/AS502
- INSTALL NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 15/AS501
- INSTALL ACCESSIBLE PARKING SIGN, SEE DETAIL 11/AS502
- INSTALL CONCRETE CURB & GUTTER, SEE DETAIL 10/AS501
- INSTALL CONCRETE SIDEWALK, SEE DETAIL 7/AS501
- INSTALL NEW REFUSE ENCLOSURES PER DETAILS ON AS503
- CLEAR SIGHT TRIANGLE - NO OBSTRUCTIONS TO VIEW, BETWEEN 3' AND 8' ABOVE THE GUTTER LINE SHALL BE PLACED OR MAINTAINED WITHIN SHADED AREA

PARKING CALCULATIONS

OFF-STREET PARKING:

3.5 SPACES PER 1000 SF

BUILDING 1: 7,701 SF
BUILDING 2: 5,029 SF

12,730/1,000 = 12.73
12.73x3.5 = 44.555

45 SPACES REQUIRED

TOTAL OFF-STREET PARKING PROVIDED = 65 SPACES

ACCESSIBLE: 36-50 SPACES = 3 SPACES REQUIRED (1 BEING VAN ACCESSIBLE)
4 ACCESSIBLE SPACES PROVIDED (ALL VAN ACCESSIBLE)

MOTORCYCLE PARKING:

26-50 OFF-STREET PARKING = 2 SPACES

2 SPACES REQUIRED
2 SPACES PROVIDED

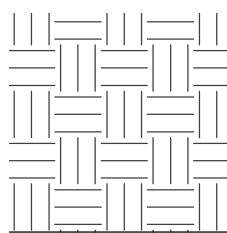
BICYCLE PARKING:

NON-RESIDENTIAL USES = 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER

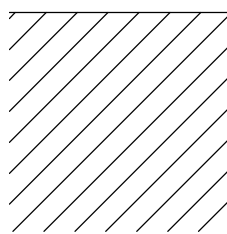
10% OF 45 SPACES = 4.5

5 SPACES REQUIRED
6 SPACES PROVIDED

SITE LEGEND

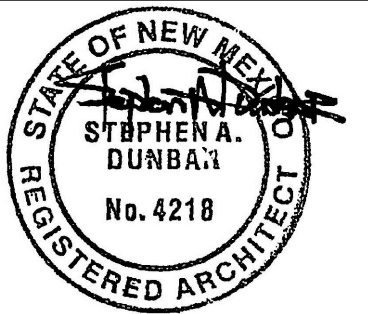


LANDSCAPED AREAS, REFER TO LANDSCAPE PLAN



EXISTING BUILDING AND PROPERTY NOT PART OF SCOPE

MODULUS ARCHITECTS



10-31-22

PROJECT TITLE
7441 BARTLETT
7441 BARLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER
JPF

DRAWN BY:
XXX

SHEET TITLE
SITE PLAN

DATE
10/31/22

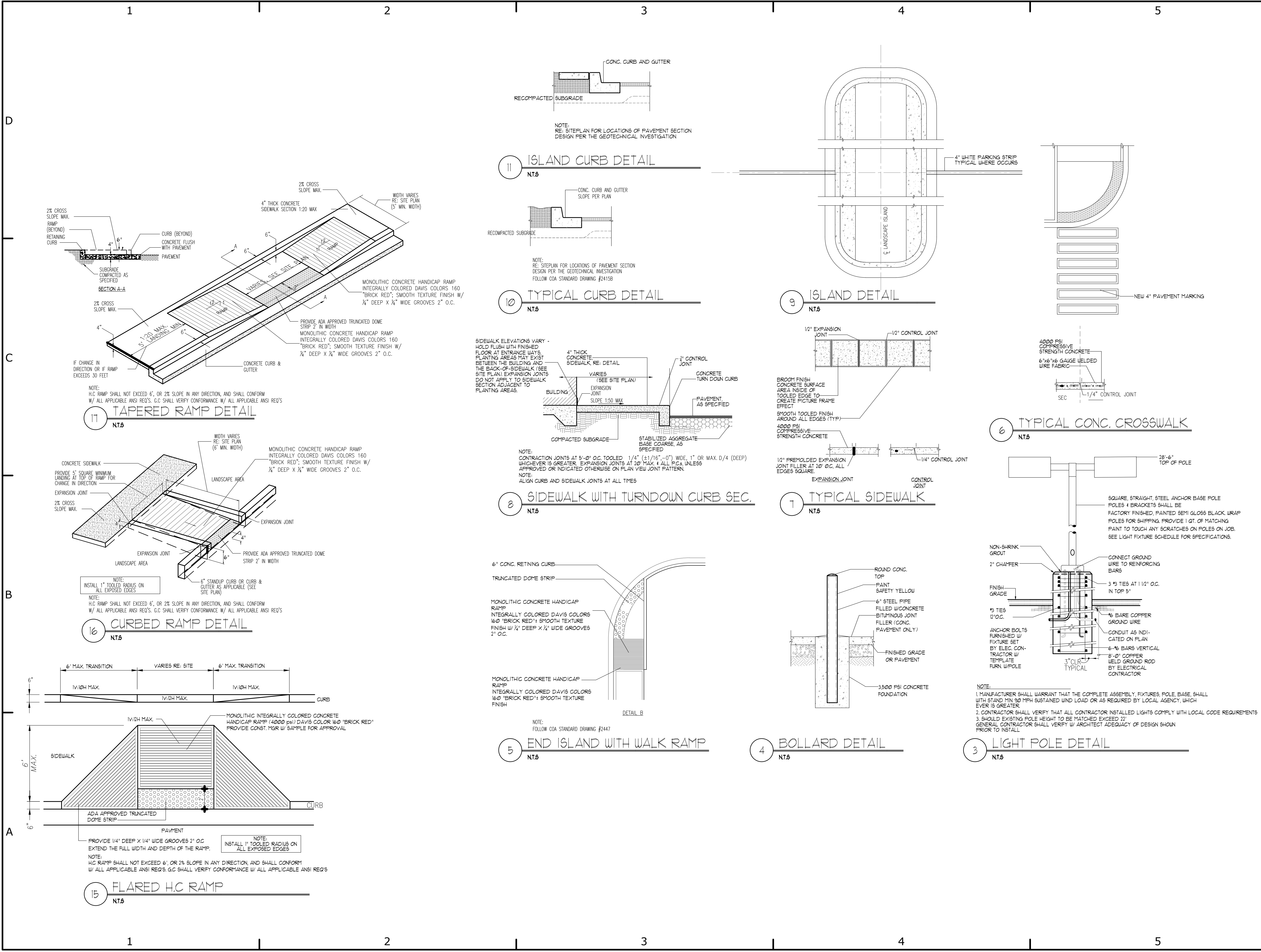
SCALE:
AS101

SHEET
AS101

REVISION
DATE
BY

7441 BARTLETT
8/11/2022 11:58:52 AM
:DWG_ACTIVE\7441 BARTLETT - KEITH CHESIRE - Graphics1 - Current\5 - DWG\7441 BARTLETT.rvt

COPYRIGHT 2022 MODULUS ARCHITECTS



REVISION		BY		DATE	

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

BARTLETT OFFICES
7441 BARLETT ST NE, ALBUQUERQUE NM 87109
PROJECT MANAGER JPF
JOB NO. XXX
DRAWN BY: JPF

SITE DETAILS

DATE 7/19/22
SCALE:

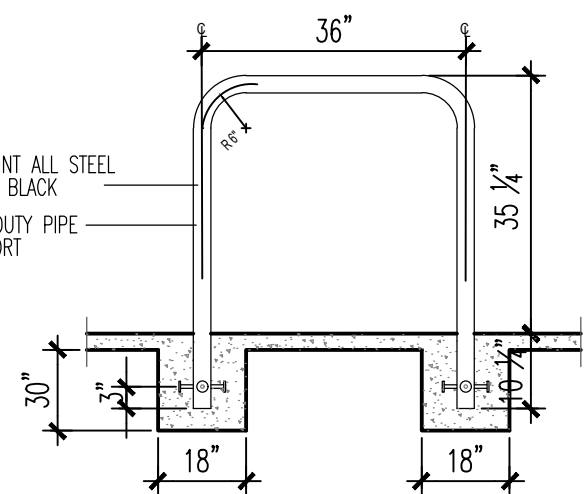
SHEET
AS501

D

C

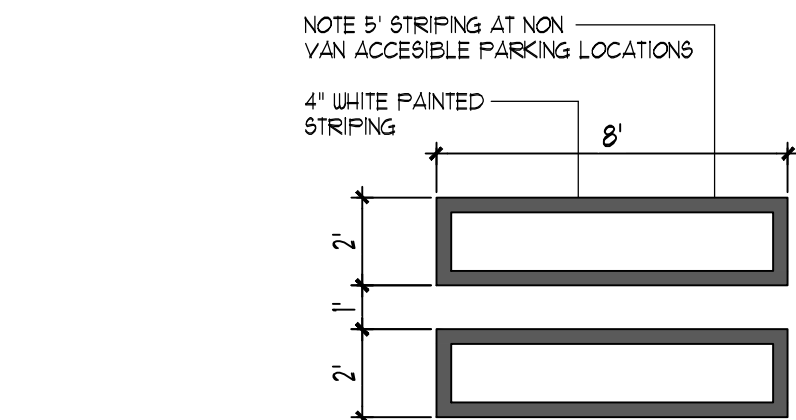
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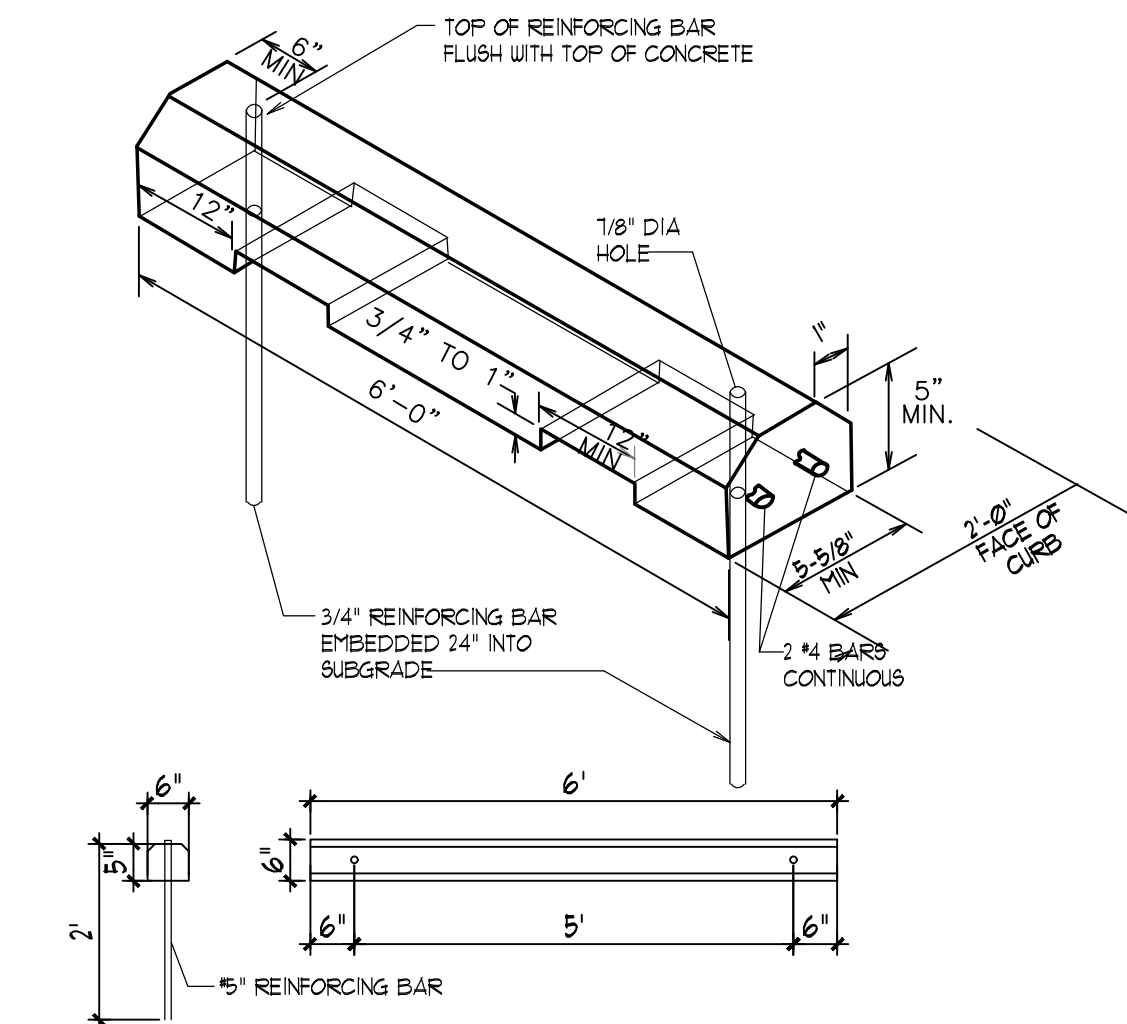


NOTE:
BIKE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
B. THE BIKE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BIKE IN AN UPRIGHT POSITION.
E. THE RACK ALLOWS VARYING BIKE FRAME SIZES AND STYLES TO BE ATTACHED.
F. THE USER IS NOT REQUIRED TO LIFT THE BIKE ONTO THE BIKE RACK.
G. EACH BIKE RACK SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE.

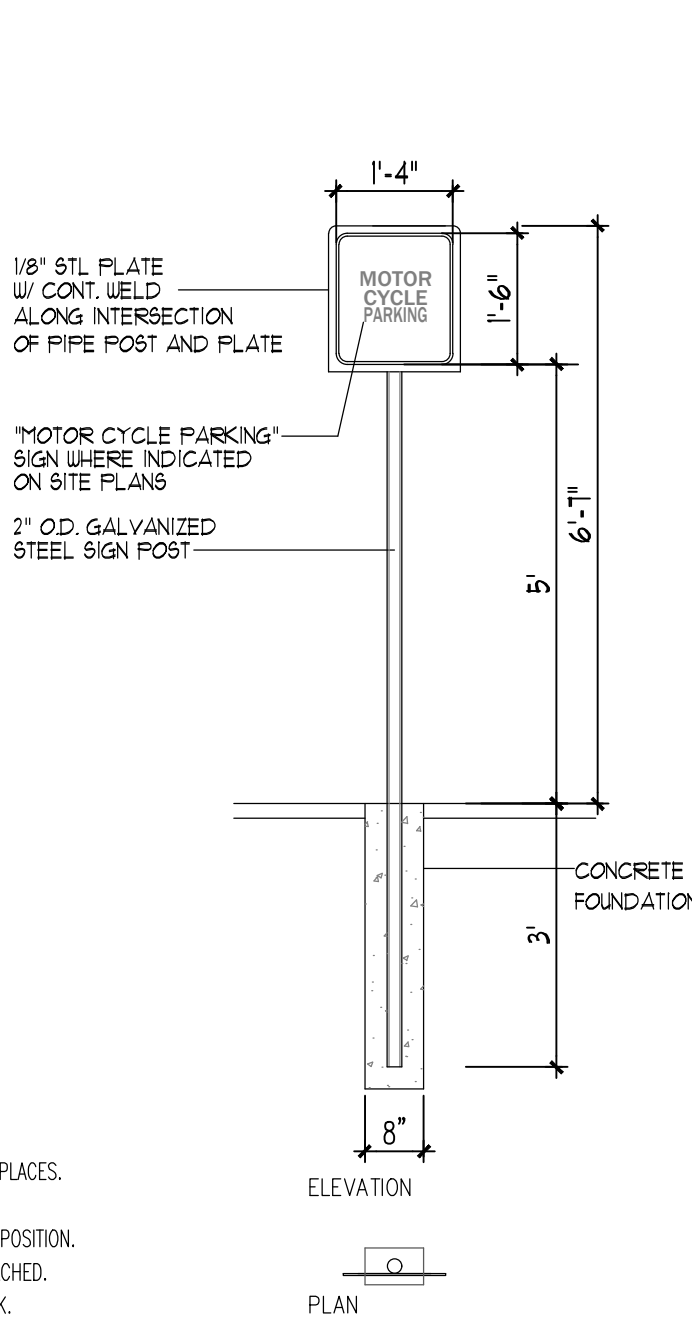
13 BIKE RACK
NTS



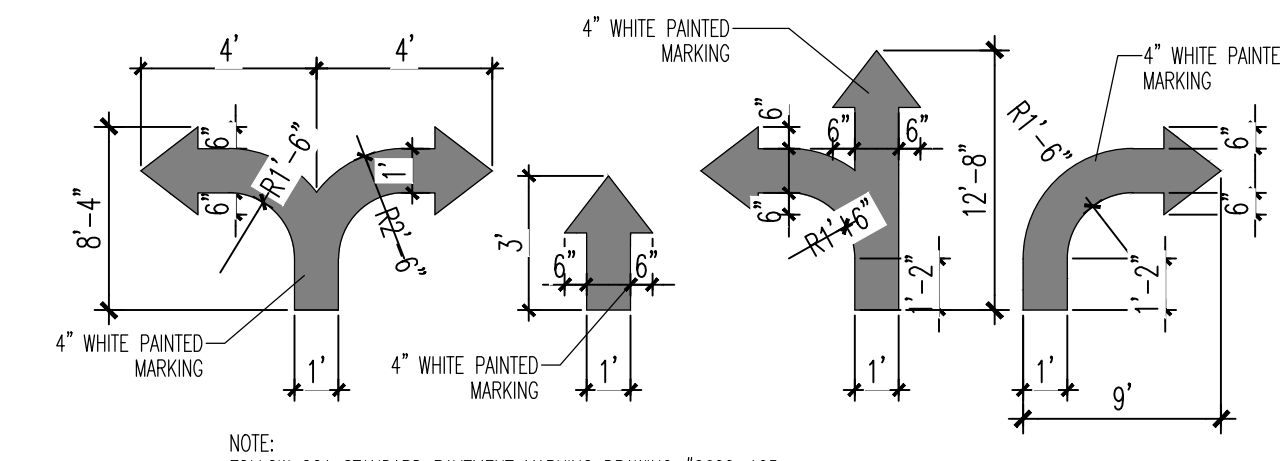
9 H.C. PARKING-WALK PAINT DETAIL
NTS



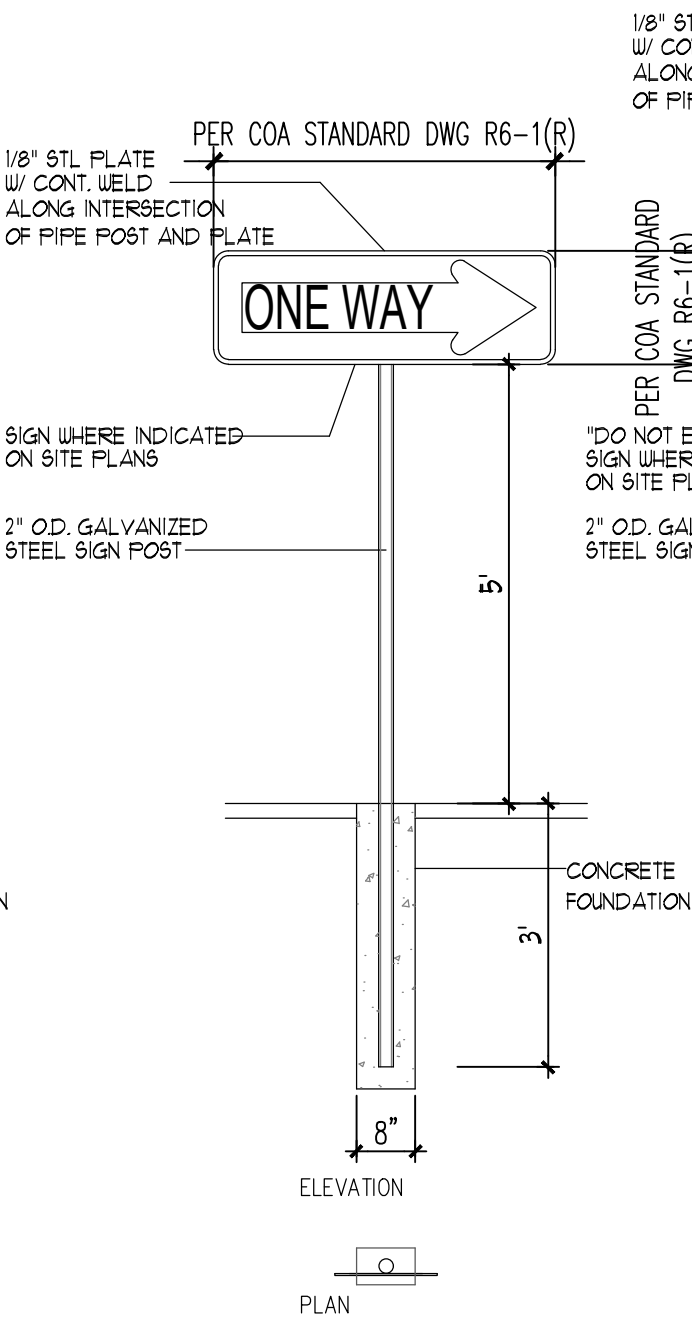
4 WHEEL STOP
NTS



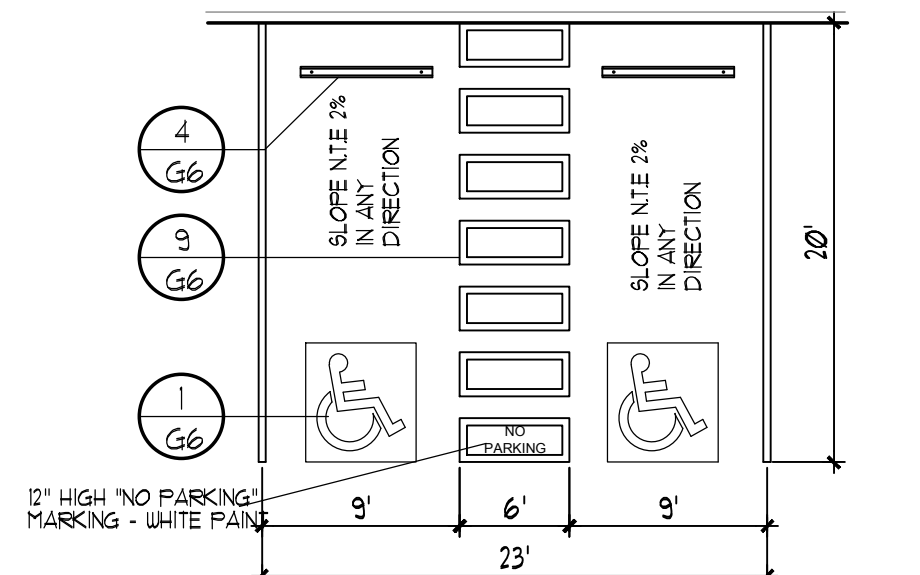
12 MISC. SIGNAGE
NTS



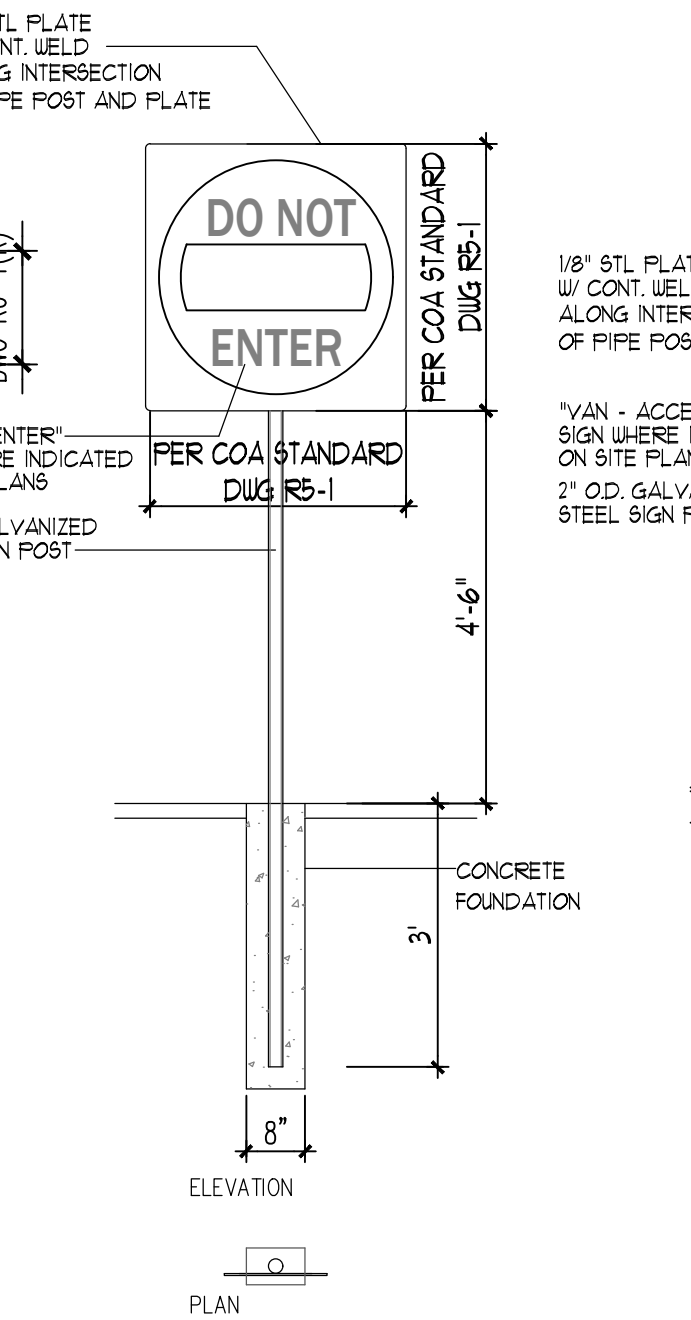
8 SITE DIRECTIONAL PAINT DETAIL
NTS



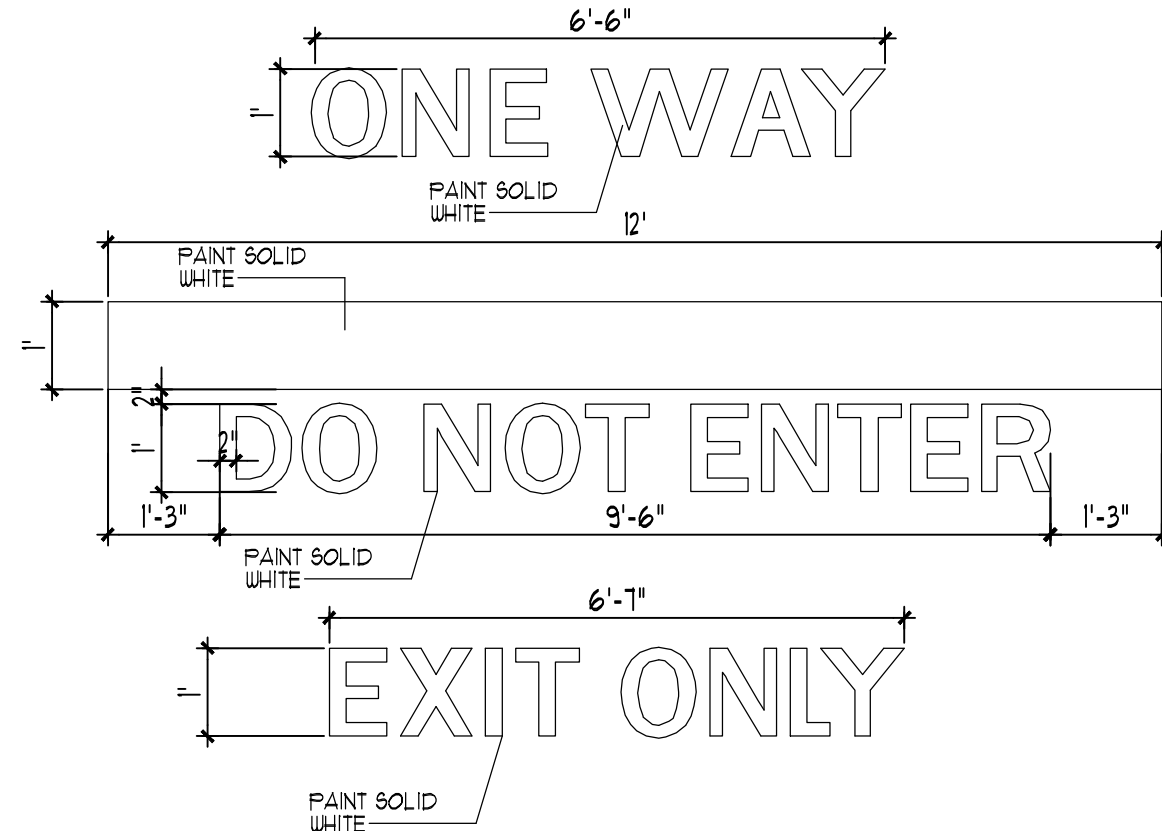
12A MISC. SIGNAGE
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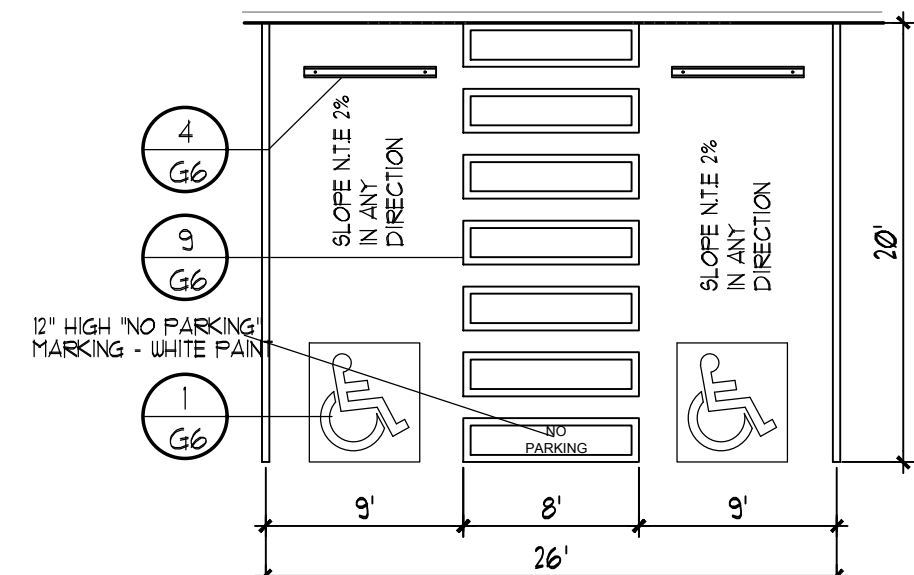
3 H.C. PARKING PLAN DETAIL
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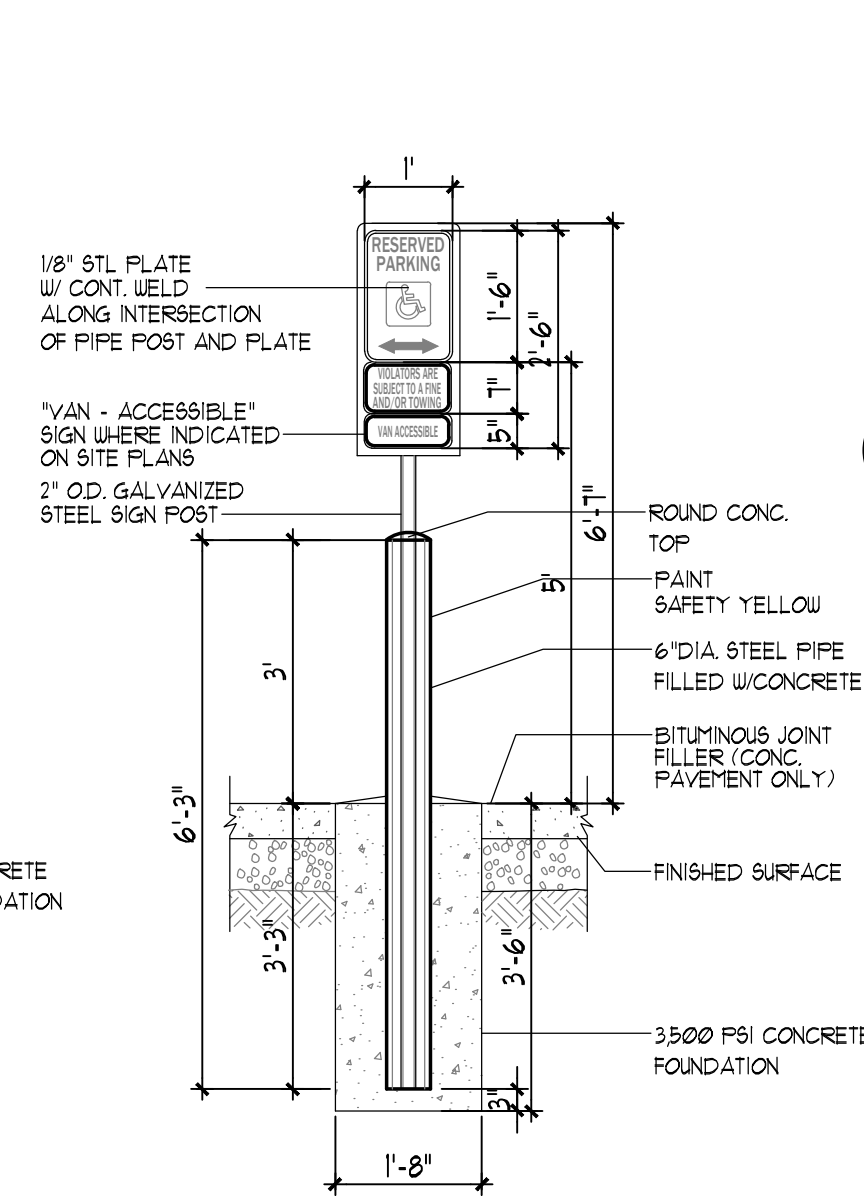
11 H.C. SIGNAGE
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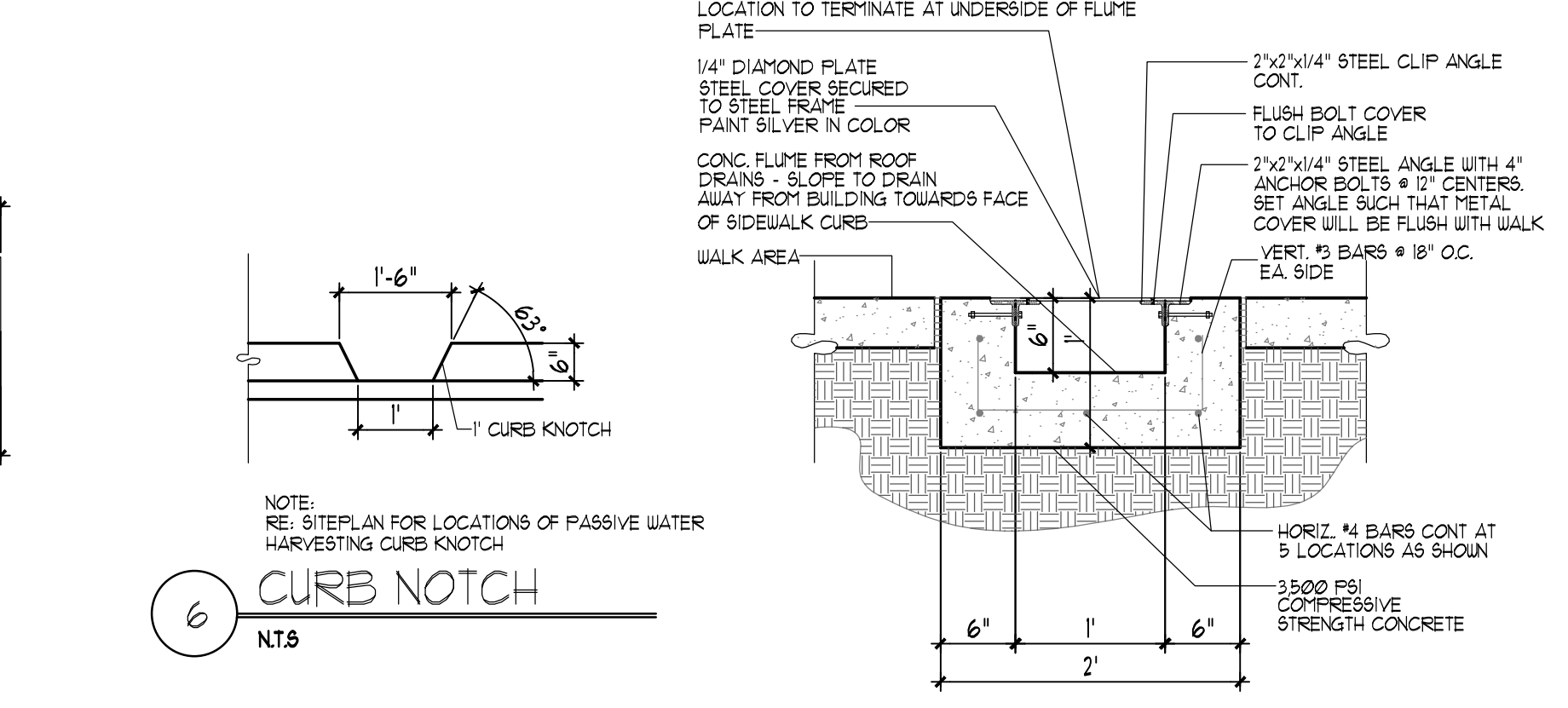
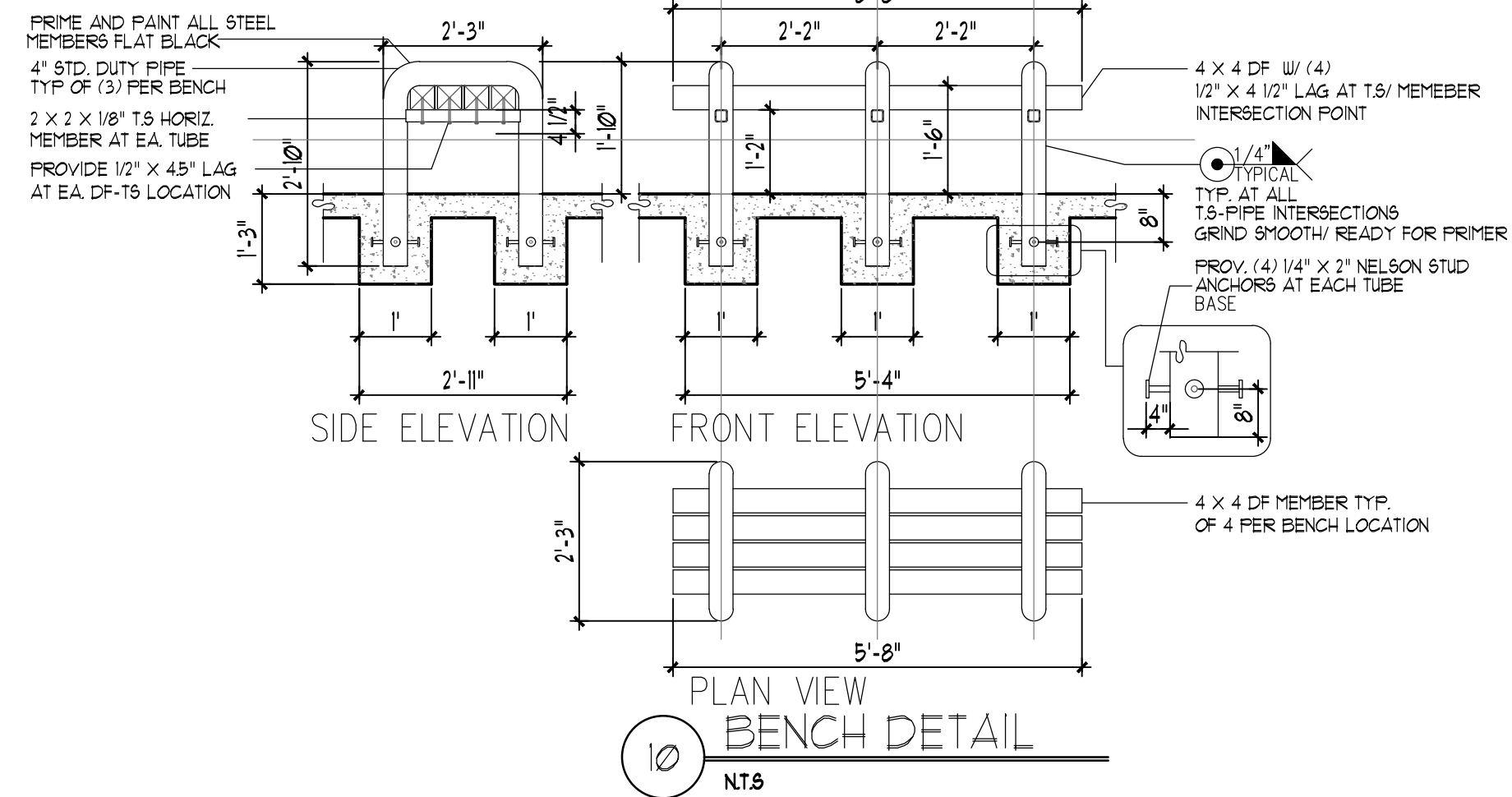
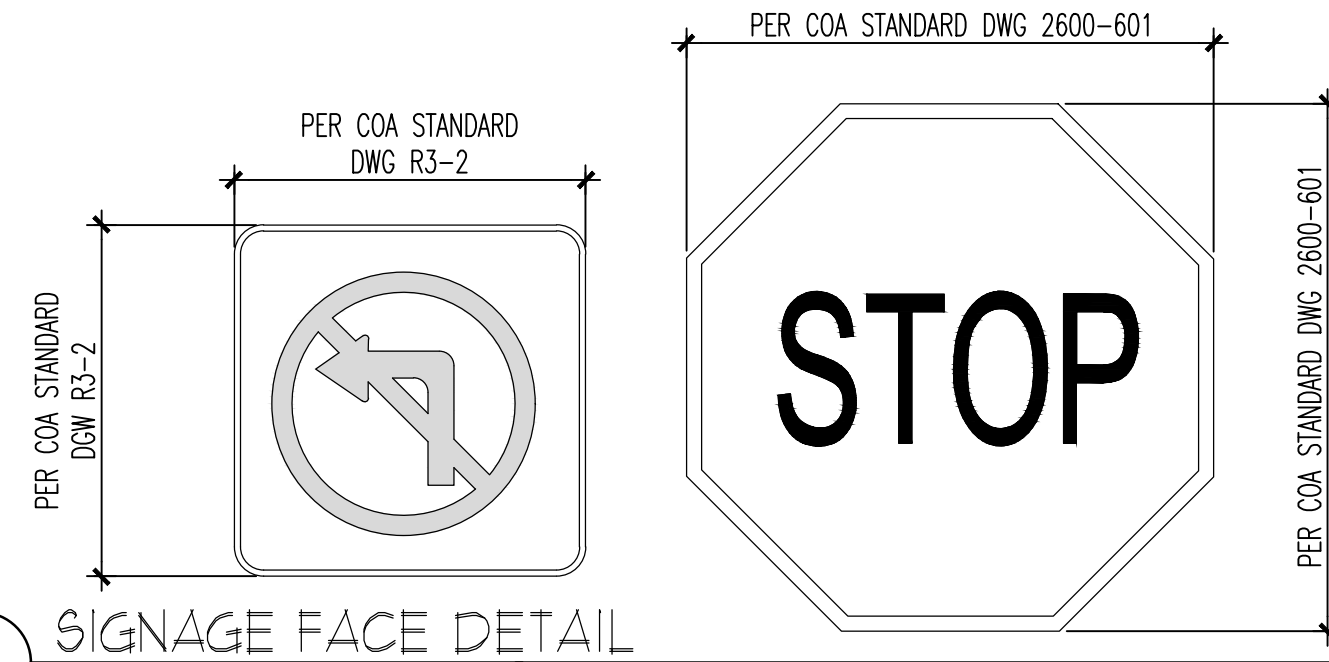
7 SITE DIRECTIONAL PAINT DETAIL
NTS



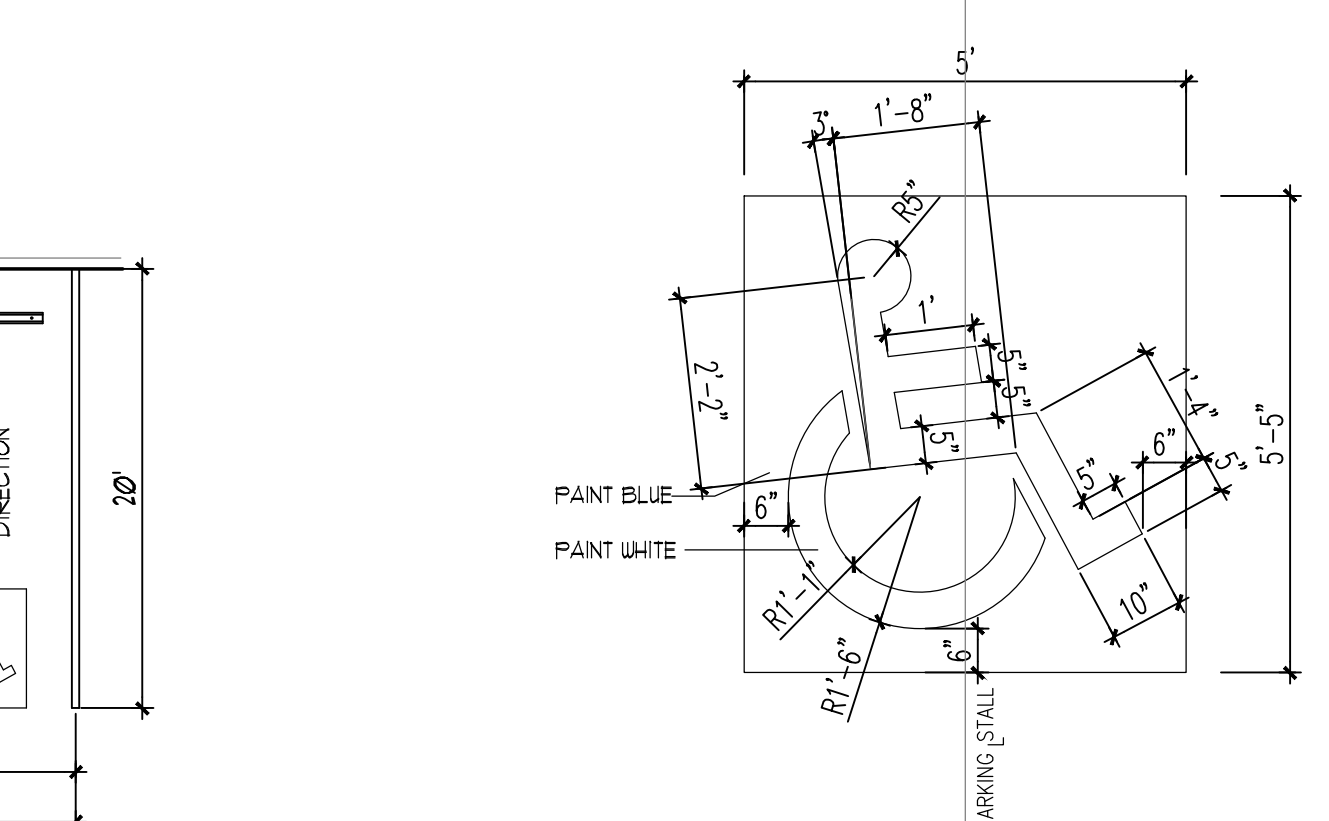
2 H.C. PARKING PLAN DETAIL (VAN ACCESIBLE)
NTS



14 SIGNAGE FACE DETAIL
NTS



5 CONCRETE FLUME DETAIL
NTS



1 H.C. SIGNAGE
NTS

D

C

B

A

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

PROJECT TITLE BARTLETT OFFICES	DATE 7/19/22	SHEET AS502
7441 BARLETT ST NE, ALBUQUERQUE NM 87109	JOB NO. XXX	SCALE:
PROJECT MANAGER JPF	DRAWN BY: XXX	
SHEET TITLE SITE DETAILS		