

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 10, 2024

Stephen Dunbar, RA
Modulus Architects
8220 San Pedro Dr. NE
Albuquerque, NM 87113

Re: Bartlett Offices
7441 Bartlett St. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-22-22 (D17-D113)
Certification dated 05-03-24

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 05-06-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Per the approved site plan and the details sheet, please install bike rack that meets city's standard.



2. Remove porta potty from the site.

Once these corrections are complete, please email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email C: CO Clerk, File



Planning Department – Transportation & Hydrology

City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

May 3, 2024

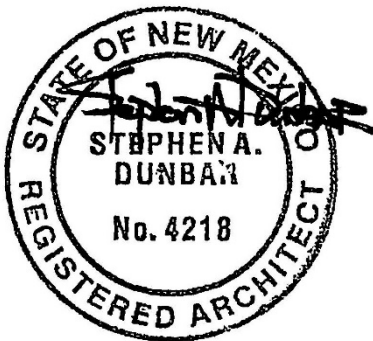
RE: Traffic Certification for Bartlett Offices @ 7441 Bartlett Street NE

To whom it may concern,

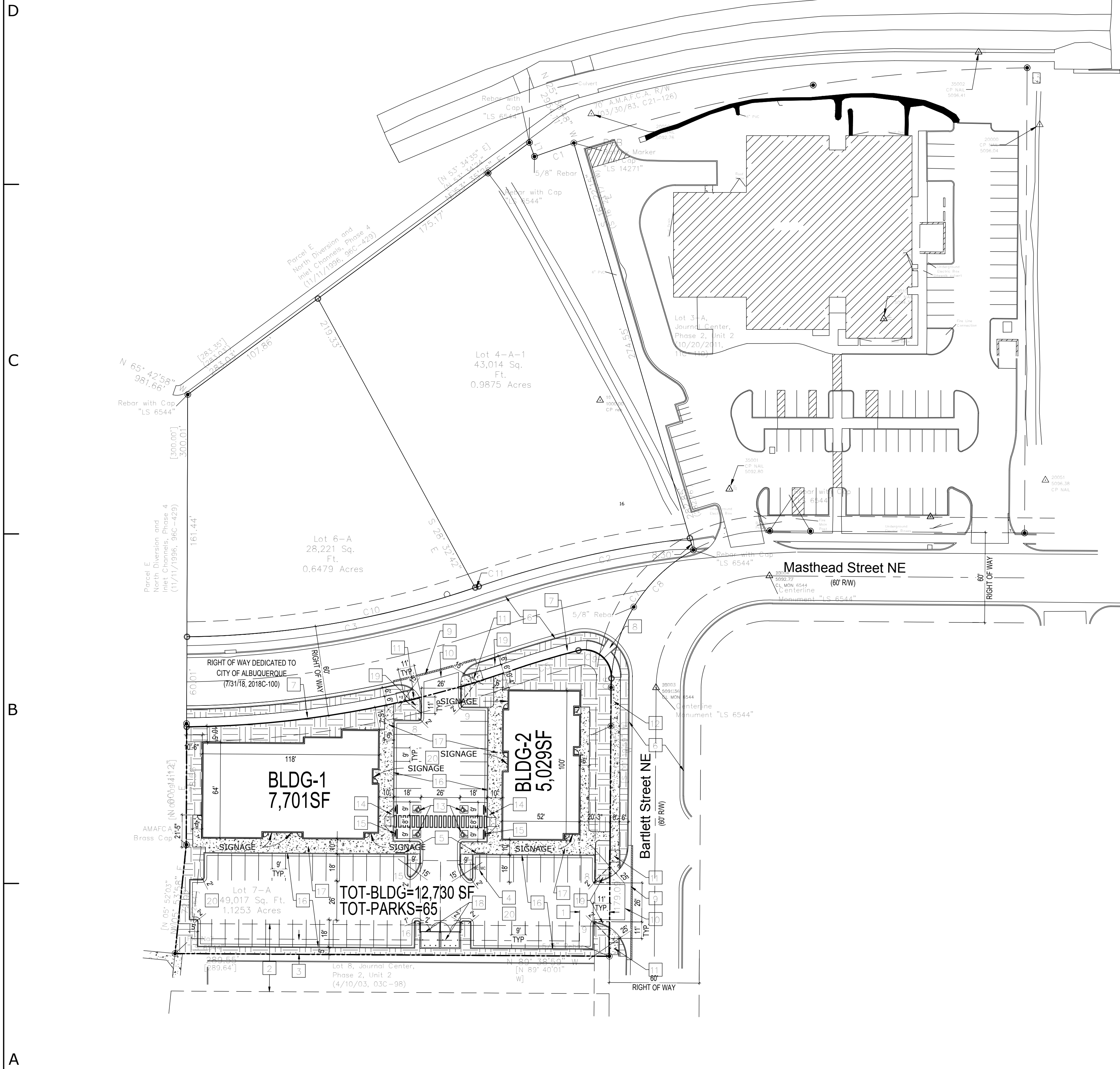
I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the Architectural Site Plan (AS101), dated 11-22-22 and approved on 12-16-22. I further certify that Craig Calvert, Project Manager at Modulus Architects, personally visited the site on 4-18-24 and has determined by visual inspection that the improvements installed are representative of actual site conditions and are true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

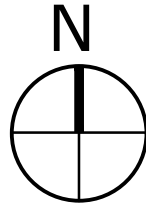
Sincerely,



Stephen Dunbar, AIA
Principal in Charge
Modulus Architects, Inc.
8220 San Pedro Dr. NE, Suite 520
Albuquerque, NM 87113
(O) 505.338.1499, Ext. 1001



1 SITE PLAN
1" = 40'-0"
0' 10' 20' 40' 80'



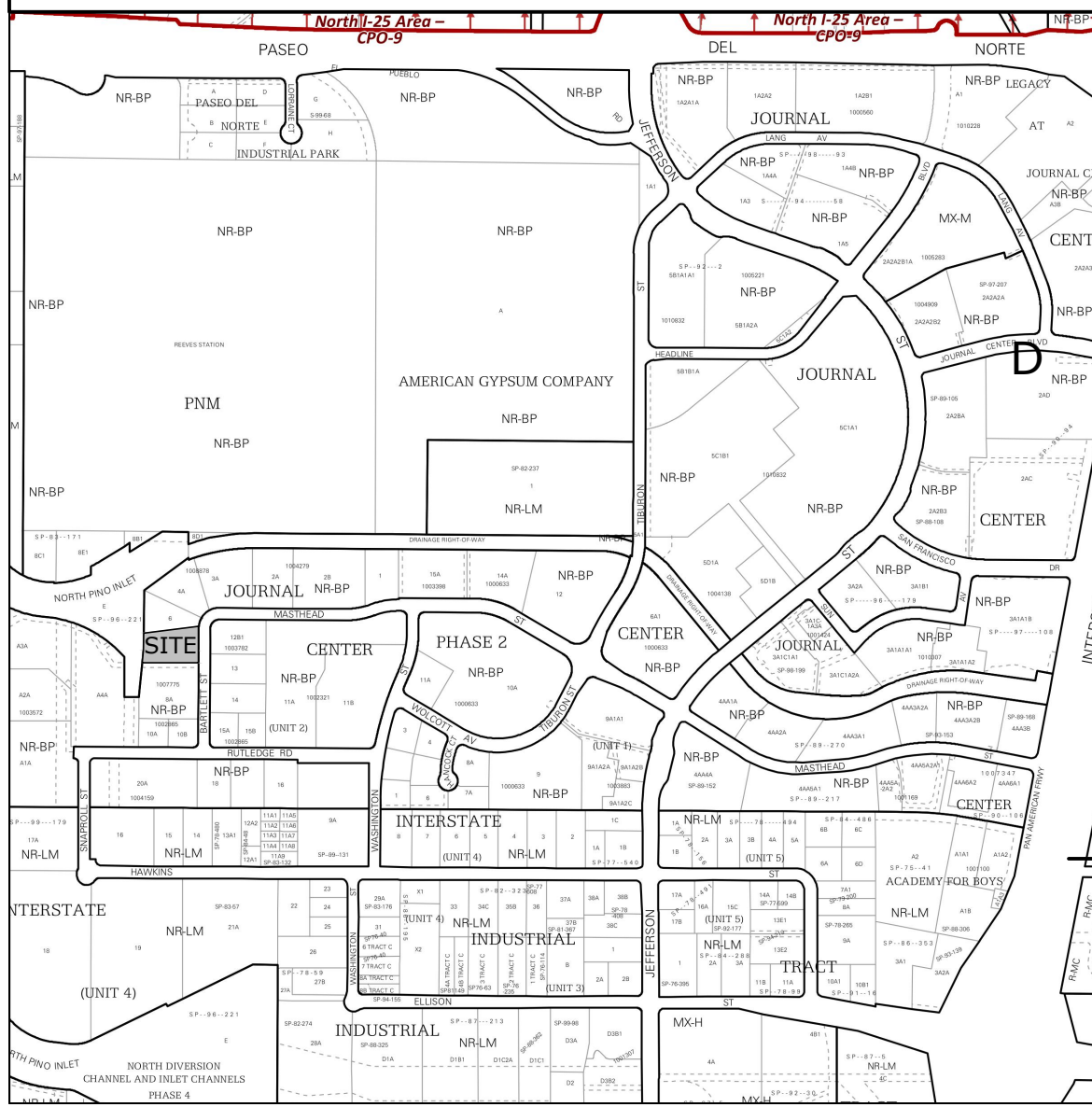
SITE DATA

PROPERTY ADDRESS: 7441 BARTLETT ST. NE
LEGAL DESCRIPTION: LOT 7-A JOURNAL CENTER, PHASE 2, UNIT 2
PROPERTY SIZE: 1.13 ACRES
CURRENT ZONING: NR-BP
PROPOSED USE: OFFICE PARK
TOTAL BUILDING SIZE: 12,730 SQUARE FEET
UPC NUMBER: 101706308022630421

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Amigo 12/16/2022
Signed Date

VICINITY MAP: D-17-Z



GENERAL NOTES

- A. ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY TO BE IN A PUBLIC WORK ORDER AND APPROVED BY THE DRC.
B. ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER, WITHIN THE RIGHT OF WAY, TO BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER PER COA STANDARD DETAILS 2430 AND 2415A

KEYNOTE LEGEND

- 20'-0" SETBACK
- EXISTING 45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT
- 10'-0" SETBACK
- MOTORCYCLE PARKING (2 SPACES), SEE SIGN DETAIL 12/AS502
- BICYCLE PARKING (6 SPACES), SEE DETAIL 13/AS502
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- SAWCUT & REMOVE ASPHALT PAVING, 12" WIDE BY LENGTH OF DRIVEWAY
- INSTALL NEW PRIVATE ENTRANCE PER COA STD DETAILS 2426 & 2420
- INSTALL NEW ACCESSIBLE CURB RAMP PER COA STD DETAIL 2440 & 2441
- INSTALL NEW PUBLIC CONCRETE SIDEWALK PER COA STD DETAIL 2430
- INSTALL NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 2/AS502
- INSTALL NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 15/AS501
- INSTALL ACCESSIBLE PARKING SIGN, SEE DETAIL 11/AS502
- INSTALL CONCRETE CURB & GUTTER, SEE DETAIL 10/AS501
- INSTALL CONCRETE SIDEWALK, SEE DETAIL 7/AS501
- INSTALL NEW REFUSE ENCLOSURES PER DETAILS ON AS503
- CLEAR SIGHT TRIANGLE - NO OBSTRUCTIONS TO VIEW, BETWEEN 3' AND 8' ABOVE THE GUTTER LINE SHALL BE PLACED OR MAINTAINED WITHIN SHADED AREA
- INSTALL NEW HOT-MIX ASPHALT PAVING, REFER TO GEO-TEST GEOTECHNICAL REPORT, DATED 5-16-2022, FOR PAVING RECOMMENDATIONS

PARKING CALCULATIONS

OFF-STREET PARKING:

3.5 SPACES PER 1000 SF

BUILDING 1: 7,701 SF
BUILDING 2: 5,029 SF

12,730/1,000 = 12.73
12.73x3.5 = 44.555

45 SPACES REQUIRED
TOTAL OFF-STREET PARKING PROVIDED = 65 SPACES

ACCESSIBLE: 36-50 SPACES = 3 SPACES REQUIRED (1 BEING VAN ACCESSIBLE)
4 ACCESSIBLE SPACES PROVIDED (ALL VAN ACCESSIBLE)

MOTORCYCLE PARKING:

26-50 OFF-STREET PARKING = 2 SPACES

2 SPACES REQUIRED
2 SPACES PROVIDED

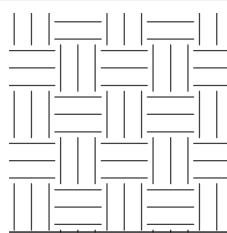
BICYCLE PARKING:

NON-RESIDENTIAL USES = 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER

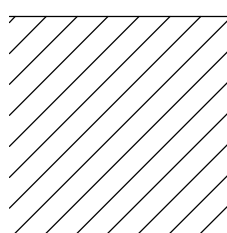
10% OF 45 SPACES = 4.5

5 SPACES REQUIRED
6 SPACES PROVIDED

SITE LEGEND



LANDSCAPED AREAS, REFER TO LANDSCAPE PLAN



EXISTING BUILDING AND PROPERTY NOT PART OF SCOPE

MODULUS ARCHITECTS



11-22-22

PROJECT TITLE
7441 BARTLETT
7441 BARLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER
JPF

DRAWN BY:
XXX

JOB NO.
XXX

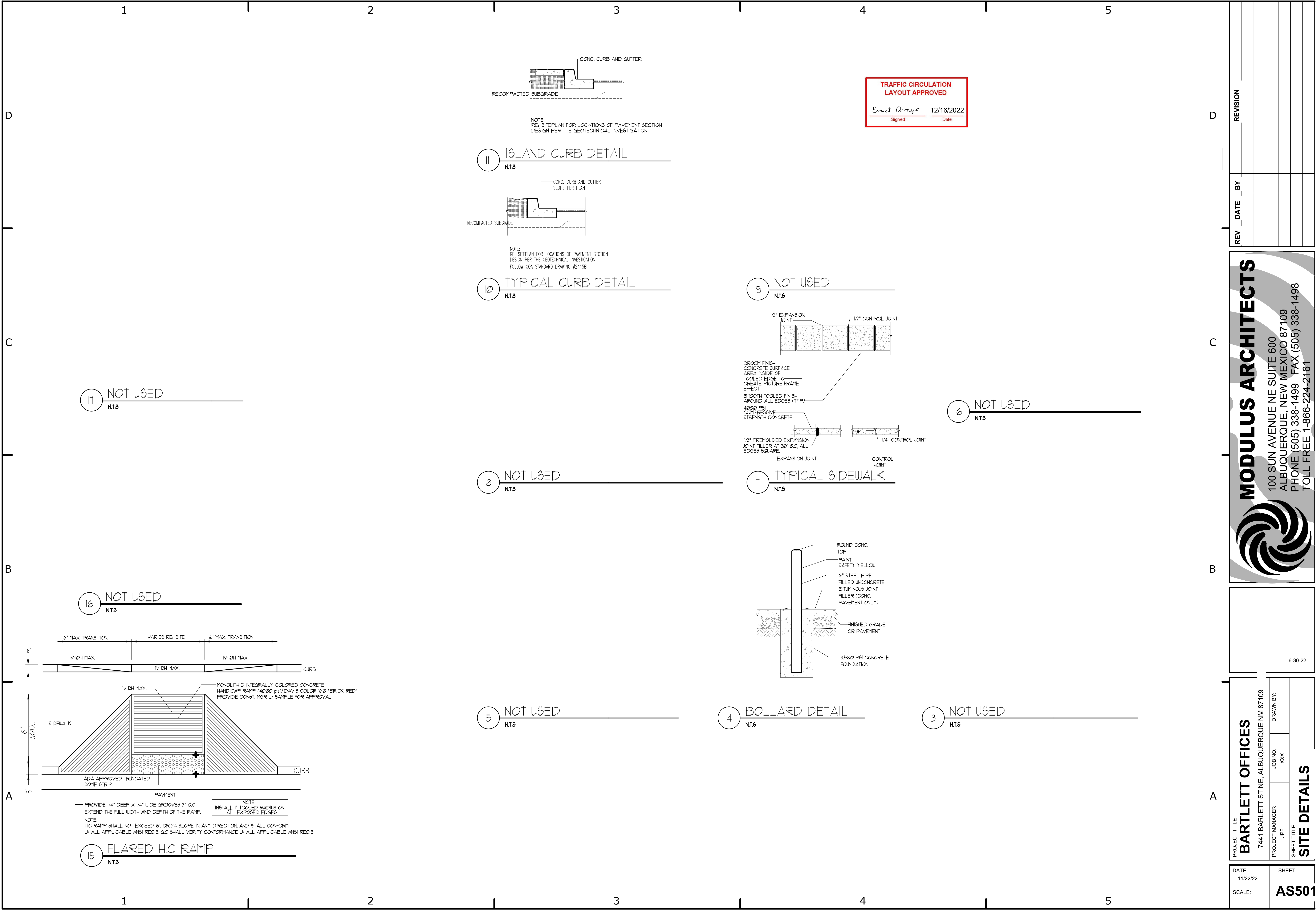
SHEET TITLE
SITE PLAN

DATE
11/22/22

SCALE:
AS101

SHEET
AS101

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PROJECT TITLE
BARTLETT OFFICES
7441 BARTLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER
JPF

JOB NO.
XXX

DRAWN BY:
XXX

SHEET TITLE
SITE DETAILS

DATE
11/22/22

SCALE:

SHEET
AS501

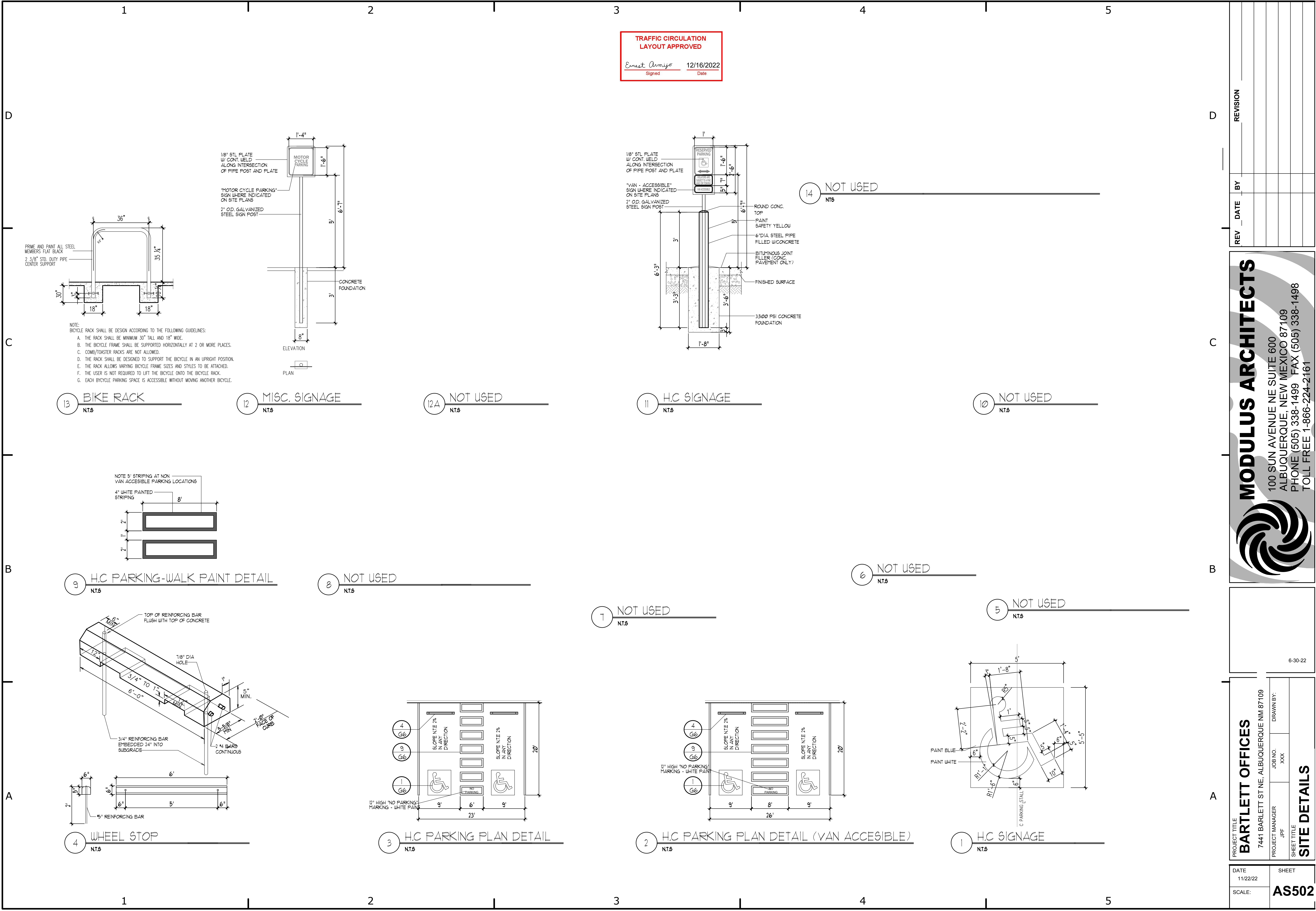
MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

6-30-22

7441 BARTLETT
8/11/2022 11:58:52 AM
\\DWG_ACTIVE\\7441 BARTLETT - KEITH CHESIRE - Graphics1 - Current\\5 - DWG\\7441 BARTLETT.rvt

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**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

BARTLETT OFFICES

PROJECT TITLE
7441 BARTLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER
JPF

JOB NO.
XXX

DRAWN BY:
XXX

SHEET TITLE
SITE DETAILS

DATE
11/22/22

SCALE:
AS502

SHEET
AS502