

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2023

Sheldon Greer, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM 8710

**RE: Bartlett Development
Grading & Drainage Plans
Engineer's Stamp Date: 5/17/2023
Hydrology File: D17D113**

Dear Mr. Greer:

Based upon the information provided in your submittal received 5/17/2023, the Grading & Drainage Plan is approved for Building Permit, Grading Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **10,096.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Bartlett Development **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 7-A, Journal Center, Phase 2, Unit 2
City Address: 101706308022630421

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RESPEC **Contact:** Jeremy Shell
Address: 7770 Jefferson Street NE, Suite 200, Albuquerque NM 87109
Phone#: 505.918.1053 **Fax#:** _____ **E-mail:** jeremy.shell@respec.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

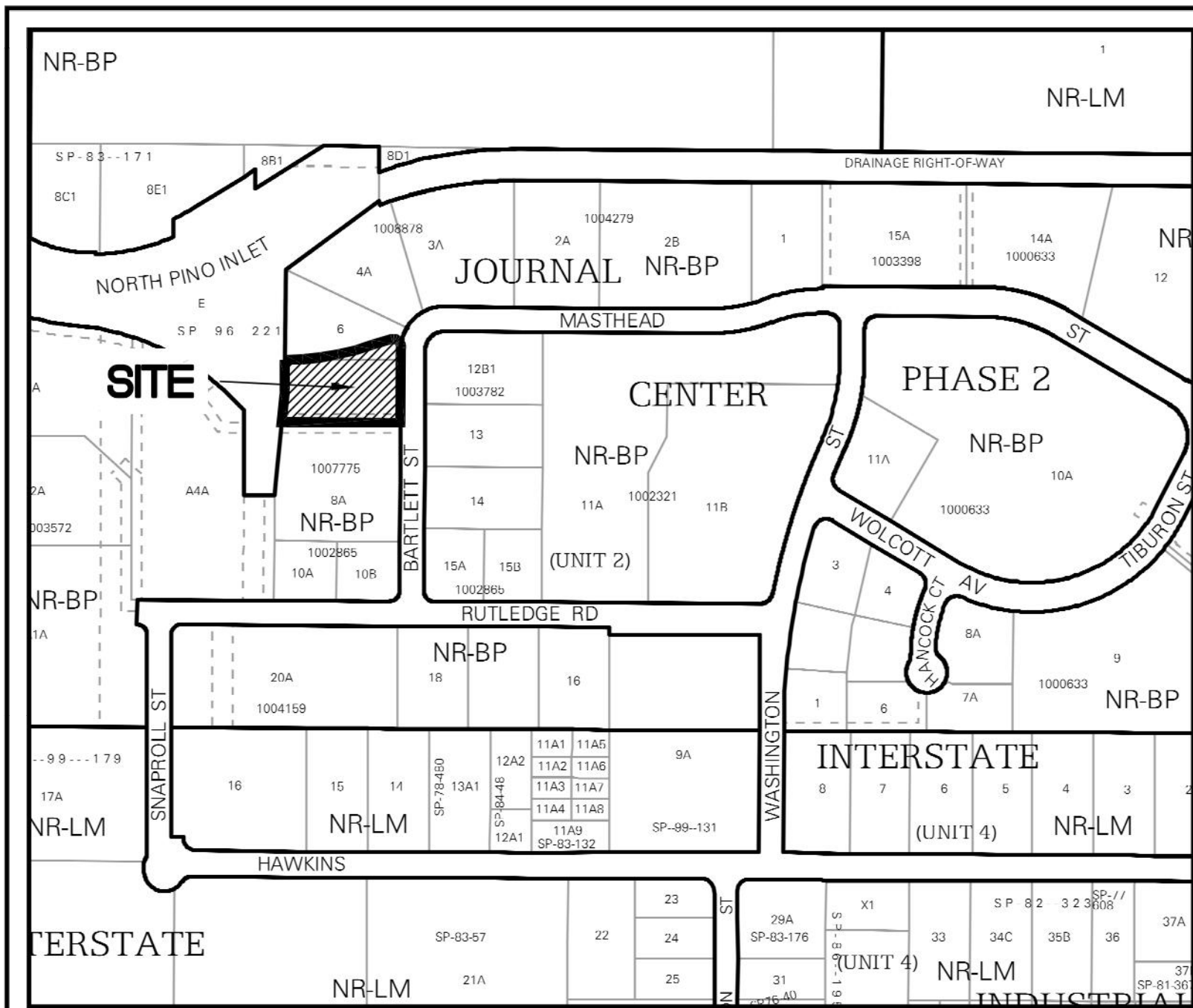
DATE SUBMITTED: 05/17/2023 **By:** John Stapleton

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

NAME: N:\Projects\w0024_modulus architects\w0024_22007_modulus bartlett\3_dwg\3_sheets\c-101_w0024_07_SURVEY PLAN 2.dwg PLOT DATE: May 17, 2023 10:26am



Vicinity Map - Zone Atlas D-17-Z

Notes

1. FIELD SURVEY PERFORMED IN APRIL 2022.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE), USING GROUND TO GRID FACTOR OF 0.999660414, WITH AN ORIGIN OF (0,0).
5. WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 22AP130175)
6. ALTHOUGH THIS IS NOT A BOUNDARY SURVEY, A BOUNDARY SURVEY WAS PERFORMED ON THIS PROPERTY, SO THIS TOPOGRAPHIC SURVEY MAY REFLECT SOME CHARACTERISTICS OF A BOUNDARY SURVEY.

Record Legal Description

LOT NUMBERED SEVEN-A (7-A), JOURNAL CENTER, PHASE 2, UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FOR LOT 4-A-1, 6-A & 7-A, JOURNAL CENTER, PHASE 2, UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 31, 2018, IN PLAT BOOK 2018C, PAGE 100 AS DOCUMENT NO. 2018066524.

Documents

1. TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 2201870 AND AN EFFECTIVE DATE OF MARCH 15, 2022.
2. PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 31, 2018, IN BOOK 2018C, PAGE 100.
3. QUITCLAIM DEED FOR SUBJECT PROPERTY FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 31, 2018 AS DOCUMENT NUMBER 2018066525.

Topographic Map for Lot 7-A Journal Center, Phase 2, Unit 2 City of Albuquerque Bernalillo County, New Mexico April 2022

Surveyor's Certificate

I, WILL PLOTNER JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr.
N.M.R.P.S. No. 14271

4/27/2022
Date



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com

Sheet 1 of 2
092192A

FOR INFORMATION ONLY

Project No. W0024.07

Zone Map No. D - 17 - Z

Sheet C -100 of

Benchmark -NAVD 88

ACS MONUMENT "13_D16" HAVING AN ELEVATION OF 5073.471 FEET.

Easement Notes

- 1
- EXISTING 10' P.U.E. (04/10/2003, BK. 3C, PG. 98) AND AS SHOWN ON PLAT (07/31/2018, BK. 2018C, PG. 100)

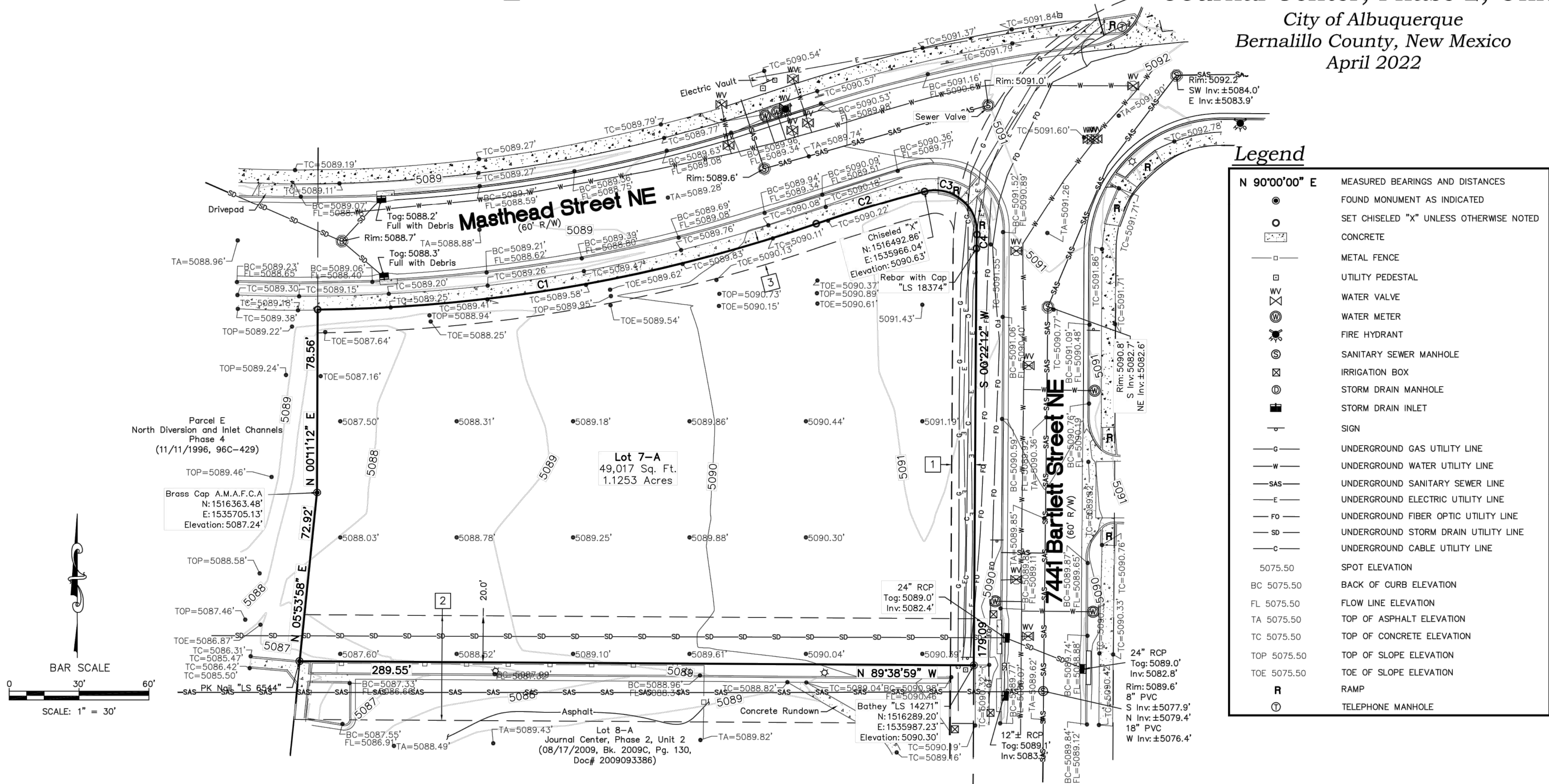
2

EXISTING 45' PUBLIC DRAINAGE EASEMENT & PUBLIC SANITARY SEWER EASEMENT (04/24/86, C3-78) AND AS SHOWN ON PLAT (07/31/2018, BK. 2018C, PG. 100)

3

EXISTING 10' P.U.E (07/31/2018, BK. 2018C, PG. 100)

Topographic Map
for
Lot 7-A
Journal Center, Phase 2, Unit 2
City of Albuquerque
Bernalillo County, New Mexico
April 2022



CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

Sheet 2 of 2
092192A

FOR INFORMATION ONLY

Project No. W0024.07

Zone Map No. D - 17 - Z

Sheet of C - 101

NAME: N:\Projects\w0024\modulus architects\w0024\22007\modulus bartlett\3_dwg\3_sheets\w0024.07 DRAINAGE PLAN.dwg PLOT DATE: May 17, 2023 10:27am

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Article 6-2

Runoff Rate:

Treatment Type Areas

Subbasin	Area _A (ac)	Area _B (ac)	Area _C (ac)	Area _D (ac)	Total (ac)
A	0.00	0.15	0.15	0.83	1.13
Total	0.00	0.15	0.15	0.83	1.13

Peak Discharge values based on Zone 2 from Table 6.2.14

$$Q_A = 1.71 \text{ cfs/ac} \quad Q_B = 2.36 \text{ cfs/ac} \quad Q_C = 3.05 \text{ cfs/ac} \quad Q_D = 4.34 \text{ cfs/ac}$$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation 6.6

Subbasin	Discharge (cfs)
A	4.4
Total	4.4

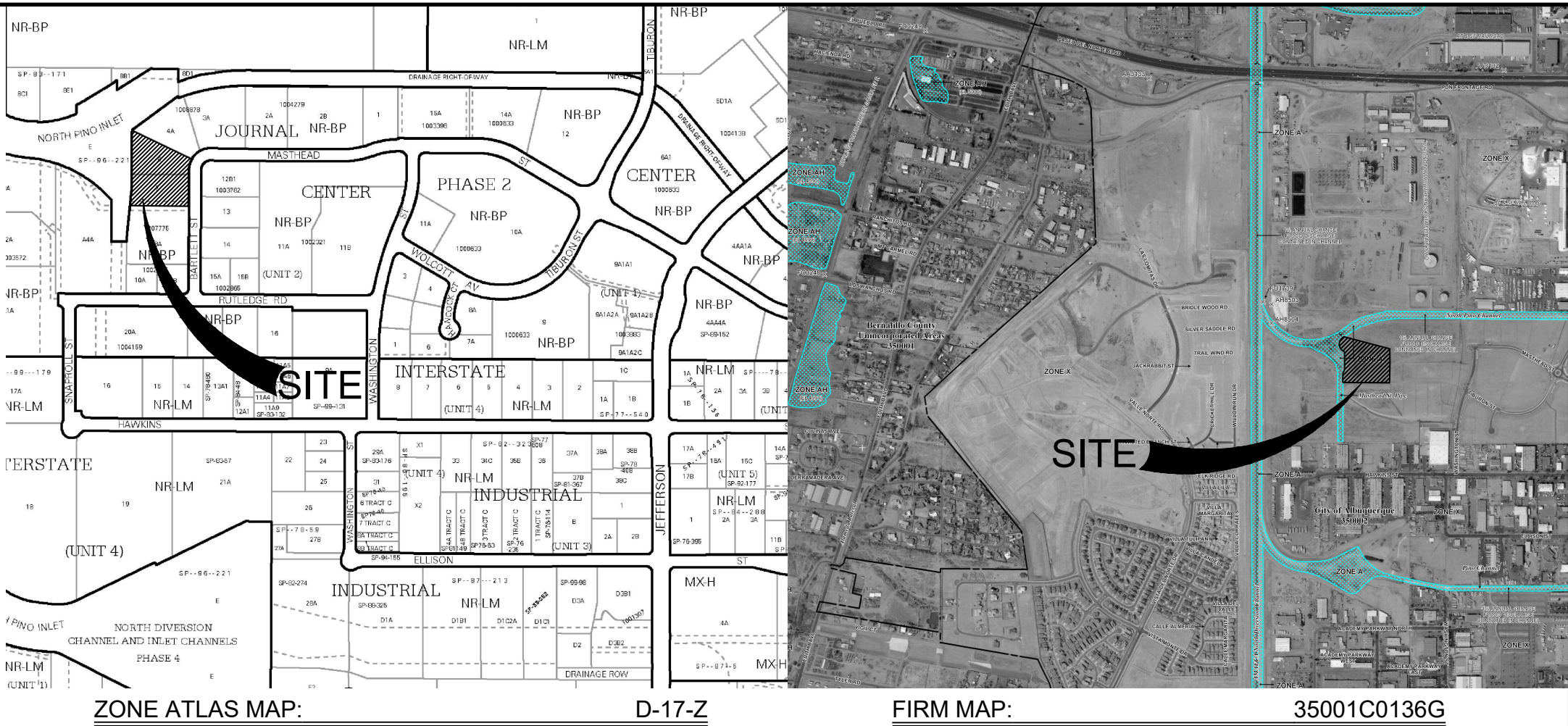
Water Quality:

Required Water Quality volume for first flush of 0.42"

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu. ft.)	Net Volume (cu. ft.)
A	1,262	0	-1,262

ABBREVIATIONS

ABCWUA	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
AC	ACRE
BP	BOTTOM OF POND
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
MAX	MAXIMUM
MIN	MINIMUM
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
TF	TOP OF FOOTING
TP	TOP OF POND
TW	TOP OF WALL
VOL	VOLUME
WQ	WATER QUALITY
WSEL	WATER SURFACE ELEVATION
WTR	WATER



BACKGROUND

LOT NUMBERED SEVEN-A (7-A) JOURNAL CENTER, PHASE 2, UNIT 2, IS APPROXIMATELY 1.1253 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED ON THE CORNER OF MASTHEAD ST NE AND BARTLETT ST NE, NORTH OF RUTLEDGE RD NE. LOT 7-A IS CURRENTLY UNDEVELOPED. THERE ARE STORM DRAIN INLETS IN THE NORTH WEST CORNER, SOUTHEAST CORNER. SOUTH OF THE PROPERTY IS A STORM DRAIN LINE. THE PROPOSED PROJECT IS AN BUSINESS COMPLEX WITH TWO BUILDINGS AND A PARKING LOT. THE DRAINAGE REPORT FOR MASTHEAD STREET EXTENSION, BY ISAACSON & ARFMAN, INC. 2019 SHOULD BE REFERENCED FOR BACKGROUND RELATED TO THIS PROPOSED DEVELOPMENT. PER THE AFORMENTIONED DRAINAGE REPORT, THE SITE IS ALLOWED FREE DISCHARGE. RUNOFF TO MASTHEAD ST, BARTLETT ST, AND ALL ADJACENT EXISTING STORM SEWERS. ULTIMATELY DISCHARGE TO THE EXISTING DRAINAGE FACILITY ON THE NORTH SIDE OF MASTHEAD ST. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.42". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE SITE, IN GENERAL, SLOPES FROM EAST TO WEST AT A SLOPE OF APPROXIMATELY 2%. STORM WATER RUNOFF GENERATED BY THE SITE DRAINS WEST AND THEN SOUTH UNTIL ULTIMATELY ENTERING AN EXISTING INLET NEAR THE SOUTHWEST CORNER OF THE SITE. THE EXISTING STORM SEWER THEN CONVEYS THE RUNOFF FROM THE SITE INTO A DRAINAGE FACILITY ON THE NORTH SIDE OF MASTHEAD ST, IN CONFORMANCE TO THE DRAINAGE MASTERPLAN BY ISSACSON ARFMAN.

DEVELOPED CONDITIONS

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN.

SUB-BASIN A CONTAINS 1.12 ACRES AND GENERATES 4.4 CFS. THIS SUB-BASIN WILL SLOPE TOWARDS THE SOUTHWEST CORNER OF THE SITE AND WILL BE CAPTURED BY A PROPOSED INLET THAT WILL CONNECT TO THE EXISTING PUBLIC STORM DRAIN ALONG THE SOUTHERN BOUNDARY OF THE SITE.

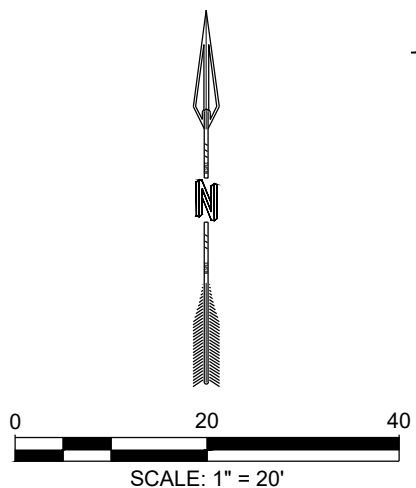
RUNOFF FROM THE ROOF DOWNSPOUTS IS CONVEYED VIA LANDSCAPE SWALES TO PROPOSED SIDEWALK CULVERTS.

THE WATER QUALITY TABLE ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS.

WATER QUALITY IS ADDRESSED BY FEE IN-LIEU.

LEGEND:

XX	BASIN DESIGNATION	BASIN NAME AND AREA
XX	BASIN AREA, ACRES	
XX	100 YEAR STORM, CFS	BASIN HYDROLOGIC RESULTS
XX	REQUIRED WATER QUALITY VOLUME	
	SUB-BASIN BOUNDARY	
	FLOW ARROW	
	FLOWLINE	
	HIGHPOINT	



DESIGNED	JS
DRAWN	LM
CHECKED	JS
DATE	5.17.2023

REVISION

1	
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RESPEC COMMUNITY DESIGN SOLUTIONS
7770 JEFFERSON STREET SUITE 200
ALBUQUERQUE, NM 87117
WWW.RESPEC.COM PHONE (505) 253-9718

RESPEC

STAMP

SHELDON E. GREER
NEW MEXICO
17154
LICENSED PROFESSIONAL ENGINEER
5/17/2023

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

nm811
Know what's below.
Call before you dig.
PROJ. #: W0024.07

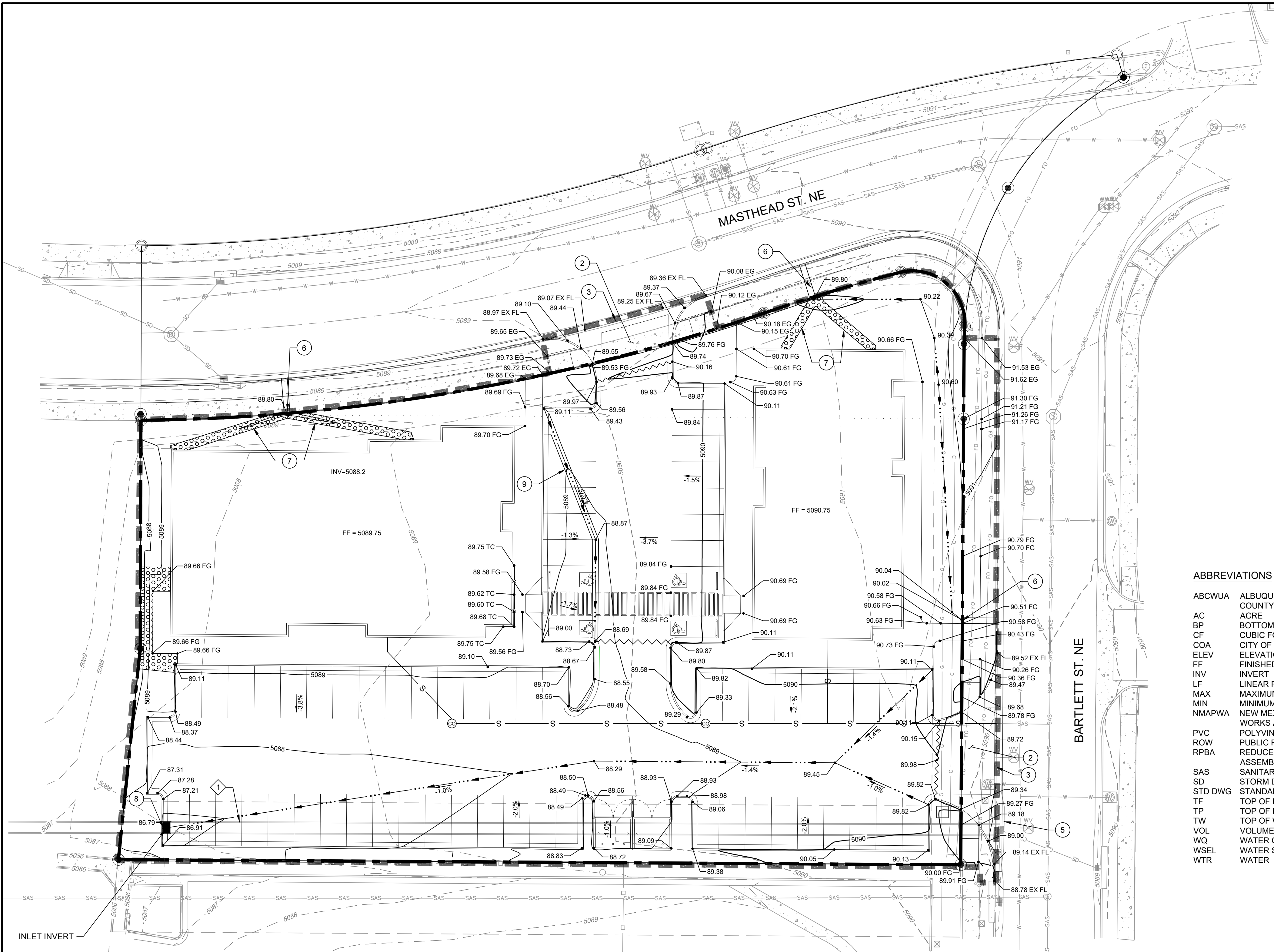
PROJECT NAME: BARTLETT DEVELOPMENT

SHEET TITLE: DRAINAGE PLAN

SUBMITTED FOR: BUILDING PERMIT

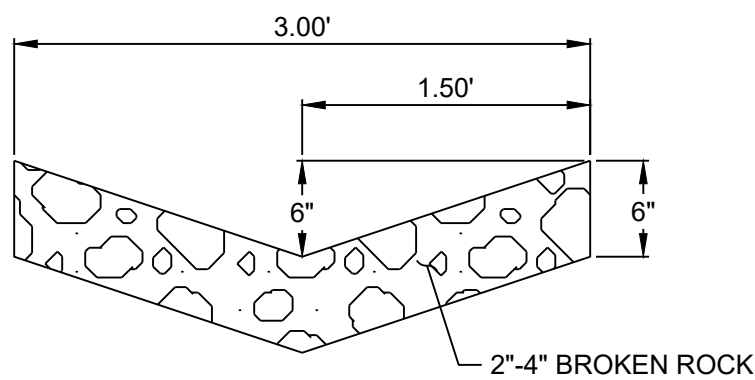
SHEET NUMBER: C-102

NAME: N:\Projects\w0024\07\modulus architects\w0024\22007\modulus bartlett3.dwg3_sheets\w0024\07 GRADING PLAN.dwg PLOT DATE: May 17, 2023 10:27am



PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 ~ "SO-19")

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.



ROCK SWALE DETAIL
NOT TO SCALE

ABBREVIATIONS

ABCWUA	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
AC	ACRE
BP	BOTTOM OF POND
CF	CUBIC FOOT
COA	CITY OF ALBUQUERQUE
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
MAX	MAXIMUM
MIN	MINIMUM
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
TF	TOP OF FOOTING
TP	TOP OF POND
TW	TOP OF WALL
VOL	VOLUME
WQ	WATER QUALITY
WSEL	WATER SURFACE ELEVATION
WTR	WATER

KEYNOTES:

- INSTALL SINGLE GRATE COA TYPE "D" STORM INLET (SEE COA STD DWG 2206) OR ENGINEER APPROVED EQUIVALENT.
- 1.5% CROSS-SLOPE ON CROSS WALK. LONGITUDINAL SLOPE MATCHES THE SLOPE OF THE PUBLIC STREET.
- MATCH ELEVATIONS AT EXISTING FLOWLINE.
- NOT IN USE
- CONVERT EXISTING INLET TO COA DOUBLE GRATE TYPE "D" INLET, SEE COA STD DWG 2206.
- INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL ROCK SWALE PER DETAIL ON THIS SHEET.
- INSTALL COA SINGLE GRATE TYPE "D" INLET, SEE COA STD DWG 2206.
- INSTALL ALLEY GUTTER PER COA STD DWG 2415B
- EXISTING PUBLIC 42" DIA RCP STORM DRAIN

LEGEND:

- PROPERTY BOUNDARY
- 5270 PROPOSED MAJOR CONTOUR
- 5272 PROPOSED MINOR CONTOUR
- 5270 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- LIMITS OF DISTURBANCE
- LOCATION OF EXPOSED FOOTING
- PROPOSED HIGH POINT
- FLOWLINE
- 4" - 6" DIAMETER BROKEN ROCK INSTALLED WITH 6" TYPICAL DEPTH

SPOT ELEVATION SYMBOLS

- 20.00 FLOWLINE
- 20.00 EG TOP OF EXISTING GROUND
- 20.00 FG TOP OF FINISHED GROUND
- 20.00 TC TOP OF CONCRETE
- 20.00 EX FL EXISTING FLOWLINE

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS FOR CURB AND GUTTER AND HANDICAP RAMP DETAILS.
- CONTRACTOR SHALL FIELD VERIFY SIZE'S AND LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENTS OF TOPSOIL.
- GRADE ADJACENT AREAS AT SITE PERIMETER SHALL MATCH GRADE OF ADJACENT PARCELS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS, AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- REFER TO GEOTECHNICAL EVALUATIONS REPORT BY TERRACON (TERRACON PROJECT NO. 66225109) DATED MAY 17, 2022.
- COMPOSITE SLOPE IN HANDICAP PARKING SHALL NOT EXCEED 2% IN ANY DIRECTION.
- CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
- LONGITUDINAL SLOPE ON CURB RAMP SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
- COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
- CROSS SLOPES ON SIDEWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ON ONSITE SIDEWALKS SHALL NOT EXCEED 5%.
- SLOPE LABELS SHOW APPROXIMATE SLOPES ONLY. WHERE SLOPE LABELS AND SPOT ELEVATION LABELS CONFLICT, SPOT ELEVATION LABELS SHALL GOVERN AND THE SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKING SHALL CONTACT THE ENGINEER.
- INSTALL PAVING PER PAVEMENT SECTION PER OWNERS DIRECTION.
- LONGITUDINAL SLOPES ON SIDEWALKS ADJACENT TO PUBLIC ROADS SHALL NOT EXCEED THE SLOPE OF THE PUBLIC ROAD.
- WHERE THIS PLAN IS SILENT REGARDING SURFACE TREATMENT, REFER TO THE LANDSCAPING PLAN. DISTURBED AREAS WITHOUT SURFACE IMPROVEMENTS SPECIFIED IN THE LANDSCAPING OR GRADING PLAN SHALL BE RESEEDED WITH A NATIVE SEEDING MIX. IF THE LANDSCAPING AND GRADING PLAN CONFLICT REGARDING SURFACE TREATMENTS, THE GRADING PLAN SHALL GOVERN.

DESIGNED JS	DRAWN LM	CHECKED JS	DATE 5.17.2023
RESPEC COMMUNITY DESIGN SOLUTIONS 1770 JEFFERSON STREET SUITE 200 ALBUQUERQUE, NM 87102 WWW.RESPEC.COM PHONE (505) 253-9718			
RESPEC			
STAMP			
SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 5/17/2023			
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED			
nm811 Know what's below. Call before you dig. PROJ. #: W0024.07			
PROJECT NAME: BARTLETT DEVELOPMENT			
SHEET TITLE: GRADING PLAN			
SUBMITTED FOR: BUILDING PERMIT			
SHEET NUMBER: C-103			