

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 16, 2022

Craig Calvert
Modulus Architects
100 Sun Ave. NE
Albuquerque, NM 87109

Re: 7441 Bartlett
7441 Bartlett St. NE
Traffic Circulation Layout
Architect's Stamp 11-22-22 (D17-D113)

Dear Mr. Calvert,

The TCL submittal received 11-23-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

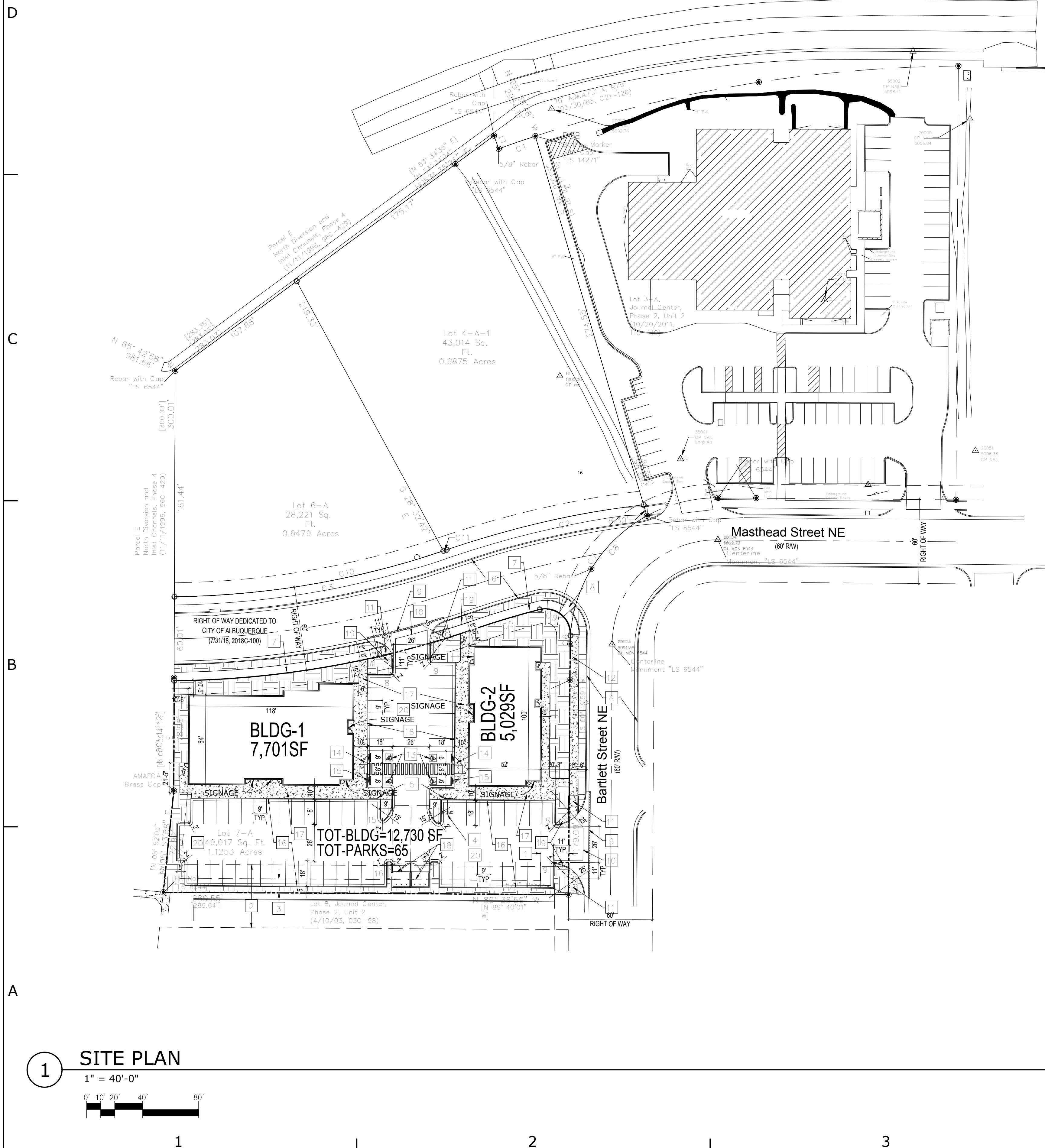
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

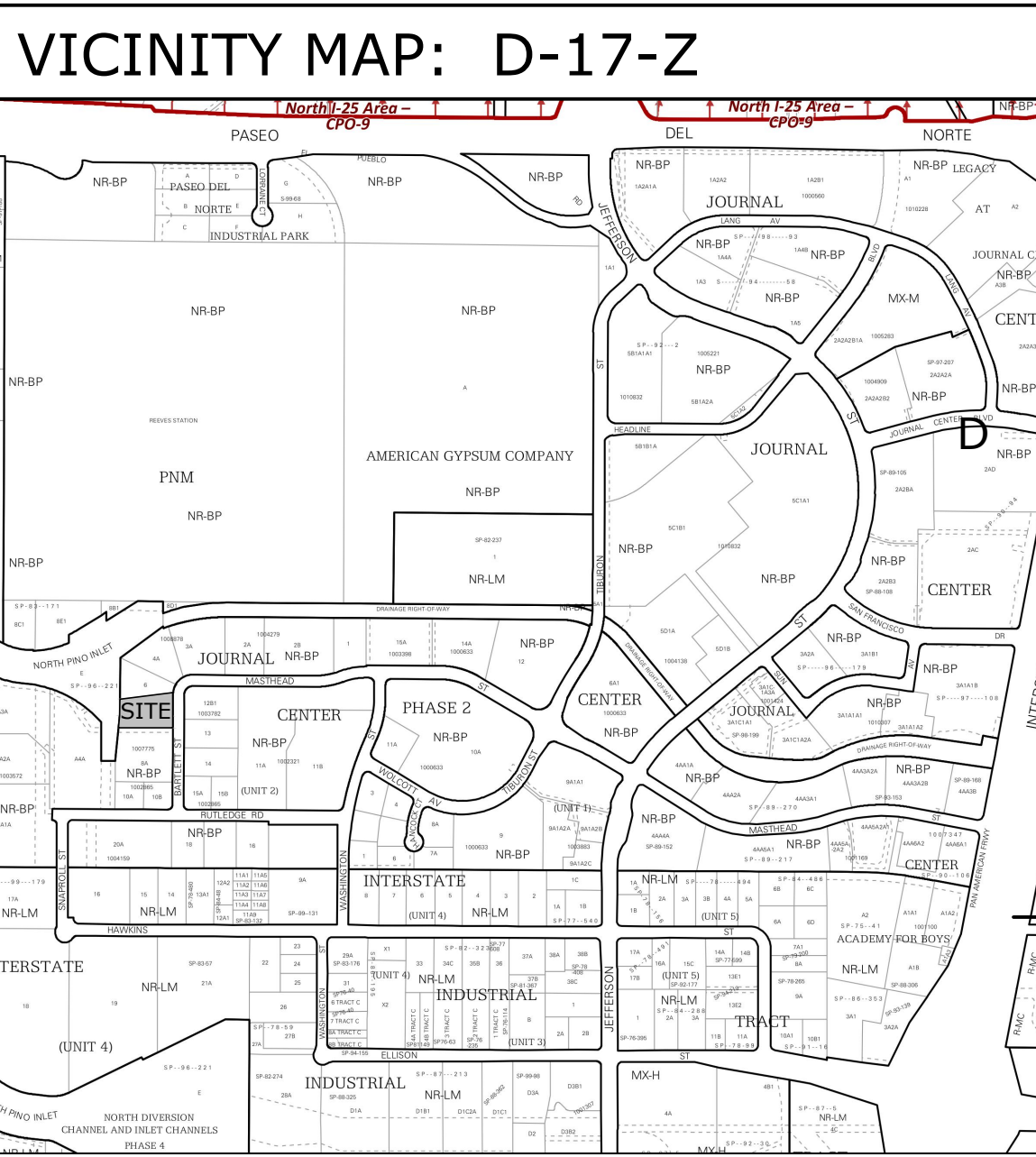
C: CO Clerk, File

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SITE DATA
PROPERTY ADDRESS: 7441 BARTLETT ST. NE
LEGAL DESCRIPTION: LOT 7-A JOURNAL CENTER, PHASE 2, UNIT 2
PROPERTY SIZE: 1.13 ACRES
CURRENT ZONING: NR-BP
PROPOSED USE: OFFICE PARK
TOTAL BUILDING SIZE: 12,730 SQUARE FEET
UPC NUMBER: 101706308022630421

**TRAFFIC CIRCULATION
LAYOUT APPROVED**
Ernest Amigo 12/16/2022
Signed Date



GENERAL NOTES
A. ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY TO BE IN A PUBLIC WORK ORDER AND APPROVED BY THE DRC.
B. ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER, WITHIN THE RIGHT OF WAY, TO BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER PER COA STANDARD DETAILS 2430 AND 2415A

- KEYNOTE LEGEND**
- 20'-0" SETBACK
 - EXISTING 45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT
 - 10'-0" SETBACK
 - MOTORCYCLE PARKING (2 SPACES), SEE SIGN DETAIL 12/AS502
 - BICYCLE PARKING (6 SPACES), SEE DETAIL 13/AS502
 - EXISTING CURB & GUTTER TO REMAIN
 - EXISTING CONCRETE SIDEWALK TO REMAIN
 - EXISTING ACCESSIBLE CURB RAMP TO REMAIN
 - SAWCUT & REMOVE ASPHALT PAVING, 12" WIDE BY LENGHT OF DRIVEWAY
 - INSTALL NEW PRIVATE ENTRANCE PER COA STD DETAILS 2426 & 2420
 - INSTALL NEW ACCESSIBLE CURB RAMP PER COA STD DETAIL 2440 & 2441
 - INSTALL NEW PUBLIC CONCRETE SIDEWALK PER COA STD DETAIL 2430
 - INSTALL NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 2/AS502
 - INSTALL NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 15/AS501
 - INSTALL ACCESSIBLE PARKING SIGN, SEE DETAIL 11/AS502
 - INSTALL CONCRETE CURB & GUTTER, SEE DETAIL 10/AS501
 - INSTALL CONCRETE SIDEWALK, SEE DETAIL 7/AS501
 - INSTALL NEW REFUSE ENCLOSURES PER DETAILS ON AS503
 - CLEAR SIGHT TRIANGLE - NO OBSTRUCTIONS TO VIEW, BETWEEN 3' AND 8' ABOVE THE GUTTER LINE SHALL BE PLACED OR MAINTAINED WITHIN SHADED AREA
 - INSTALL NEW HOT-MIX ASPHALT PAVING, REFER TO GEO-TEST GEOTECHNICAL REPORT, DATED 5-16-2022, FOR PAVING RECOMMENDATIONS

PARKING CALCULATIONS
OFF-STREET PARKING:
3.5 SPACES PER 1000 SF
BUILDING 1: 7,701 SF
BUILDING 2: 5,029 SF
 $12,730/1,000 = 12.73$
 $12.73 \times 3.5 = 44.555$
45 SPACES REQUIRED
TOTAL OFF-STREET PARKING PROVIDED = 65 SPACES
ACCESSIBLE: 36-50 SPACES = 3 SPACES REQUIRED (1 BEING VAN ACCESSIBLE)
4 ACCESSIBLE SPACES PROVIDED (ALL VAN ACCESSIBLE)
MOTORCYCLE PARKING:
26-50 OFF-STREET PARKING = 2 SPACES
2 SPACES REQUIRED
2 SPACES PROVIDED
BICYCLE PARKING:
NON-RESIDENTIAL USES = 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER
10% OF 45 SPACES = 4.5
5 SPACES REQUIRED
6 SPACES PROVIDED

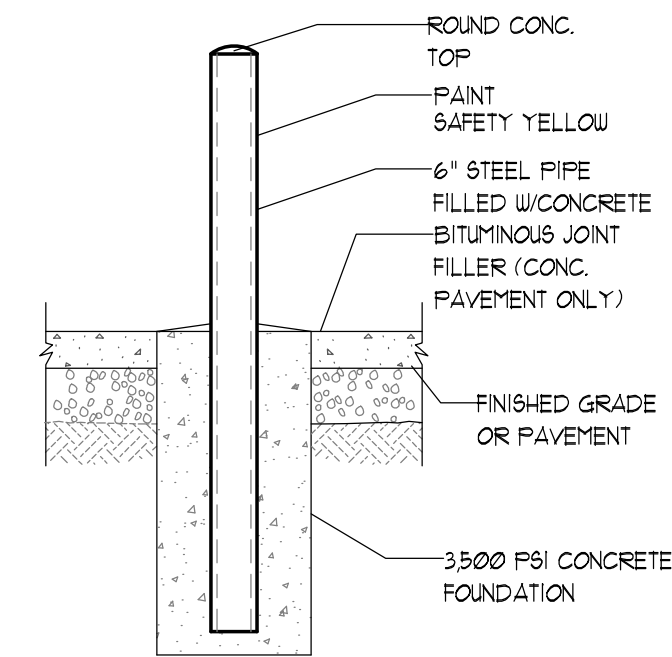
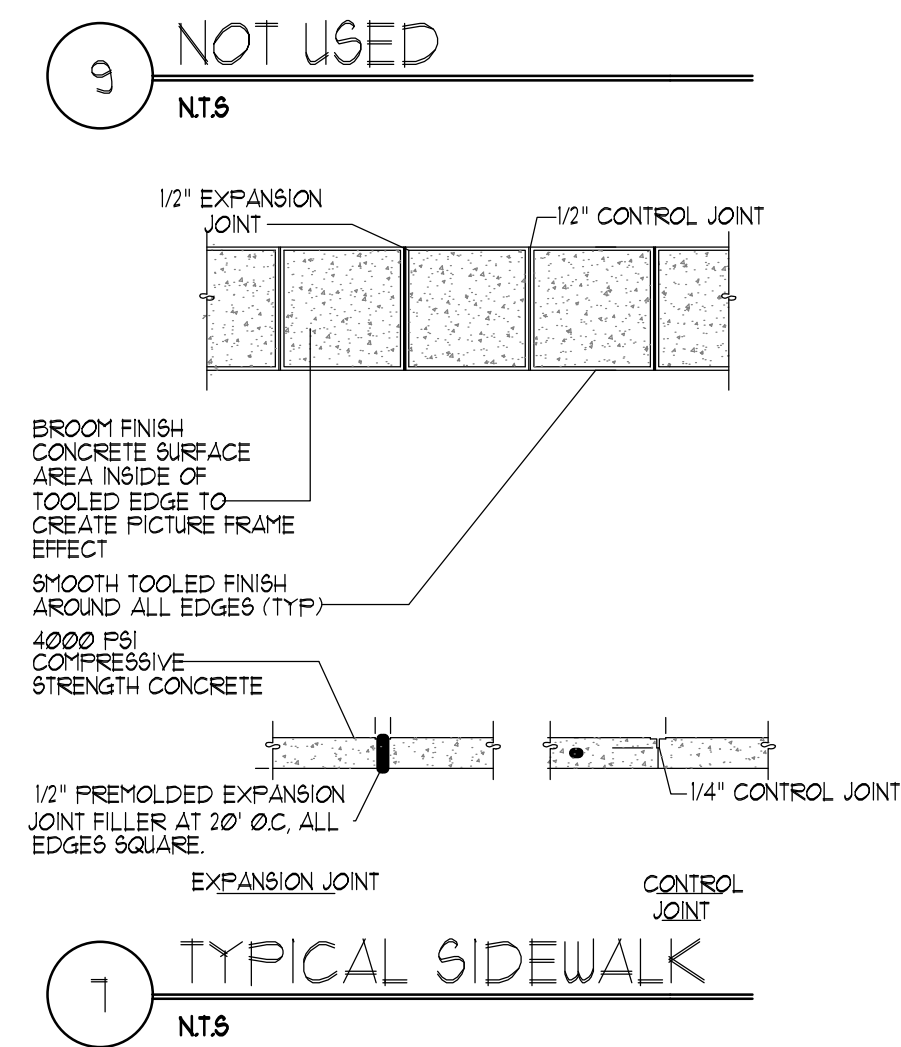
SITE LEGEND
LANDSCAPED AREAS, REFER TO LANDSCAPE PLAN
EXISTING BUILDING AND PROPERTY NOT PART OF SCOPE

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNDA
No. 4218
11-22-22

PROJECT TITLE 7441 BARTLETT	DATE 11/22/22	SHEET AS101
7441 BARLETT ST NE, ALBUQUERQUE NM 87109	JOB NO. XXX	
PROJECT MANAGER JPF	DRAWN BY: XXX	
SHEET TITLE SITE PLAN		

A



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 12/16/2022

Signed Date

PROJECT TITLE

BARTLETT OFFICES

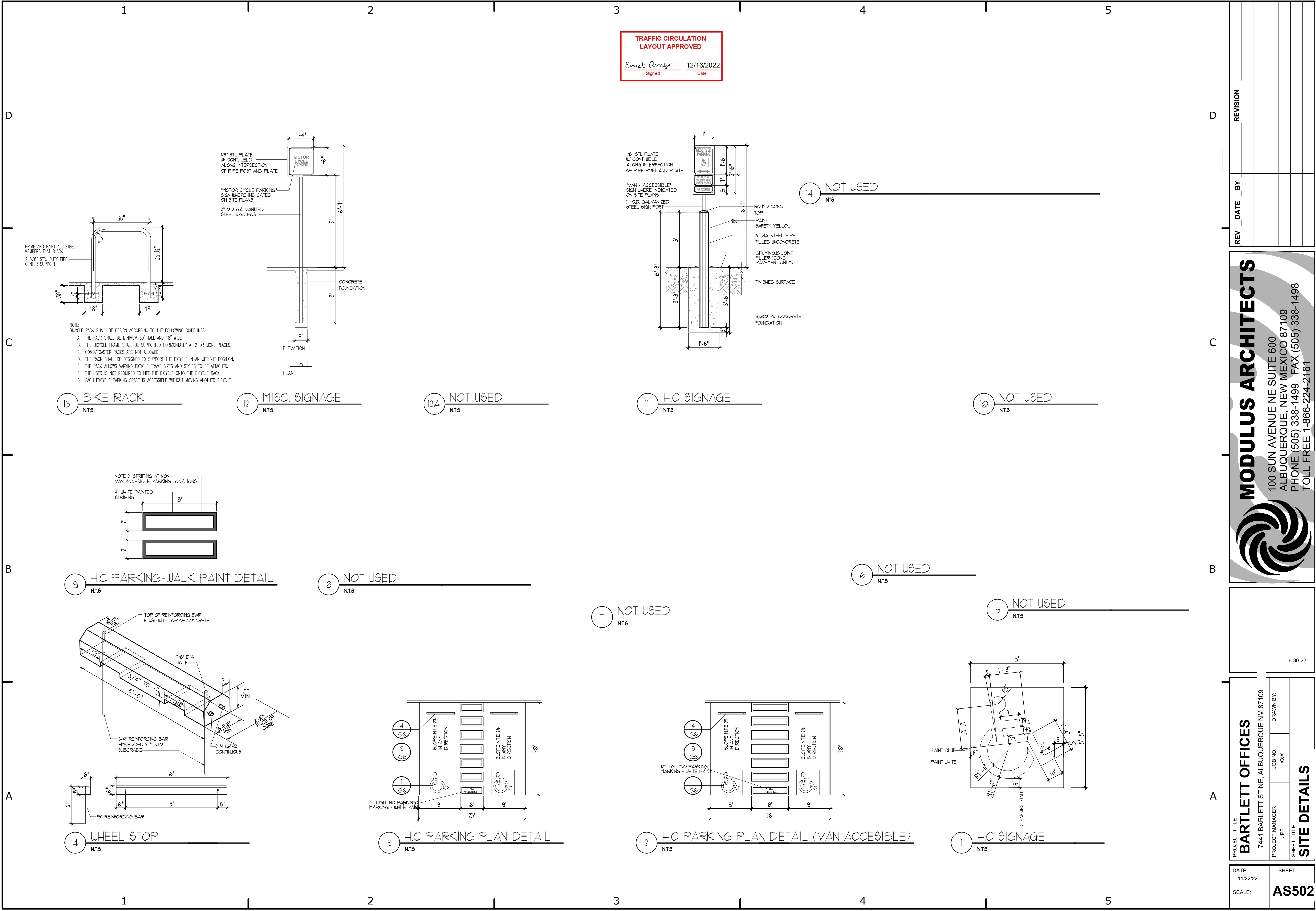
7441 BARTLETT ST NE, ALBUQUERQUE NM 87109

PROJECT MANAGER	JPF	JOB NO.	XXX	DRAWN BY:
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SHEET TITLE

SITE DETAILS

DATE 11/22/22	SHEET
SCALE:	AS501



MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

BARTLETT OFFICES
7441 BARLETT ST NE, ALBUQUERQUE NM 87109
PROJECT TITLE
JOB NO. XXX
DRAWN BY:
JPF
SHEET TITLE
SITE DETAILS

DATE 11/22/22
SCALE: AS502