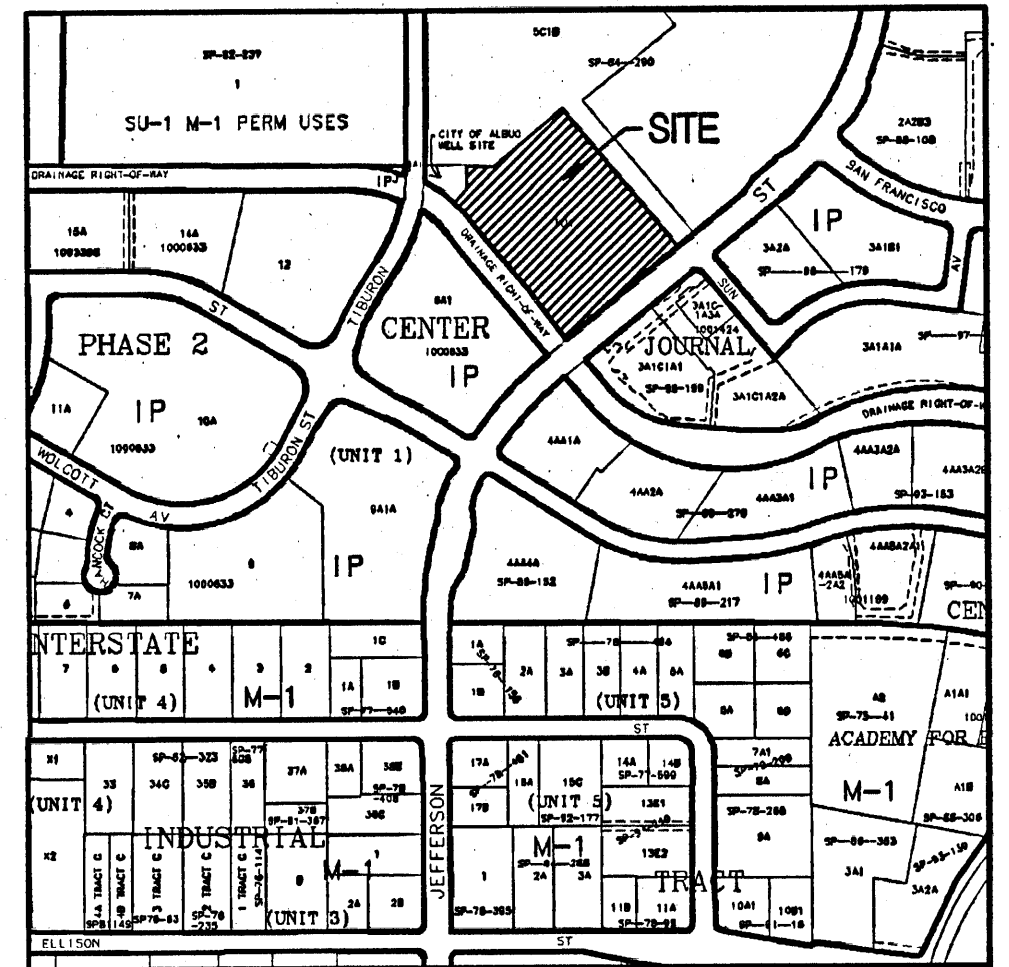


**Journal Center Tract 5
Office Buildings A & B
7601 Jefferson NE
Albuquerque, New Mexico**



LEGAL DESCRIPTION.

JOURNAL CENTER TRACT 50-1

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a conceptual grading and drainage plan for the proposed Office Buildings in Journal Center (Tract 50-1). The site is located to the southwest by Jefferson and to the southeast by the North Pina Arroyo Concrete Channel. The project will include two office buildings along with parking and landscaped areas. This submittal is in support of site plan approval for DRB approval.

II. SITE LOCATION

The site is located within zone atlas map # D-17-Z. In reference to the Federal Emergency Management Agency map #55001C03JF, there is a 1% annual chance flood zone adjacent to the site. This flood elevation is contained in the AMAFCA North Pina Arroyo Concrete Channel along the northern border of the site.

III. EXISTING HYDROLOGIC CONDITIONS

The site encompasses approximately 5.8 acres with an additional 0.22 acre acquired for an access easement from the site to Tiburon. The site is undeveloped and existing slopes range between 1 to 3% to the west. Currently, the majority of the site drains via surface flow into the adjacent channel (North Pina Arroyo) and partially into Tiburon Ave.

Under existing conditions, this site has a 100yr discharge of 16.98cfs. The associated land treatments for the existing conditions are 20% land treatment A and 80% land treatment C. The analysis of the existing hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual.

IV. PROPOSED HYDROLOGIC CONDITIONS

The proposed project includes construction of two office buildings, combined with parking and landscaped areas. According to the approved drainage report for Journal Center, this site has free discharge into the North Pina Arroyo. The entire site drains into the North Pina Arroyo via a concrete runoff. There is a small portion of the access easement that will drain via surface flow to Tiburon. The significant amount of drainage will not have an adverse effect on the downstream system with Tiburon. The total 100 year peak discharge entering the North Pina Arroyo from this site is 27.45cfs. The associated land treatments for the developed site are 10% land treatment C and 90% land treatment B. The analysis of the proposed hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual. See Basin Data table for associated computations.

V. CONCLUSION

The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. With this submittal we are seeking hydrology approval in support of site plan approval.

JOURNAL CENTER OFFICE BUILDING BASIN CALCULATIONS										
Development Conditions Basin Data Table										
BASIN	Area (SQ. FT.)	Area (AC.)	This table is based on the DPM Section 22.2, Zone 12 Land Treatment Percentages:				Q(100) (cfs/acre)	Q(100) (cfs)	WTE (inches)	V(100)600 (CF)
			A	B	C	D				
Existing	283160	6.04	20.0%	0.0%	80.0%	0.0%	2.82	17.08	1.01	22148
Proposed	283160	6.04	0.0%	0.0%	10.0%	90.0%	4.54	27.45	2.02	44321

REVISIONS

△
△
△
△
△
△

DRAWN BY

REVIEWED BY

DATE 4/12/05

PROJECT NO.

DRAWING NAME

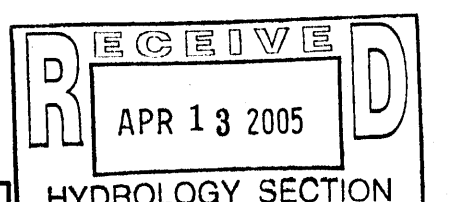
**DRAINAGE
MANAGEMENT
PLAN**

SHEET NO.

0001

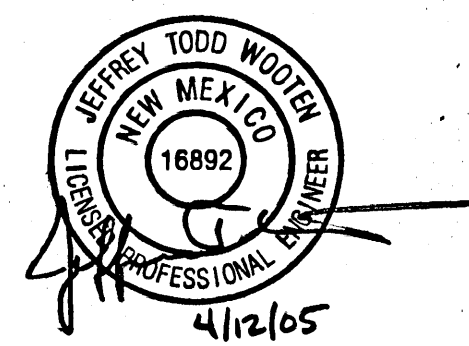
Bohannon & Huston

Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



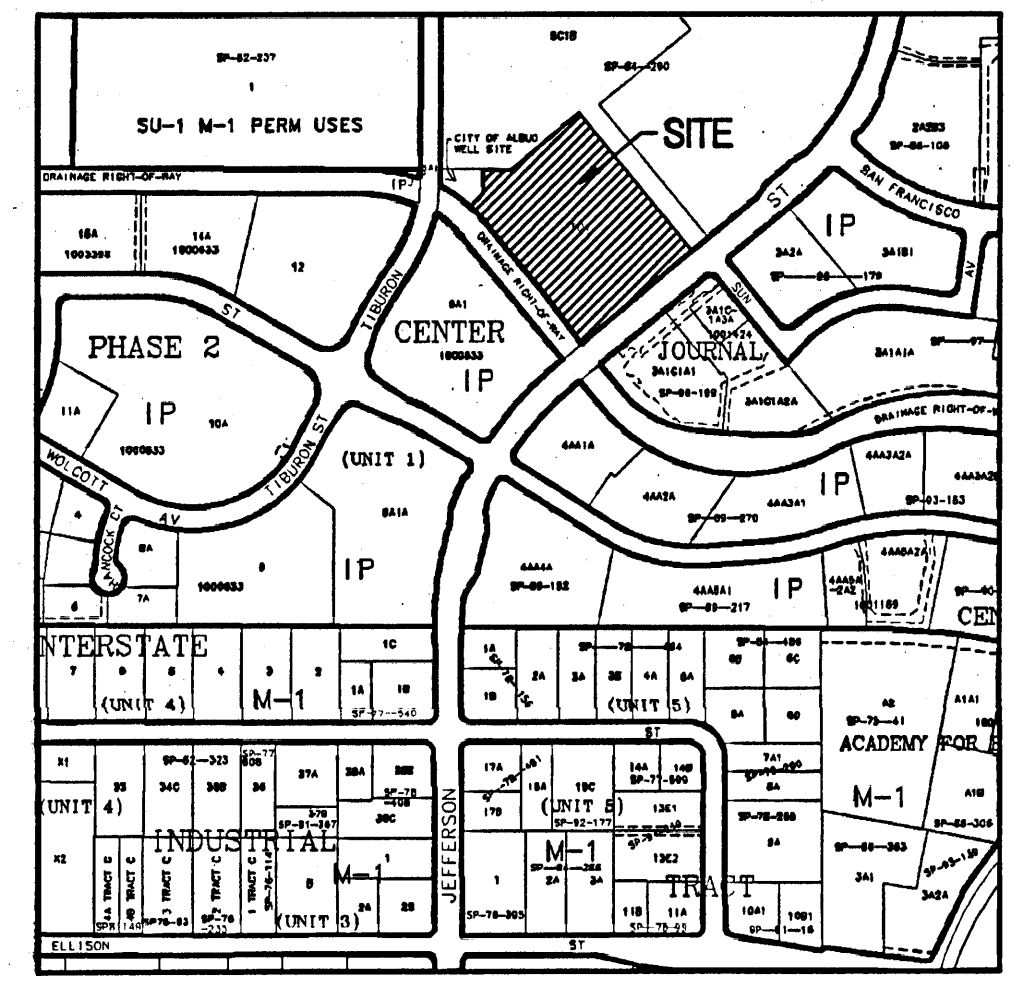
**PRELIMINARY
NOT FOR CONSTRUCTION**

ENGINEER



PROJECT

**Journal Center Tract 5
Office Buildings A & B
7601 Jefferson NE
Albuquerque, New Mexico**



ZONE ATLAS PAGE D-17-Z

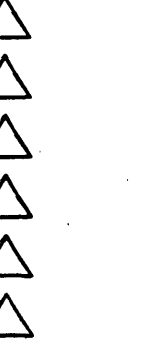
LEGAL DESCRIPTION

JOURNAL CENTER TRACT 50-1

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- 65.23 EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FLOW LINE
- TO-TOP OF WALL, BW-BOTTOM OF WALL
- EX-EXISTING, TO-TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE

REVISIONS



DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

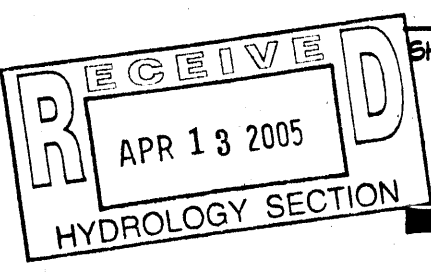
CONCEPTUAL

GRADING &

DRAINAGE PLAN

Bohannon & Kuston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4336
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



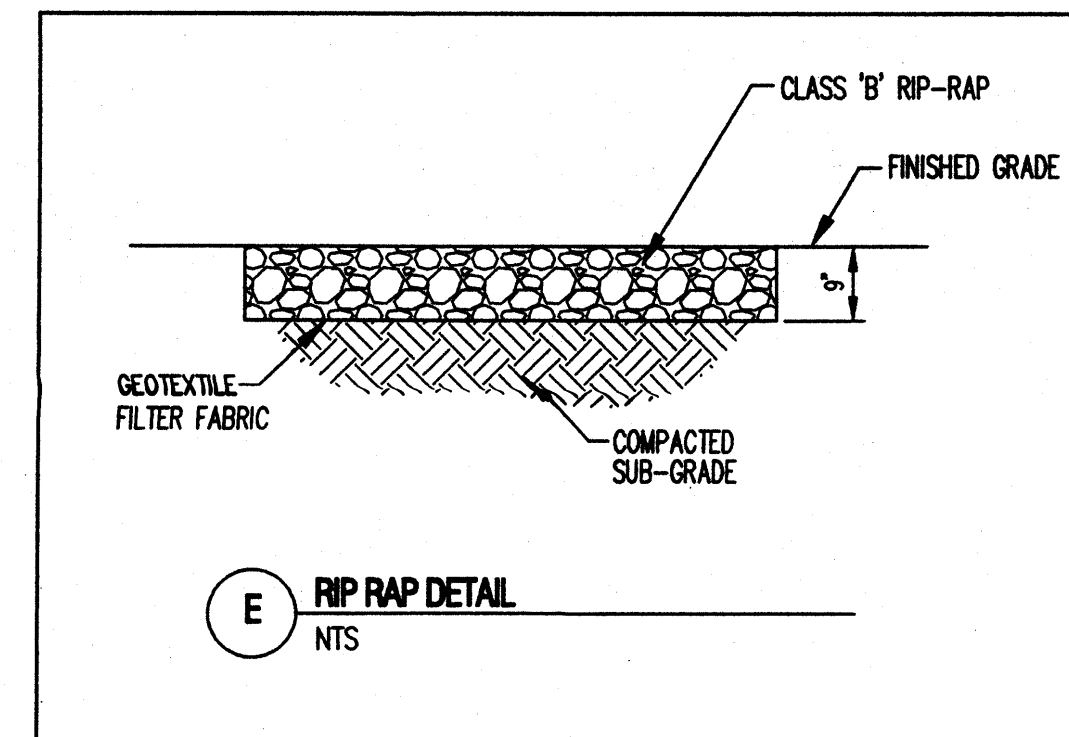
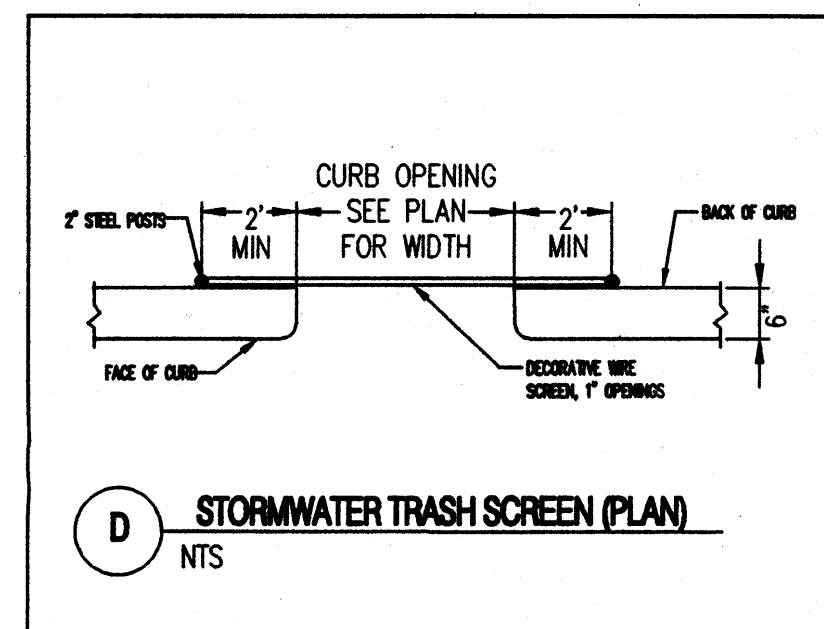
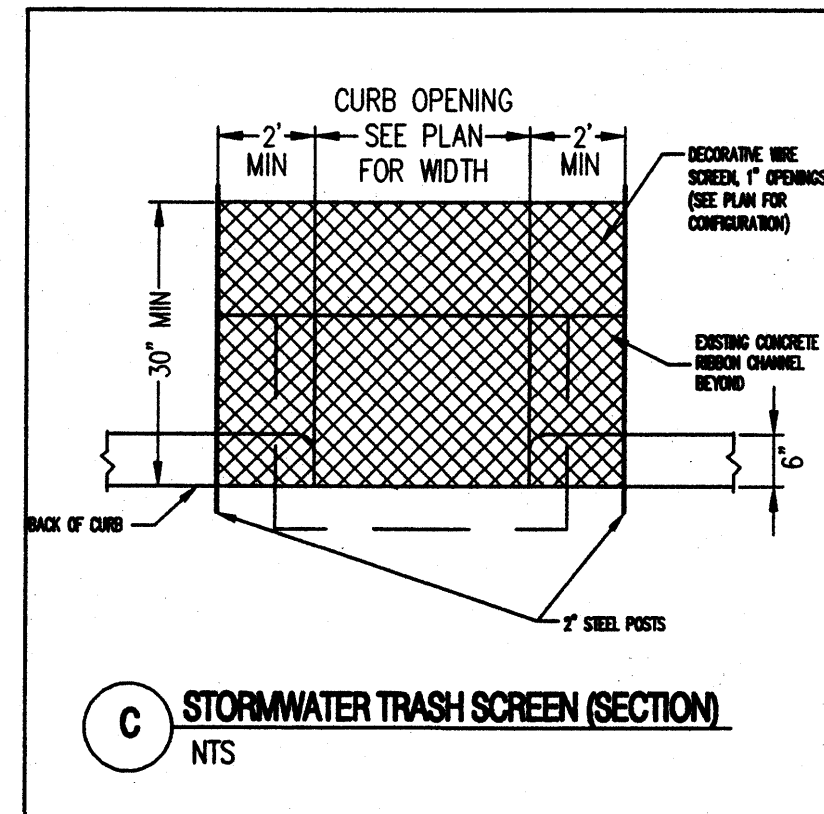
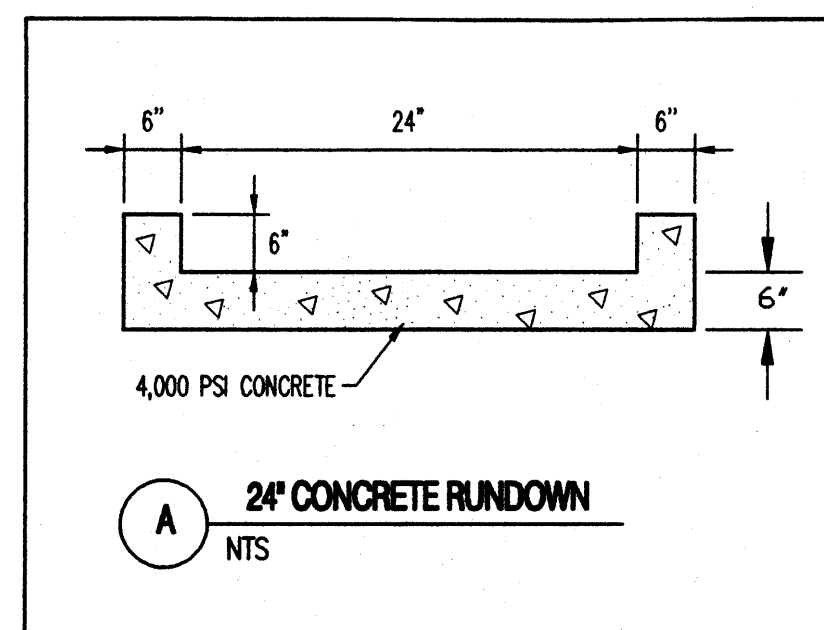
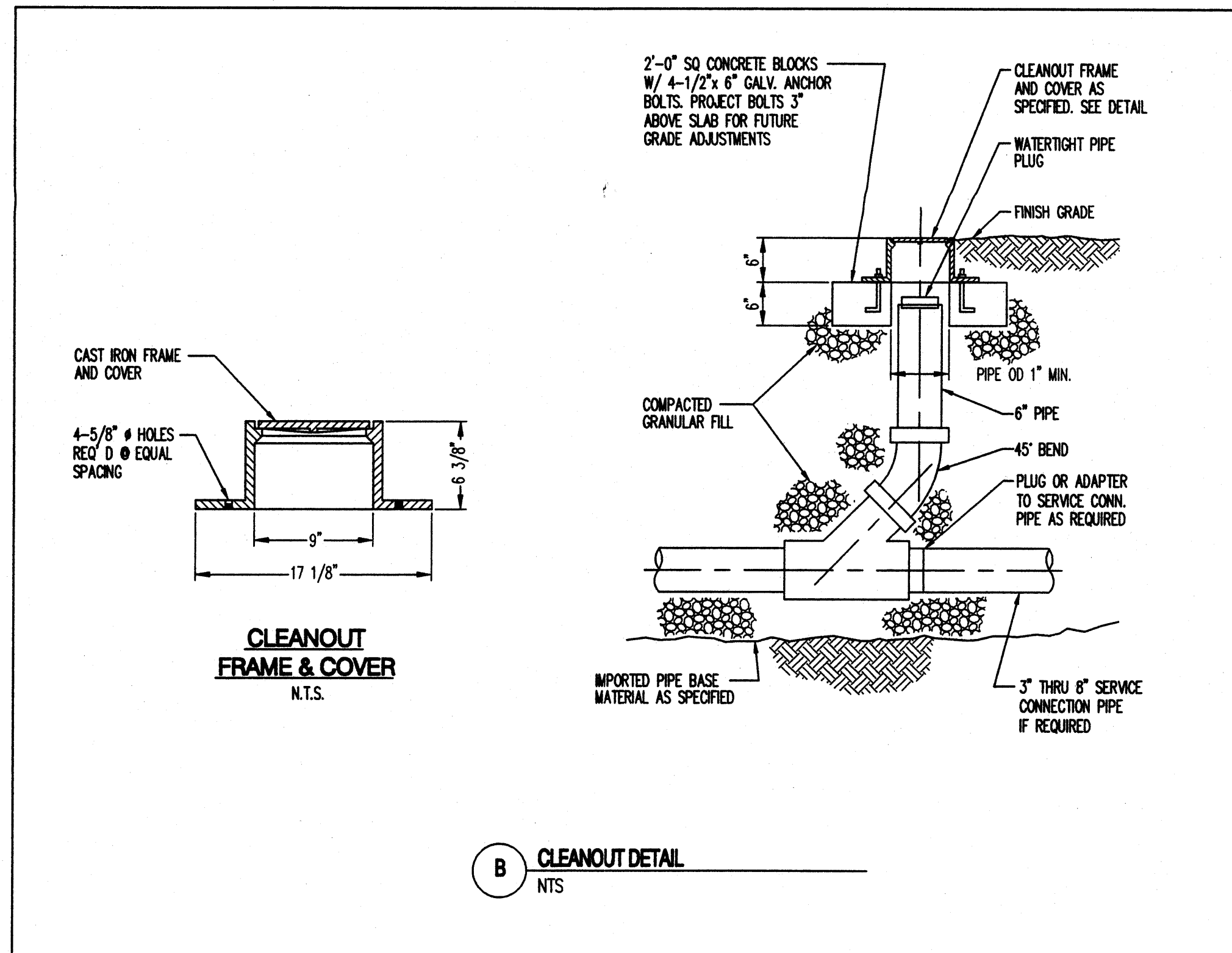
SHEET NO.

0001

OF

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADEING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADEING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.



**Journal Center Tract 5
Office Building A
7601 Jefferson NE
Albuquerque, New Mexico 87109**

REVISIONS

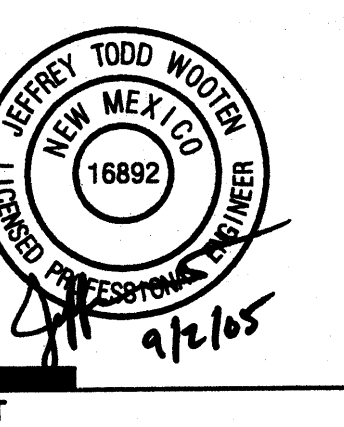
△
△
△
△
△

DRAWN BY: CM
REVIEWED BY: JTM
DATE: 8/18/05
PROJECT NO.: 04186
DRAWING NAME:

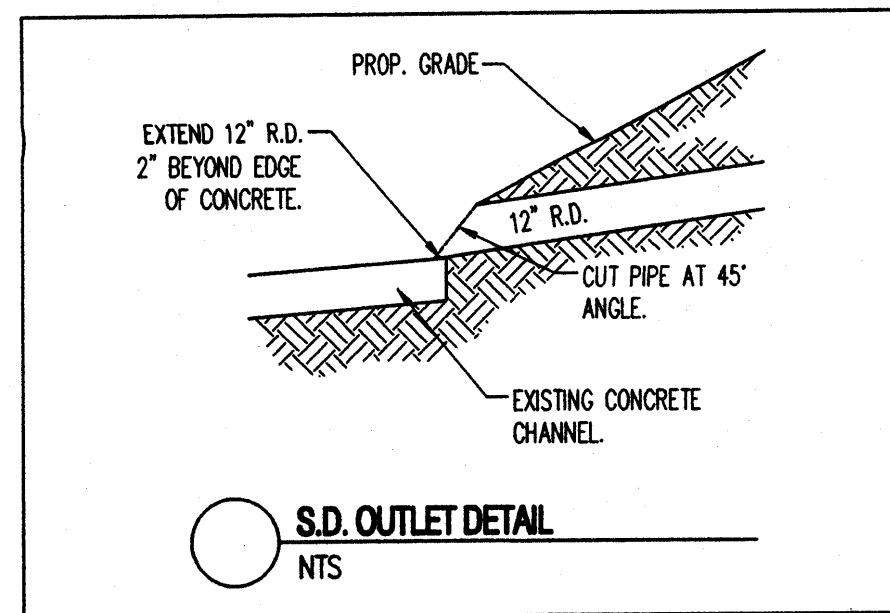
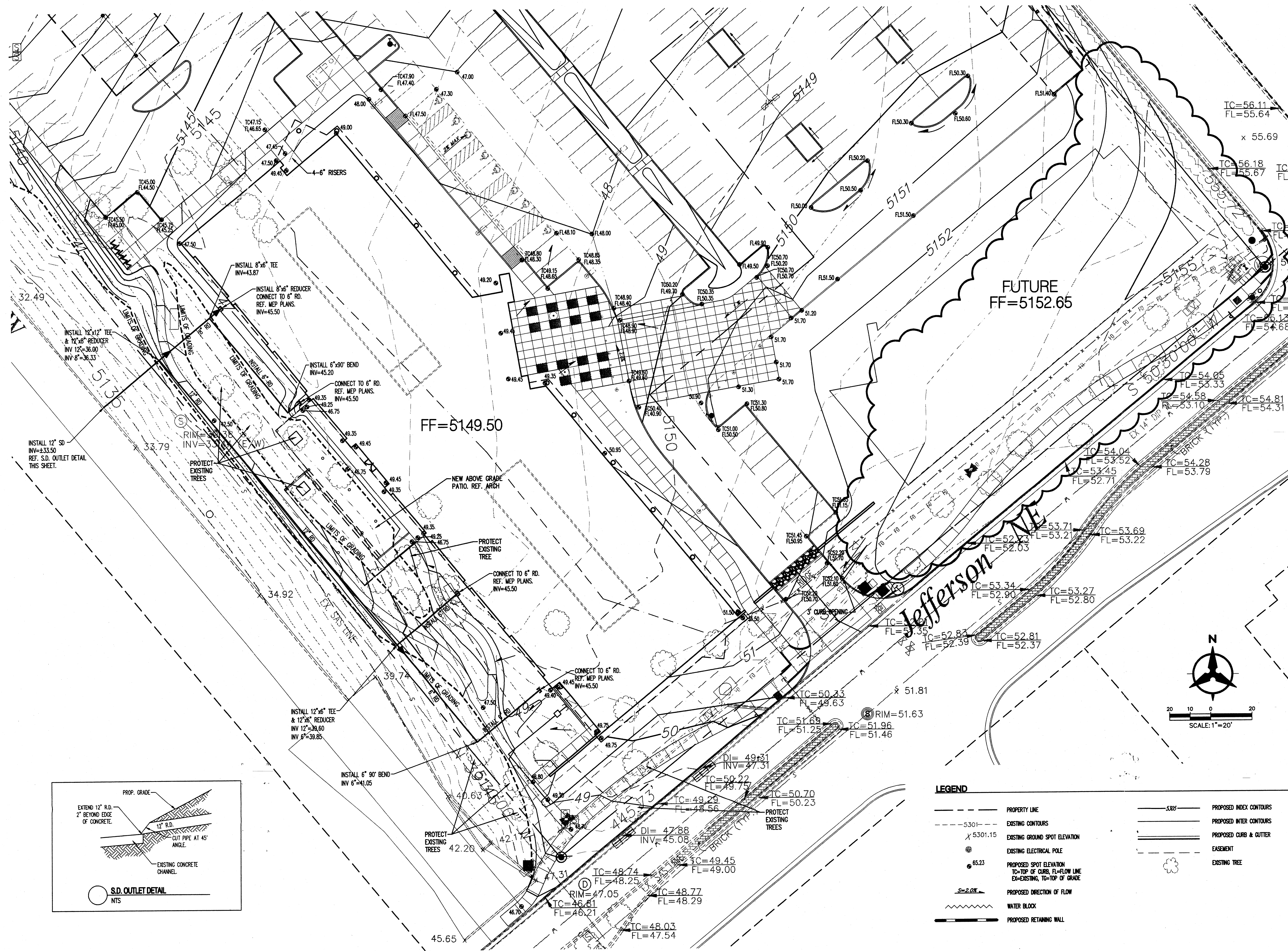
**SITE DETAILS &
GENERAL NOTES**

SEP 02 2005
HYDROLOGY SECTION
SHEET NO. **C104**
OF

Bohannon & Huston
Courtney I 7600 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

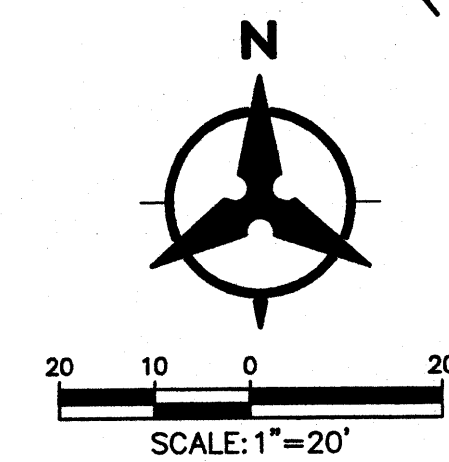


**Journal Center Tract 5
Office Building A**
7601 Jefferson NE
Albuquerque, New Mexico 87109



LEGEND

—	PROPERTY LINE	—	PROPOSED INDEX CONTOURS
- - -	EXISTING CONTOURS	—	PROPOSED WATER CONTOURS
5301.15	EXISTING GROUND SPOT ELEVATION	—	PROPOSED CURB & GUTTER
65.23	EXISTING ELECTRICAL POLE	—	EASEMENT
65.23	PROPOSED SPOT ELEVATION	—	EXISTING TREE
5301.15	TO-TOP OF CURB, FL=FLOW LINE		
5301.15	EX=EXISTING, TO-TOP OF GRADE		
5301.15	PROPOSED DIRECTION OF FLOW		
5301.15	WATER BLOCK		
5301.15	PROPOSED RETAINING WALL		

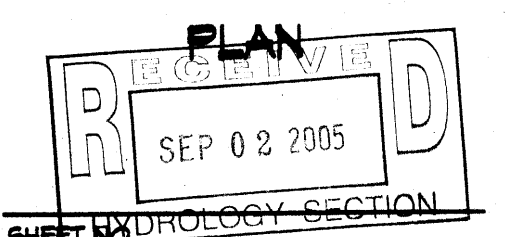


REVISIONS

△	
△	
△	
△	
△	
△	

DRAWN BY	CM
REVIEWED BY	JTM
DATE	8/18/05
PROJECT NO.	04186
DRAWING NAME	

DETAILED GRADING



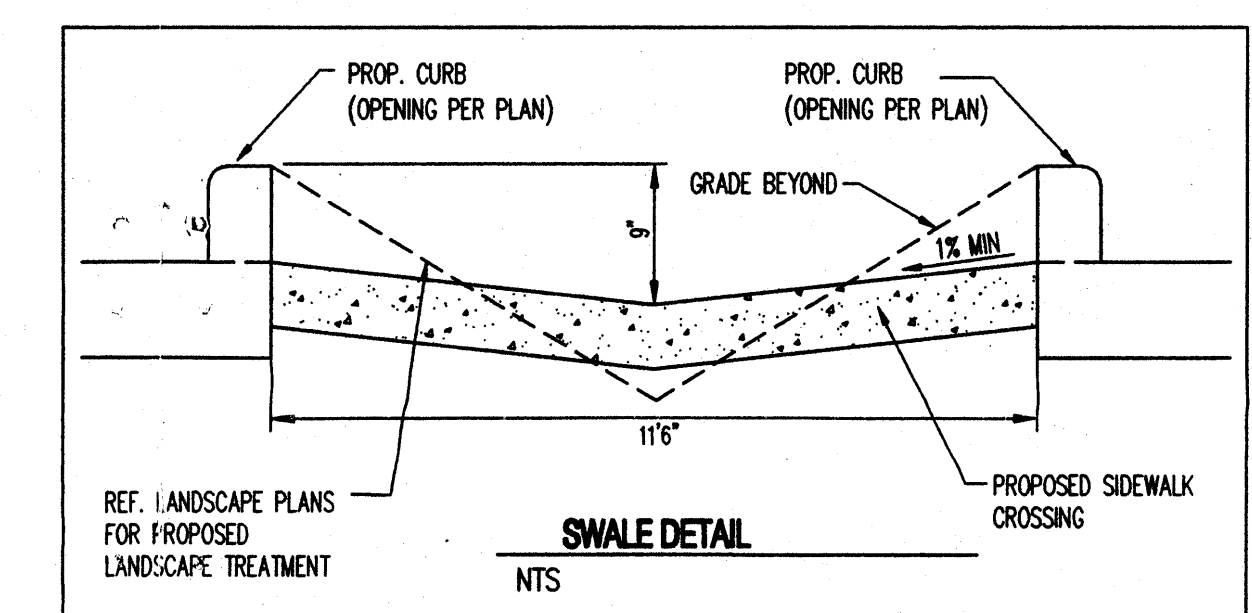
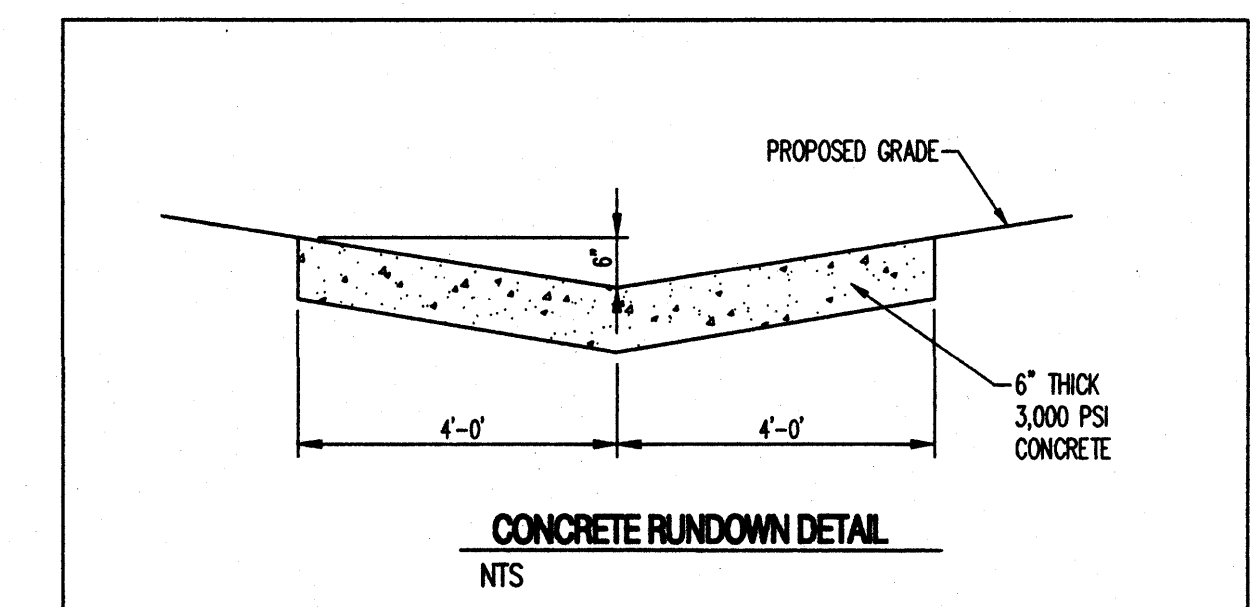
C102

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CDA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

---	PROPERTY LINE	---	PROPOSED INDEX CONTOURS
---	EXISTING CONTOURS	---	PROPOSED INTER CONTOURS
5301.15	EXISTING GROUND SPOT ELEVATION	---	PROPOSED CURB & GUTTER
65.23	EXISTING ELECTRICAL POLE	---	EASEMENT
65.23	PROPOSED SPOT ELEVATION	---	EXISTING TREE
TC=50.06	TC=TOP OF CURB, FL=FLOW LINE		
EX=EXISTING, TO=TOP OF GRADE			
S=2.0%	PROPOSED DIRECTION OF FLOW		
---	WATER BLOCK		
---	PROPOSED RETAINING WALL		



BENCHMARK
ACS Brass Cap stamped "I-25-14"
.90 miles along East Frontage Road to NM State Hwy. 3 Office
Station set on top of concrete post flush with ground.
Geographic Position (NAD 1927), in feet
N.M. State Plane Coordinates (Central Zone)
X=399,828.26, Y=1,514,860.92
Elevation= 5196.73 (NGVD29) in feet

REFERENCE SHEET C102 FOR DETAIL GRADING IN THIS AREA

Bohannon & Huston

Courtyard | 7600 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

OVERALL GRADING

DRAINAGE PLAN

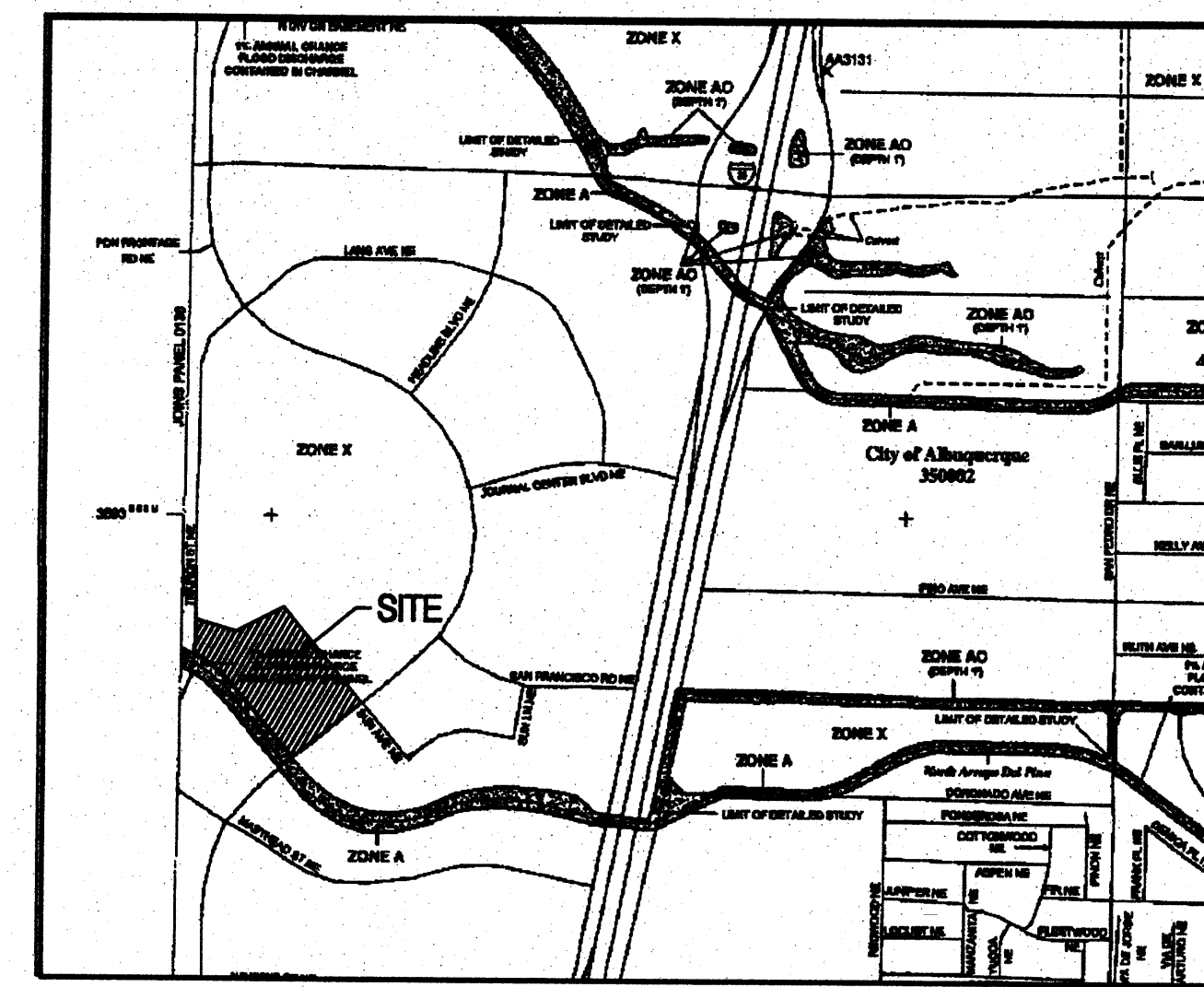
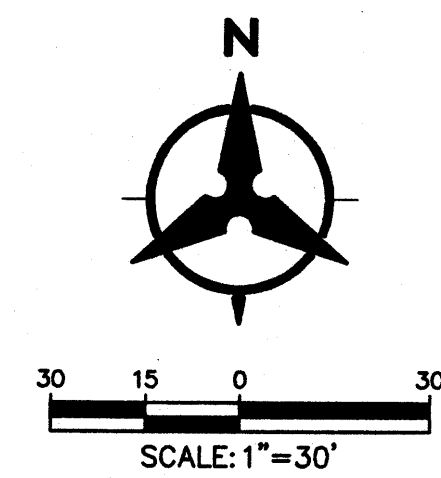
SEP 02 2005

HYDROLOGY SECTION

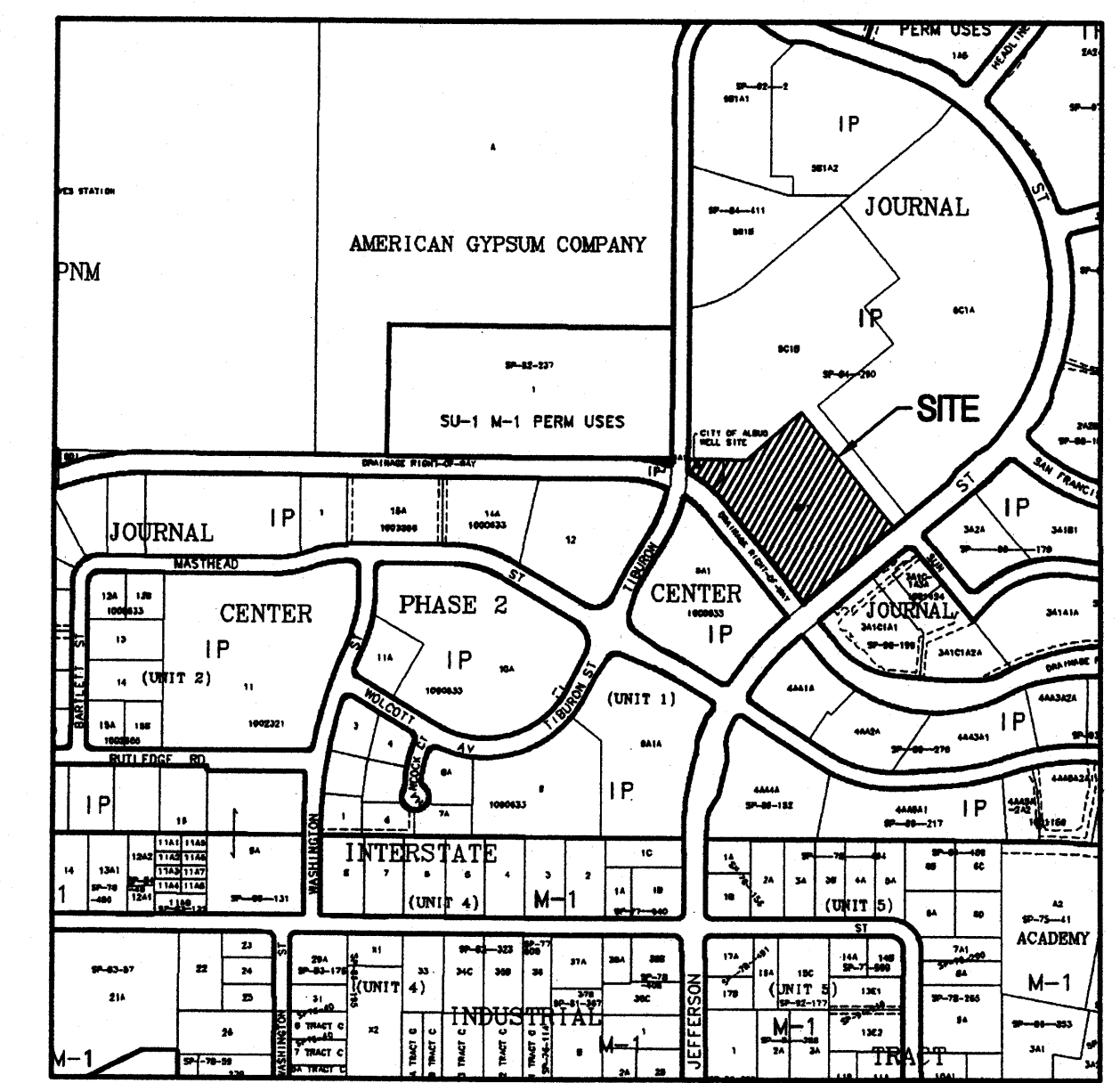
SHEET NO.

C101

OF



FLOOD INSURANCE RATE MAP
FEMA - NUMBER 350002, PANEL 0137F



ZONE ATLAS PAGE D-17-Z

LEGAL DESCRIPTION

JOURNAL CENTER TRACT 50-1

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a grading and drainage plan for the proposed Office Building in Journal Center (Tract 50-1). The site is bound to the southeast by Jefferson and to the southwest by the North Pío Arroyo Concrete Channel. The project will include one multi-story office building along with parking and landscaped areas. This submittal is in support of building permit approval.

II. SITE LOCATION

The site is located within zone atlas map J D-17-Z, in reference to the Federal Emergency Management Agency map #350010137F, there is a 1% annual chance flood zone adjacent to the site. This flood elevation is contained in the AMAFCA North Pío Arroyo Concrete Channel along the southern border of the site.

III. EXISTING HYDROLOGIC CONDITIONS

The site encompasses approximately 6.04 acres. The site is undeveloped and existing slopes range between 1 to 3% to the west. Currently, the majority of the site drains via surface flow into the adjacent channel (North Pío Arroyo) and partially into Tiburon Ave.

Under existing conditions, this site has a 100yr discharge of 17.06cfs. The associated land treatments for the existing conditions are 20% land treatment A and 80% land treatment C. The analysis of the existing hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual.

IV. PROPOSED HYDROLOGIC CONDITIONS

The proposed project includes construction of one multi-story office building, combined with parking and landscaped areas. According to the approved drainage report for Journal Center, this site has free discharge into the North Pío Arroyo. Most of the site drains into the North Pío Arroyo via a concrete random. There is a small portion of landscaped area that will drain via surface flow to Jefferson. This insignificant amount of drainage will not have an adverse effect on the downstream system within Jefferson.

The total 100 year peak discharge entering the North Pío Arroyo from this site is 26.74cfs. The associated land treatments for Basin 1 are 10% land treatment C and 90% land treatment D. The flow from Basin 2 that will discharge to Jefferson is 0.71cfs. The analysis of the proposed hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual. See Basin Data table for associated computations.

V. CONCLUSION

The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. With this submittal we are seeking building permit approval.

JOURNAL CENTER OFFICE BUILDING BASIN CALCULATIONS									
Development Conditions Basin Data Table									
BASIN ID	Area		Land Treatment Percentages				Q(100) (cfs/sec)	Q(100) (cfs)	WT E (inches)
	(SQ. FT)	(AC.)	A	B	C	D			
Existing									
Basin 1	263147	6.04	20.0%	0.0%	80.0%	0.0%	2.82	17.06	1.01
Proposed									
Basin 1	268384	6.89	0.0%	0.0%	10.0%	90.0%	4.54	26.74	2.02
Basin 2	6764	0.16	0.0%	0.0%	10.0%	90.0%	4.64	0.71	2.02
TOTAL	263147	6.04					4.54	27.45	4.04
								44318.38	75896.05

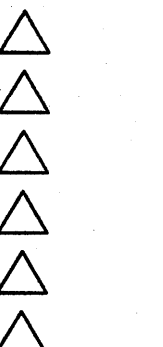
LEGEND

—	PROPERTY LINE	—	PROPOSED INDEX CONTOURS
- - -	EXISTING CONTOURS	—	PROPOSED INTER CONTOURS
5301.15	EXISTING GROUND SPOT ELEVATION	—	PROPOSED CURB & GUTTER
⊙	EXISTING ELECTRICAL POLE	—	EASEMENT
⊙	PROPOSED SPOT ELEVATION	—	EXISTING TREE
TC=TOP OF CURB, FL=FLOW LINE		—	PROPOSED LIGHTING
FW=TOP OF WALL, FB=BOTTOM OF WALL		—	PROPOSED STORM DRAIN LINE
EX=EXISTING, TS=TOP OF GUIDE		—	PROPOSED STORM DRAIN MANHOLE
S=2.0%	PROPOSED DIRECTION OF FLOW	—	PROPOSED STORM DRAIN INLET
—	WATER BLOCK	—	EXISTING STORM DRAIN MANHOLE
—	PROPOSED RETAINING WALL	—	

Bohannon & Huston

Courtyard | 7600 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

REVISIONS



DRAWN BY: RMM
REVIEWED BY: JTH
DATE: 8/18/05
PROJECT NO.: 04156
DRAWING NAME:

**DRAINAGE
MANAGEMENT
PLAN**
SEP 02 2005
HYDROLOGY SECTION

SHEET NO.

COOL

GENERAL NOTES

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
 - PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET 0001 FOR LANDSCAPING OF PHASE I AND II.
 - PROVIDE LETTERING "COMPACT" PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES, TYPICAL.
 - ALL SITEWORK WILL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON.
- KEYED NOTES**
- SIDEWALK, CONCRETE
 - PAVING, ASPHALT
 - SPECIAL PAVING
 - BICYCLE RACK PAINT (120 AUTOS)
 - CURB 6" HIGH, CONCRETE
 - TRANSFORMER
 - SCREEN WALL, T4" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU COLOR TO MATCH BUILDING, RE: A1/A041
 - LANDSCAPE AREA, RE: L001
 - HC RAMP
 - CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LEECO.
 - CONCRETE CURB TO BE REMOVED
 - MONUMENT SIGN
 - PARKING CANOPY
 - CITY WELL SITE EASEMENT TO BE VACATED BY PLAT.
 - PROPOSED LOT LINE.
 - TRASH COMPACTOR
 - MEANDERING PUBLIC SIDEWALK EASEMENT:
 - 10' PUE
 - SIDEWALK TO MIDPOINT OF BRIDGE OVER AMAFCA ROW
 - ROLLED AND COMPACTED CRUSHER FINE PATH, CONCRETE CURB AT TURF EDGE

PROJECT NUMBER: 1004136

APPLICATION NUMBER: 05 DRB 00667

This plan is consistent with the specific Site Development plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of decision are satisfied.

Is an infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

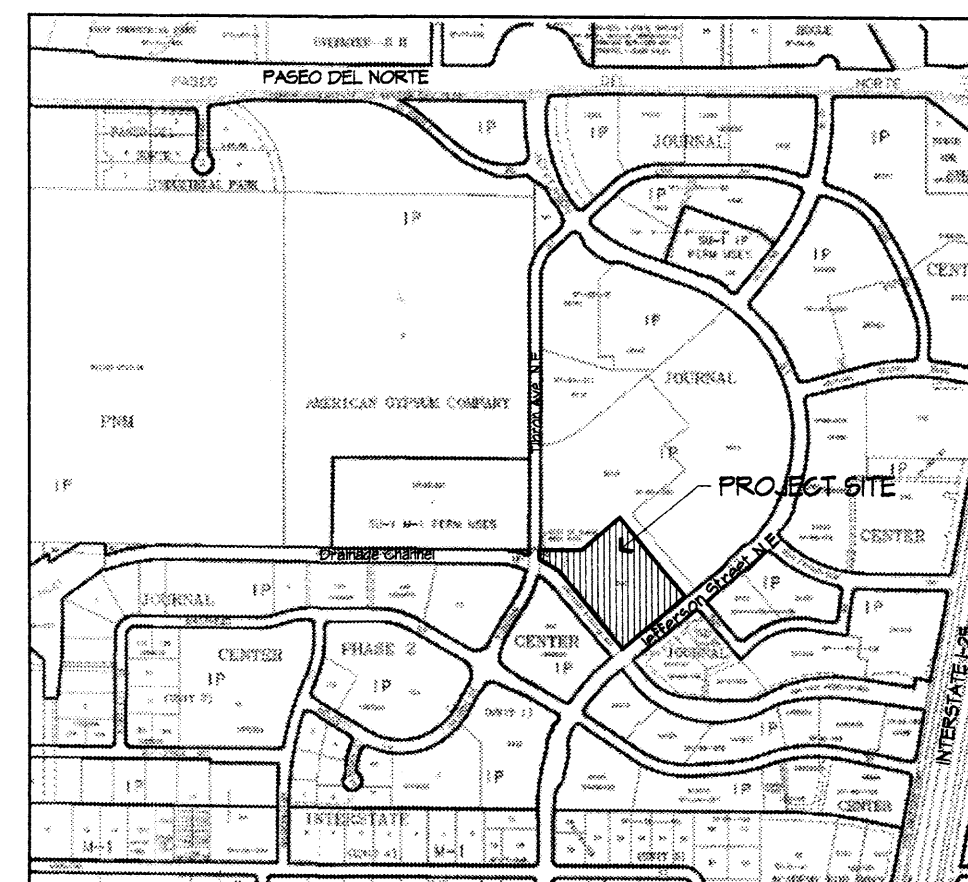
* Environmental Health, if necessary

SITE DEVELOPMENT PLAN APPROVAL

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, Z-79-80-2) AND THE IF ZONE.

IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON _____, 20____, AS REFLECTED IN DRB _____.

PLANNING DIRECTOR DATE



ZONE ATLAS MAP
D-17

SCALE: 1" = 1000'-0"

LEGEND

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD
- LIGHT POLE - SINGLE HEAD
- SURFACE MOUNTED LIGHT FIXTURE
- FLOOD LIGHT
- UP LIGHT, RE.
- TRAFFIC ARROW, PAINT WHITE
- PAINT CURB RED, 4" PAINT TEXT "FIRE LANE NO PARKING"

SITE INFORMATION

LEGAL DESCRIPTION:
TRACT SD-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30,31, A-D 32, BLOCK 3 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, 11 MAP BOOK C21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

SITE DATA (OVERALL)

ZONE IF INDUSTRIAL PARK

GROSS BUILDING AREA:
BUILDING A (three story) = 84,631 GBA
BUILDING B (two story) = 20,221 FRA
TOTAL BUILDINGS = 104,852 GBA

RENTABLE BUILDING AREA:
BUILDING A (three story) = 81,838 FRA
BUILDING B (two story) = 20,221 FRA
TOTAL BUILDINGS = 102,059 FRA

SITE AREA: 262,951 GSF = 6.0366 ACRES

TOTAL SITE AREA: 262,951 GSF
GROSS F.A.R. (GBA/site area): .71
RENTABLE F.A.R. (FRA/site area): .68

SITE DATA (TRACT SD-1A)

GROSS BUILDING AREA:
BUILDING A (three story) = 84,631 GBA

RENTABLE BUILDING AREA:
BUILDING A (three story) = 81,838 FRA

SITE AREA = 200,631 GSF
GROSS F.A.R. (GBA/site area): .421
RENTABLE F.A.R. (FRA/site area): .408

PARKING PROVIDED: 388 SPACES
(281 STANDARD + 107 COMPACT SPACES)
RATIO = 4.74/1000 FRA

SITE DATA (TRACT SD-1B)

GROSS BUILDING AREA:
BUILDING B (two story) = 22,454 GBA

RENTABLE BUILDING AREA:
BUILDING B (two story) = 20,221 FRA

TOTAL SITE AREA = 62,321 GSF
GROSS F.A.R. (GBA/site area): .360
RENTABLE F.A.R. (FRA/site area): .325

PARKING PROVIDED: 84 SPACES
(73 STANDARD + 16 COMPACT SPACES)
RATIO = 4.4/1000 FRA

PARKING INFORMATION

OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FLS)

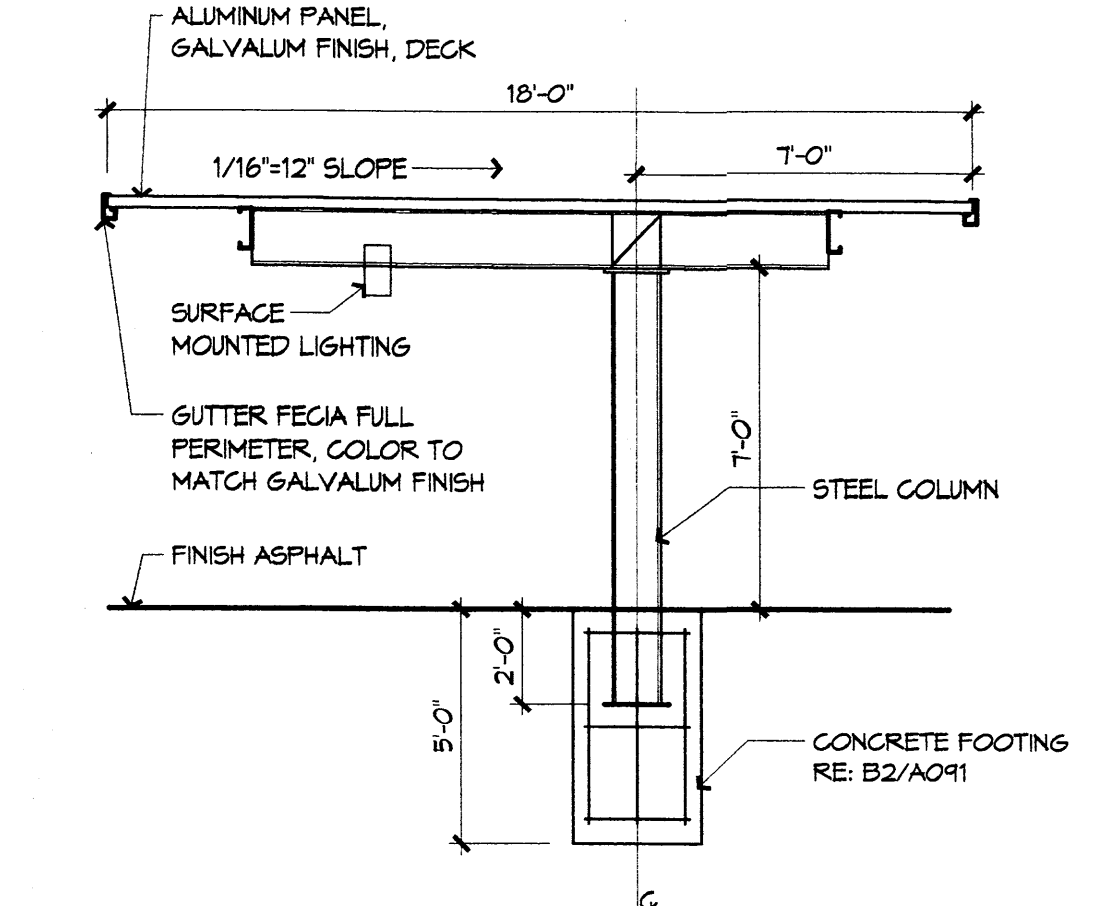
BUILDING A:
FIRST FLOOR: 24,048 SF/200 = 120
SECOND FLOOR: 28,288 SF/300 = 95
THIRD FLOOR: 29,552 SF/300 = 99
TOTAL = 314

BUILDING B:
FIRST FLOOR: 8,621 SF/200 = 44
SECOND FLOOR: 11,602 SF/300 = 39
TOTAL = 83

TOTAL SPACES REQUIRED: 341
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

TOTAL SPACES PROVIDED: 466
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

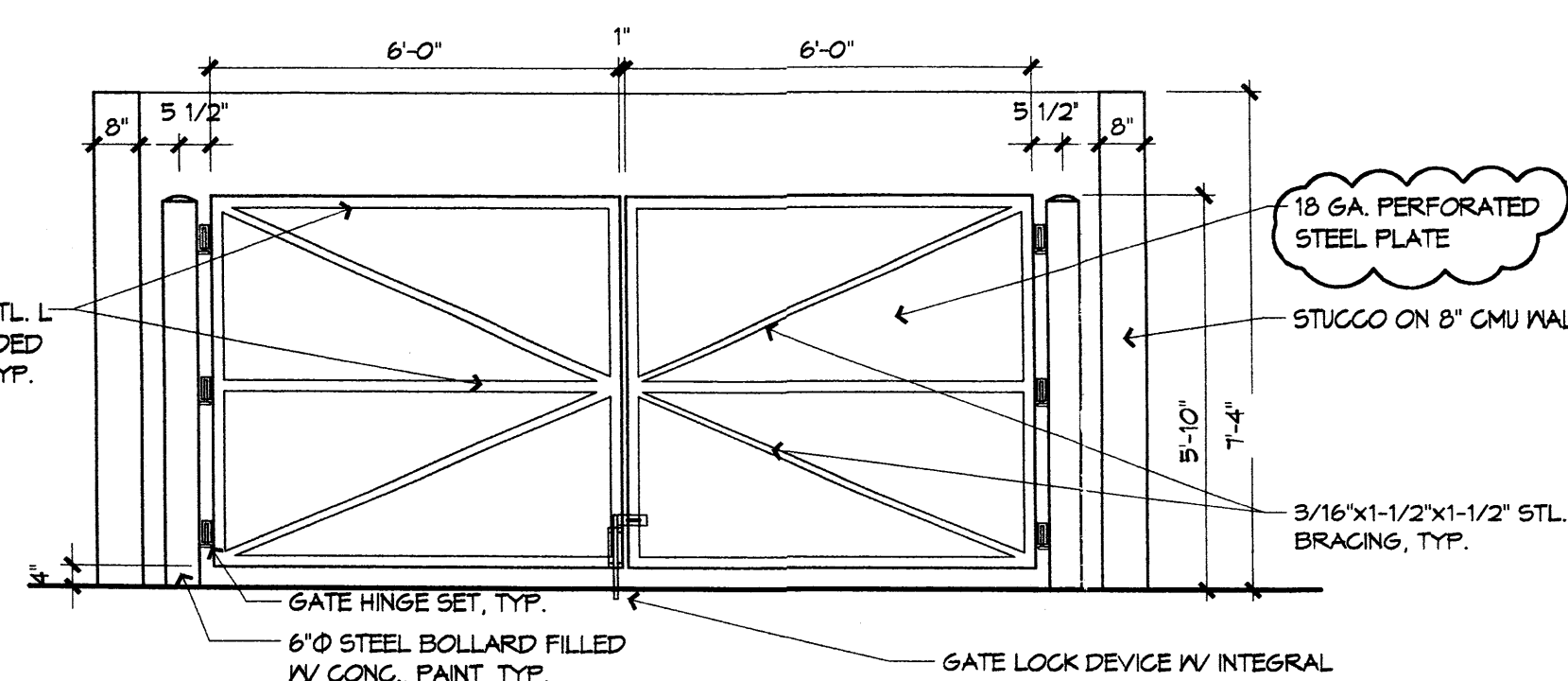
COMPACT SPACES: 123
BICYCLE REQUIREMENTS: 341/20 = 20
BICYCLE SPACES PROVIDED = 20



A4 PARKING CANOPY

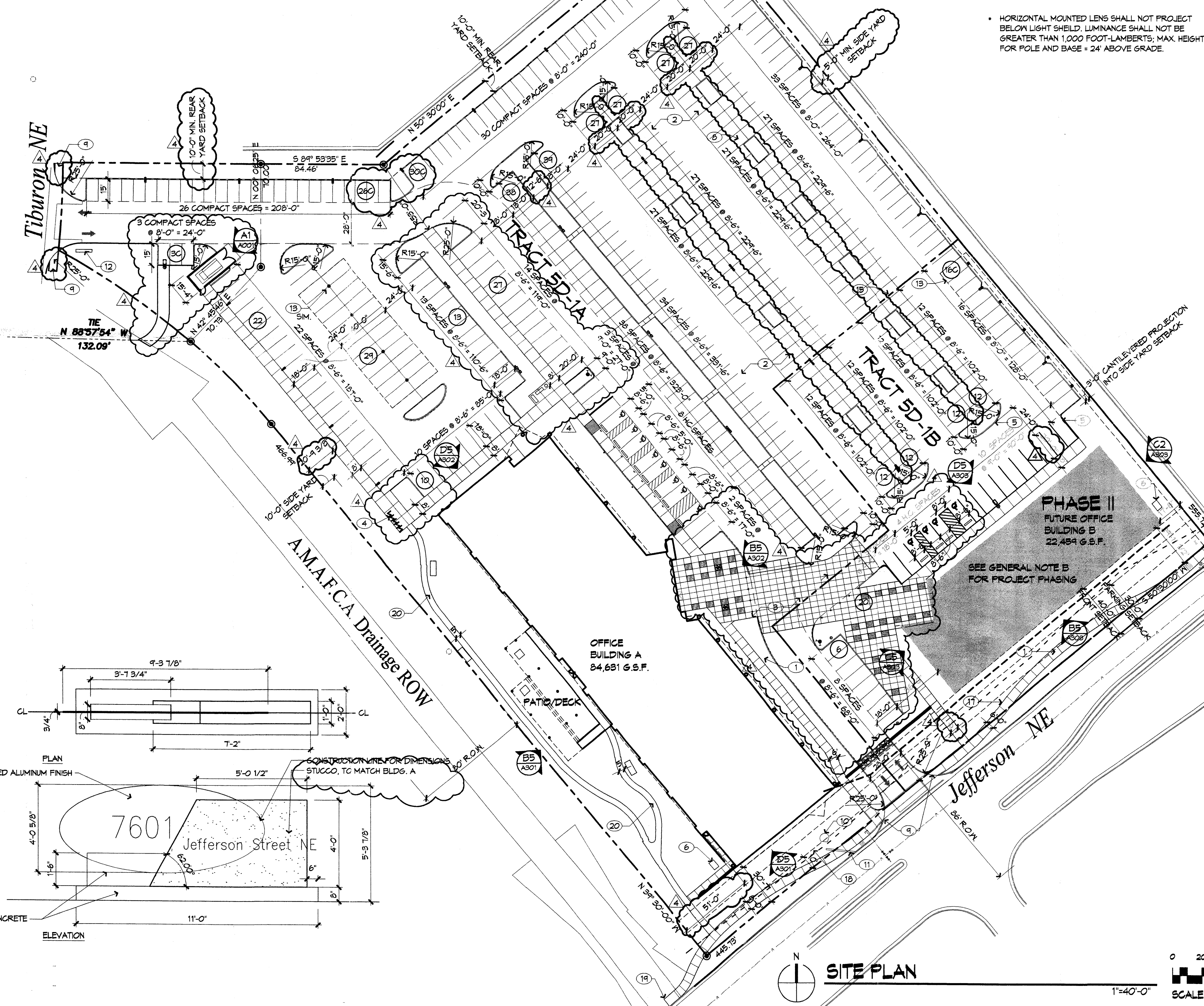
1/4" = 1'-0"

- HORIZONTAL MOUNTED LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. LUMINANCE SHALL NOT BE GREATER THAN 1,000 FOOT-LAMBERTS; MAX. HEIGHT FOR POLE AND BASE = 24' ABOVE GRADE.



**COMPACTOR ENCLOSURE
ELEVATION**

3/8" = 1'-0"

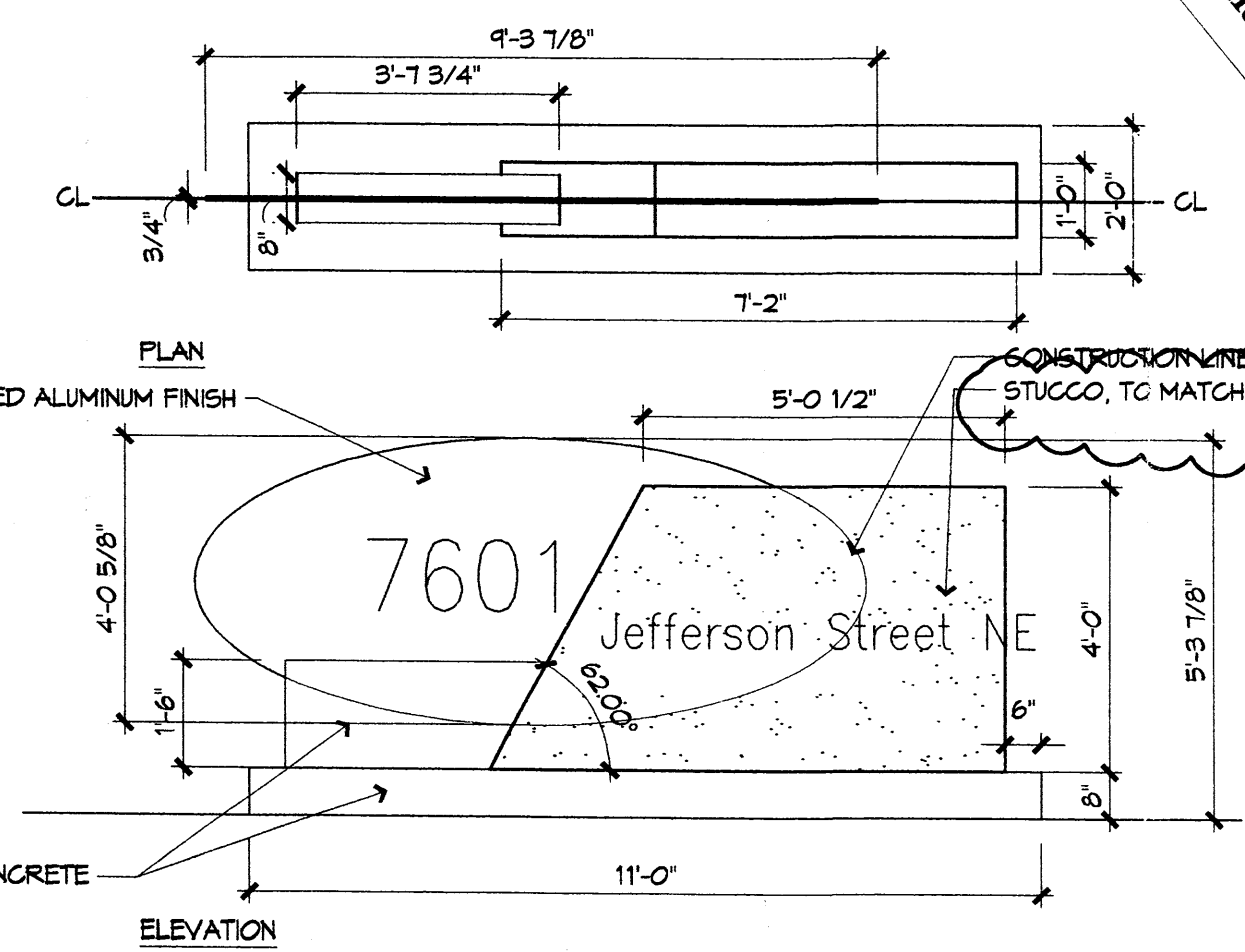


SITE PLAN

SCALE: 1" = 40'-0"



N



ELEVATION

GRADING NOTES

- EXCEPT AS PROMISED HEREON, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

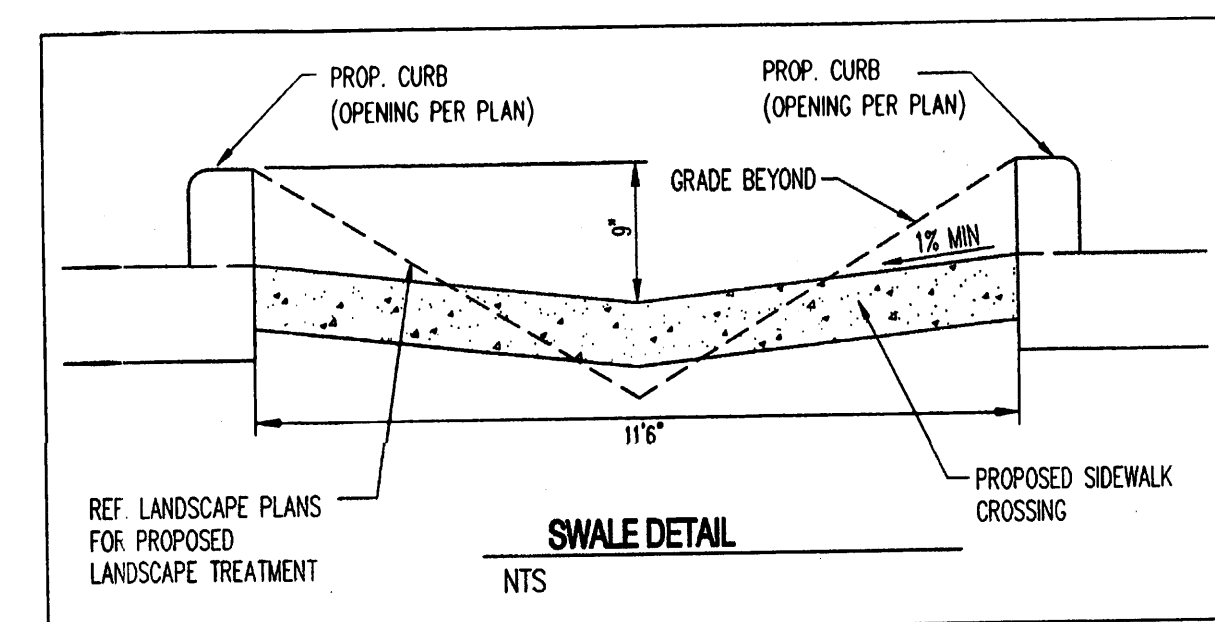
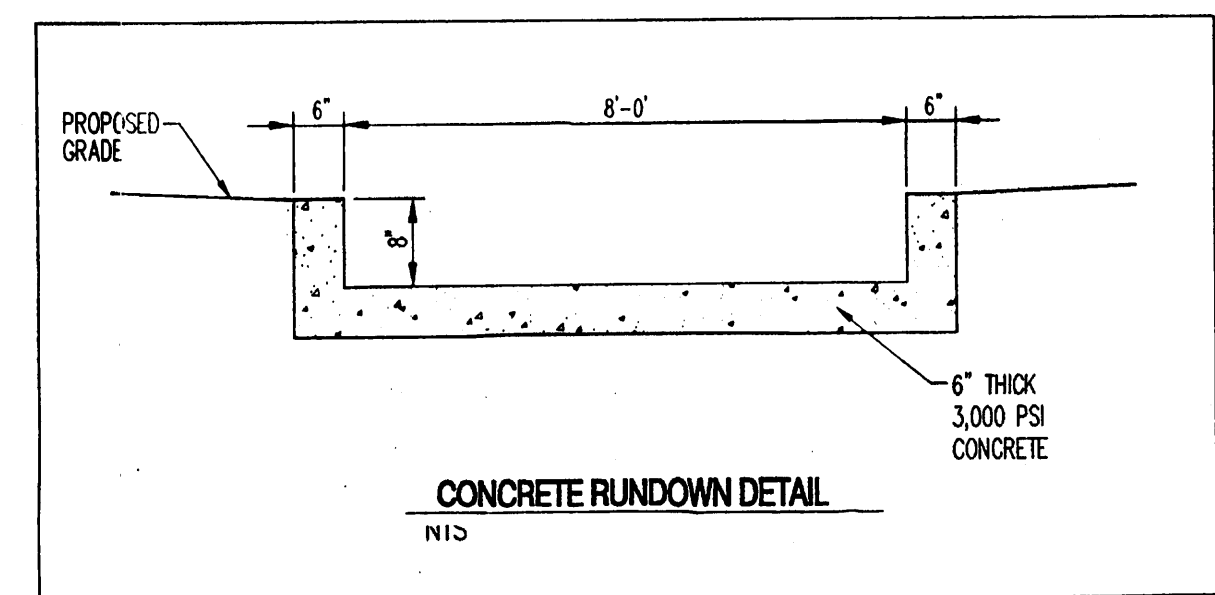
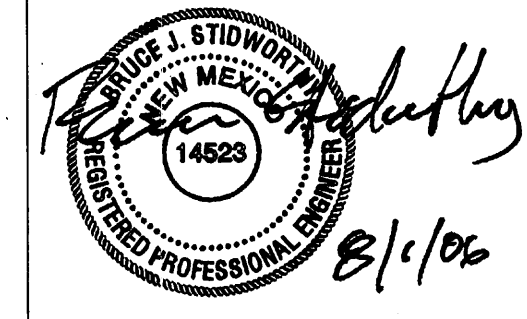
LEGEND

PROPERTY LINE	PROPOSED INDEX CONTOURS
EXISTING CONTOURS	PROPOSED INTER CONTOURS
EXISTING GROUND SPOT ELEVATION	PROPOSED CURB & GUTTER
EXISTING ELECTRICAL POLE	EASEMENT
PROPOSED SPOT ELEVATION	EXISTING TREE
TO-TOF OF CURB, FL=FLOW LINE	
EX-EXISTING, TO-TOF OF GRADE	
PROPOSED DIRECTION OF FLOW	
WATER BLOCK	
PROPOSED RETAINING WALL	

DRAINAGE CERTIFICATION

I, BRUCE STODOLNICK, NMPSE 14628, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN W/ ENGINEERS STAMP DATED 9/2/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NMPSE 11993, OF THE FIRM PRECISION SURVEYS, I. FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/17/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT C.O.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

REVISIONS

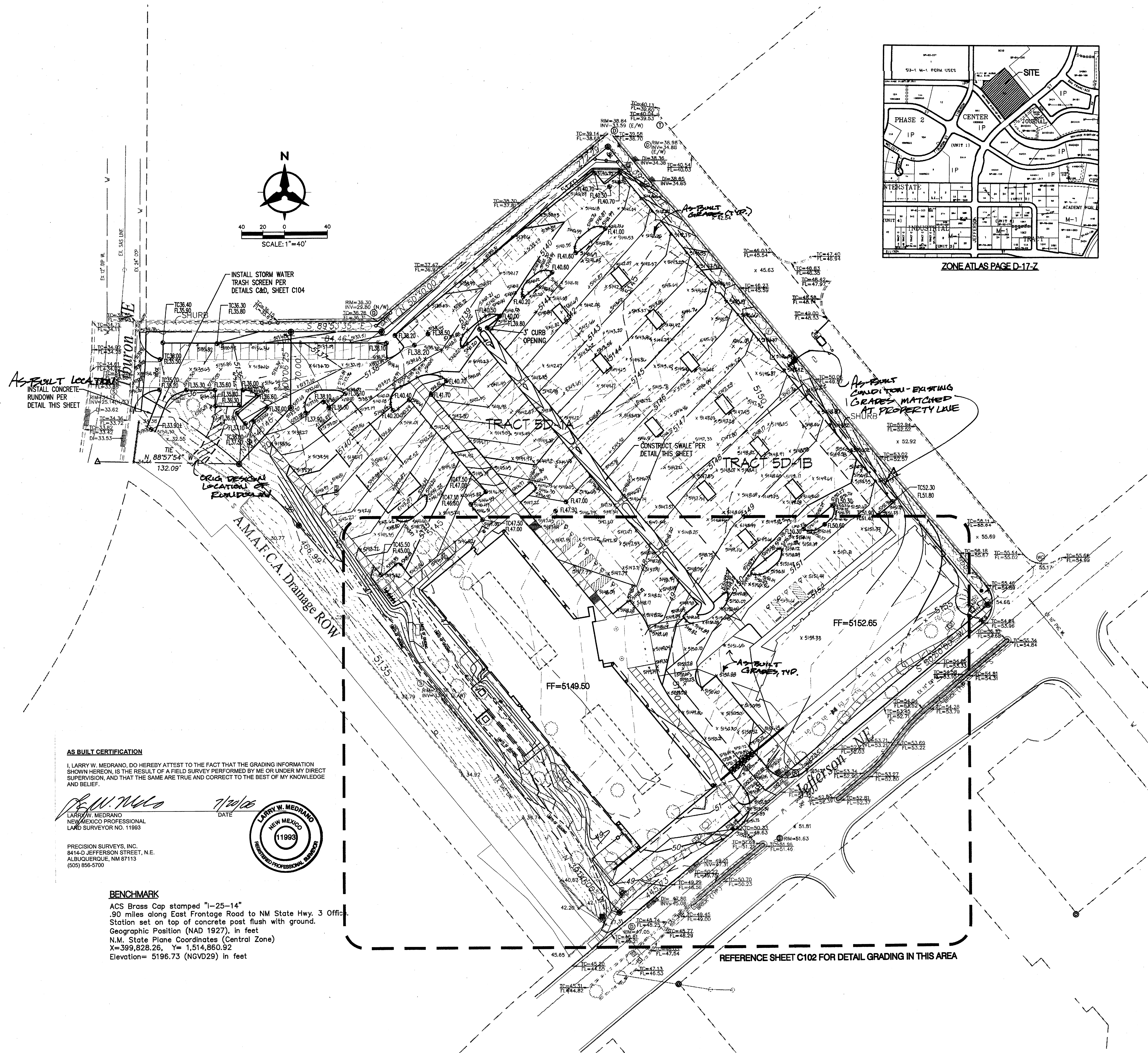
- △
- △
- △
- △
- △

DRAWN BY: CM
REVIEWED BY: JTM
DATE: 8/15/06
PROJECT NO.: C4186
DRAWING NAME:

**OVERALL GRADING
& DRAINAGE PLAN**

SHEET NO.

C101
OF



AS-BUILT CERTIFICATION

I, LARRY W. MEDRANO, DO HEREBY ATTEST TO THE FACT THAT THE GRADING INFORMATION SHOWN HEREON, IS THE RESULT OF A FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

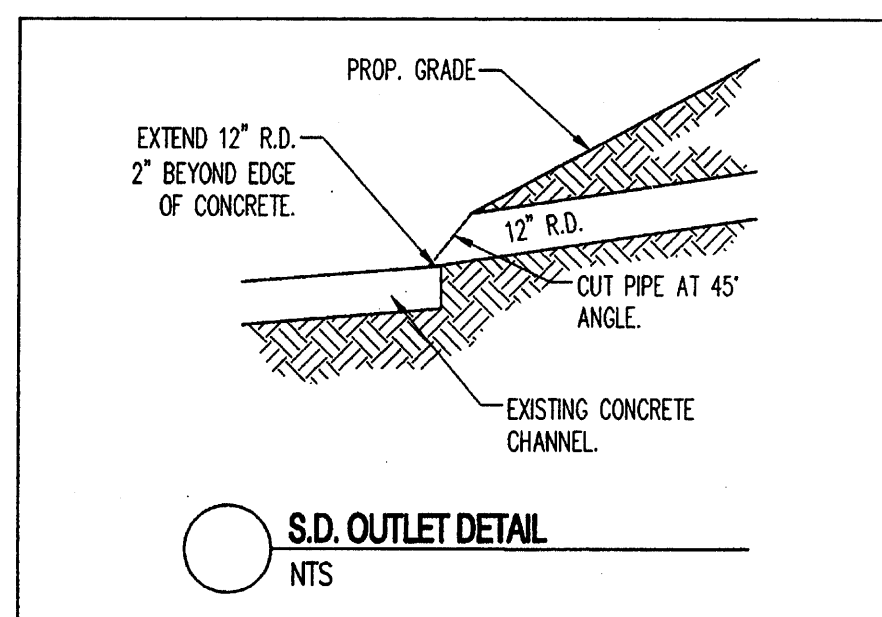
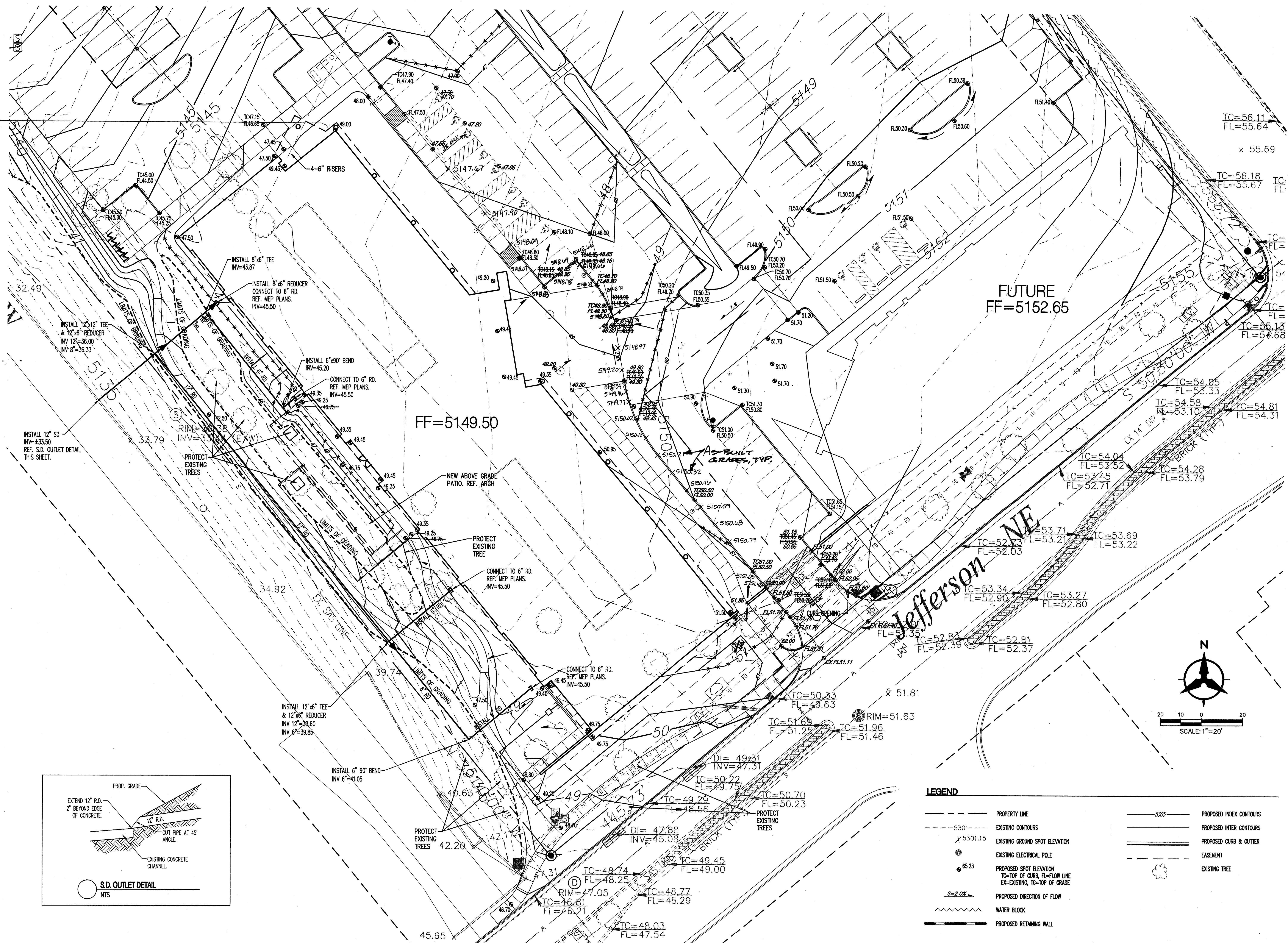
LARRY W. MEDRANO
NEW MEXICO PROFESSIONAL
LAND SURVEYOR NO. 11993

PRECISION SURVEYS, INC.
8414-D JEFFERSON STREET, N.E.
ALBUQUERQUE, NM 87113
(505) 866-9700

BENCHMARK

ACS Brass Cap stamped "1-25-14"
80 miles along East Frontage Road to NM State Hwy. 3 Office
Station set on top of concrete post flush with ground.
Geographic Position (NAD 1927), in feet
N.M. State Plane Coordinates (Central Zone)
X=399,828.26, Y=1,514,860.32
Elevation= 5196.73 (NGVD29) in feet





AS BUILT CERTIFICATION

I, LARRY W. MEDRANO, DO HEREBY ATTEST TO THE FACT THAT THE GRADING INFORMATION SHOWN HEREON, IS THE RESULT OF A FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Larry W. Medrano
LARRY W. MEDRANO
NEW MEXICO PROFESSIONAL
LAND SURVEYOR NO. 11993

PRECISION SURVEYS, INC.
8414-D JEFFERSON STREET, N.E.
ALBUQUERQUE, NM 87113
(505) 558-5700

DRAINAGE CERTIFICATION

I, BRUCE STIDWORTHY, N.M.P.E. 14823, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN W/ ENGINEER'S STAMP DATED 8/20/05. THE RECORD INFORMATION EXTENDED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, N.M.P.S. 11993, OF THE FIRM PRECISION SURVEYS, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/17/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT C.O.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce Stidworthy
BRUCE STIDWORTHY
N.M.P.E. 14823
8/1/06

LEGEND

- | | | | |
|---------|---|-----|-------------------------|
| — | PROPERTY LINE | --- | PROPOSED INDEX CONTOURS |
| --- | EXISTING CONTOURS | --- | PROPOSED INTER CONTOURS |
| 5301.15 | EXISTING GROUND SPOT ELEVATION | --- | PROPOSED CURB & GUTTER |
| 65.23 | EXISTING ELECTRICAL POLE | --- | EASEMENT |
| 65.23 | PROPOSED SPOT ELEVATION
TO=TOP OF CURB, FL=FLOW LINE
EX=EXISTING, TO=TOP OF GRADE | --- | EXISTING TREE |
| S=2.0% | PROPOSED DIRECTION OF FLOW | | |
| ~~~~~ | WATER BLOCK | | |
| --- | PROPOSED RETAINING WALL | | |

Bohannon & Huston

Courtyard | 7600 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY: **CM**

REVIEWED BY: **JTM**

DATE: **8/18/05**

PROJECT NO.: **04196**

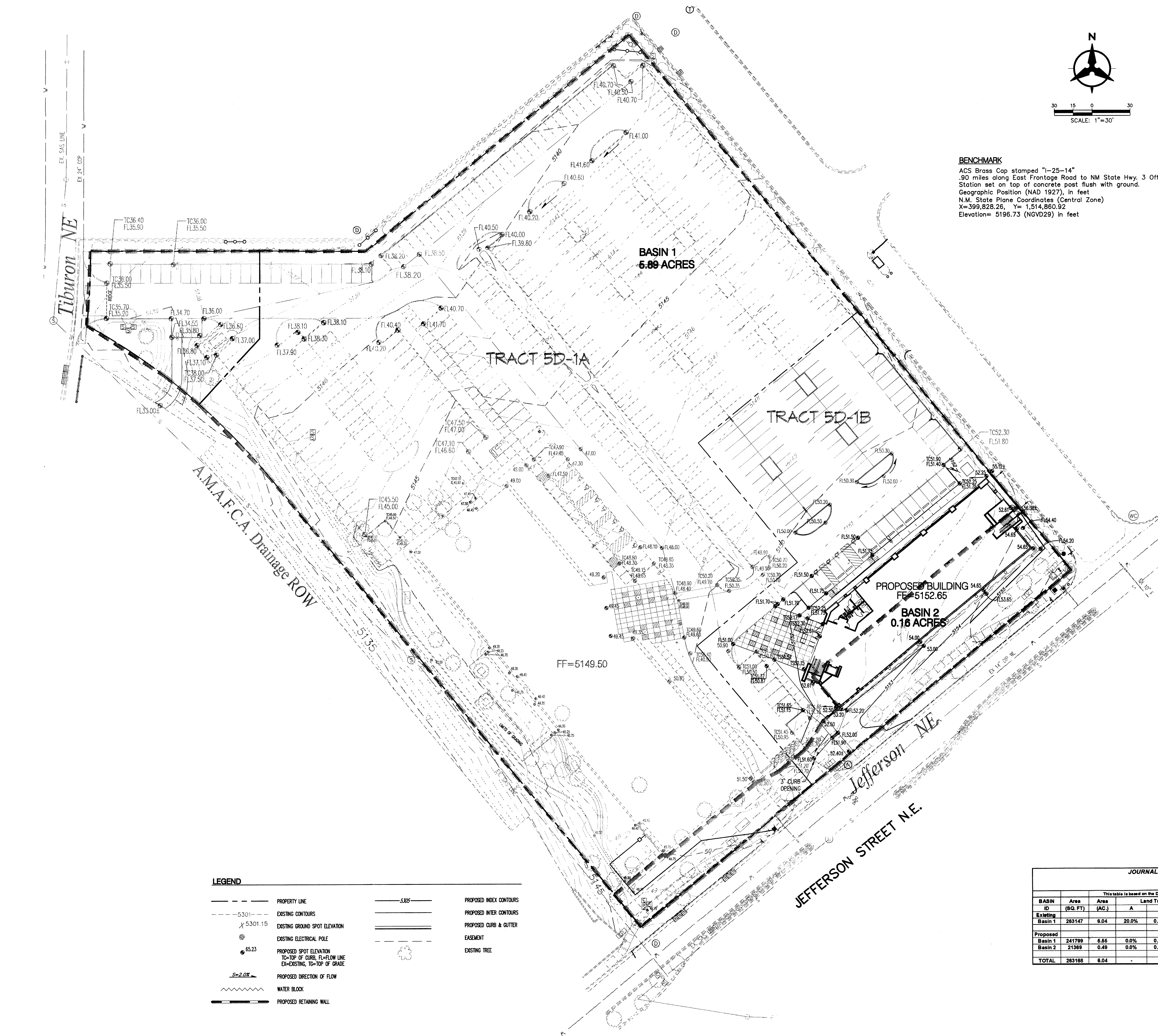
DRAWING NAME

**DETAILED GRADING
PLAN**

SHEET NO.

C102

OF



LEGEND

---	PROPERTY LINE	---	PROPOSED INDEX CONTOURS
---	EXISTING CONTOURS	---	PROPOSED INTER CONTOURS
5301.15	EXISTING GROUND SPOT ELEVATION	---	PROPOSED CURB & GUTTER
65.23	EXISTING ELECTRICAL POLE	---	EASEMENT
65.23	PROPOSED SPOT ELEVATION	---	EXISTING TREE
---	TO-TOP OF CURB, FL-FLOW LINE	---	
---	EX-EXISTING, TO-TOP OF GRADE	---	
---	PROPOSED DIRECTION OF FLOW	---	
---	WATER BLOCK	---	
---	PROPOSED RETAINING WALL	---	

BENCHMARK

ACS Brass Cap stamped "1-25-14"
 .90 miles along East Frontage Road to NM State Hwy. 3 Office.
 Station set on top of concrete post flush with ground.
 Geographic Position (NAD 1927), in feet
 N.M. State Plane Coordinates (Central Zone)
 X=399,828.26, Y=1,514,860.92
 Elevation= 5196.73 (NGVD29) in feet

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CON) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND METTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE MANAGEMENT PLAN

- INTRODUCTION**
 The purpose of this submittal is to present a grading and drainage plan for the proposed Office Building B (Phase 2) in Journal Center (Tract 5D-1). The site is located to the southeast by Jefferson and to the southwest by the North Pina Arroyo Concrete Channel. The overall project includes two multi-story office buildings along with parking and landscaped areas. This submittal is in support of building permit approval.
- SITE LOCATION**
 The site is located within zone atlas map # D-17-2. In reference to the Federal Emergency Management Agency map #550100137, there is a 1% annual chance flood zone adjacent to the site. This flood elevation is contained in the ANAFCA North Pina Arroyo Concrete Channel along the southern border of the site.
- EXISTING HYDROLOGIC CONDITIONS**
 The site encompasses approximately 6.04 acres. The site is undeveloped and existing slopes range between 1 to 3% to the west. Currently, the majority of the site drains via surface flow into the adjacent channel (North Pina Arroyo) and partially into Tiburon Ave.
 Under existing conditions, this site has a 100yr discharge of 17.06cfs. The associated land treatments for the existing conditions are 20% land treatment A and 80% land treatment C. The analysis of the existing hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual.
- PROPOSED HYDROLOGIC CONDITIONS**
 The proposed project includes construction of one multi-story office building, combined with parking and landscaped areas. According to the approved drainage report for Journal Center, this site has free discharge into the North Pina Arroyo. Most of the site drains into the North Pina Arroyo via a concrete channel. There is a small portion of Building B and landscaped area that will drain via surface flow to Jefferson. This insignificant amount of drainage (2.15 cfs) will not have an adverse effect on the downstream system within Jefferson.
 The total 100 year peak discharge entering the North Pina Arroyo from this site is 26.74cfs. The associated land treatments for Basin 1 are 15% land treatment C and 85% land treatment D. The flow from Basin 2 that will discharge to Jefferson is 2.15 cfs. The analysis of the proposed hydrology was performed in accordance with the methodology outlined in section 22.2 of the Development Process Manual. See Basin Calculations table for associated computations.
- CONCLUSION**
 The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. With this submittal we are seeking building permit approval.

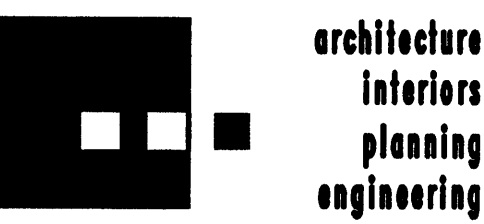
JOURNAL CENTER OFFICE BUILDING BASIN CALCULATIONS

Development Conditions Basin Data Table

BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (cfs)	WT E (inches)	V(100) (cfs)	V(100) (cfs)
			A	B	C	D					
Existing	283147	6.04	20.0%	0.0%	80.0%	0.0%	2.82	17.06	1.01	22148	22148
Proposed											
Basin 1	241799	5.55	0.0%	0.0%	15.0%	85.0%	4.47	24.79	1.97	39726	67129
Basin 2	21389	0.49	0.0%	0.0%	20.0%	80.0%	4.39	2.16	1.92	3423	5702
TOTAL	283186	6.04	-	-	-	-	4.46	26.94	3.88	43148.16	72831.41

Bohannon & Huston

Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



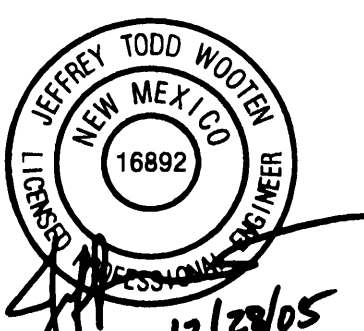
**Dekker
Perich
Sabatini**

6801 Jefferson NE
 Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 505 761-9700
 dpa@dpsabq.com

ARCHITECT

ISSUED FOR
PERMIT

ENGINEER



PROJECT

Journal Center Tract 5
 Office Building B
 7601 Jefferson NE
 Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY

RMB

REVIEWED BY

JTW

DATE

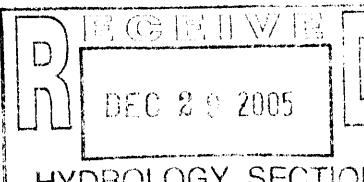
12/28/05

PROJECT NO.

04186

DRAWING NAME

GRADING &
DRAINAGE PLAN



SHEET NO.

C100
OF