

CITY OF ALBUQUERQUE



May 16, 2019

Juno Architechts
Kevin Juno
7925 Bosque St. NW
Albuquerque, NM 87114

**Re: Office/Warehouse Shell
7410 Washington St. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 4-22-19 (D17D03AA)**

Dear Mr.Juno,

The TCL submittal received 05-16-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

/MM via: email
C: File

EXECUTIVE SUMMARY

THE PROJECT IS LOCATED AT 7410 WASHINGTON ST. NE. THE DEVELOPMENT IS A SINGLE STORY OFFICE/WAREHOUSE SHELL BUILDING. TRAFFIC CIRCULATION CONSISTS OF A SINGLE ENTRANCE/EXIT PARKING LOT WITH ADDITIONAL TURN AROUND AREA IN FRONT OF THE WAREHOUSE, WHEN AVAILABLE. THERE IS NO IMPACT ON ADJACENT SITES. THE EXISTING SITE IS VACANT AND DOES NOT REQUIRE ANY VARIANCES TO ACCOMMODATE ANY UNUSUAL SITE CIRCUMSTANCES.

KEYED NOTES

- 1. PROPERTY LINE.
- 2. STREET SIGNAGE
- 3. EXTERIOR DOOR.
- 4. CONCRETE WALK / RAMP. BUILD NEW 6' WIDE OFFSET TYPE SIDEWALK PER COA STANDARD DRAWING 2430. MATCH EXISTING SIDEWALK ELEVATION AND ALIGNMENT.
- 5. BICYCLE RACK
- 6. ACCESS POINT: DRIVE PAD PAVEMENT PROFILE, VALLEY GUTTER / CURB CONSTRUCT PER CITY OF ALBUQUERQUE STANDARDS SPECIFICATION FOR PUBLIC WORKS.
- 7. SPLITFACE CMU RETAINING WALL; 1'-3" - 3'-0" MAX. HEIGHT.
- 8. DASHED LINE INDICATES BUILDING SETBACK LINE.
- 9. TRASH REFUSE SPLIT FACE CMU ENCLOSURE.
- 10. ASPHALT PAVING / PARKING LOT.
- 11. ADA PARKING SIGN. SEE DETAILS 2/TCL-101.
- 12. MOTORCYCLE PARKING SIGN. SEE DETAILS 3/TCL-101.
- 13. EXISTING 6' SIDEWALK AND WHEELCHAIR RAMP TO REMAIN (TYP.).

SITE CRITERIA

PROJECT: OFFICE-WAREHOUSE
ADDRESS: 7410 WASHINGTON STREET NE
OWNER: JUNO ARCHITECTS
ARCHITECT: LOT 2 OF JOURNAL CENTER PHASE 2, UNIT 1
LEGAL DESCRIPTION: D-17-Z
ZONE ATLAS MAP: NR-BP (NON RESIDENTIAL BUSINESS PARK)
IDO ZONING: TYPE VB (NON SPRINKLERED)
BUILDING TYPE: TYPE VB (NON SPRINKLERED)

MINIMUM BUILDING SETBACK: 20'-0" FRONT; 10'-0" SIDE & REAR
MAXIMUM BUILDING HEIGHT: 8'
FLOOR AREA RATIO (F.A.R.): .3

TOTAL BUILDING AREA:

OFFICE	3,598	SF
WAREHOUSE	3,414	SF
TOTAL	7,012	SF

TOTAL LOT AREA: .5168 ACRE

PARKING CALCS: OFFICE: 3.5 SPACES/1000 SF = 3.5x4 = 14 SPACES

WAREHOUSE: NO REQUIREMENT	
ACCESSIBLE PARKING: 1/25	1 SPACE
TOTAL REQUIRED	

PARKING SPACES PROVIDED: (INCLUDING 1 HC SPACE) 18 SPACES

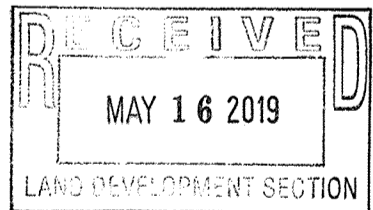
MOTORCYCLE PARKING: 1/25	1 SPACE
BICYCLE PARKING: 3 OR 10% OF REQ'D. =	3 SPACES

1 MOTORCYCLE PARKING PROVIDED; 4 BICYCLE PARKING SPACES PROVIDED

LANDSCAPE CALCS: TOTAL LOT AREA = 22,512 SF
BUILDING AREA = 7,012 SF
PARKING AREA = 5,400 SF
NET LOT AREA = 10,045 SF
LANDSCAPE 15% OF NET LOT AREA = 1,507 SF

LEGEND

- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- 4'x8' MIN. MOTORCYCLE PARKING SPACE w/ 12' x 18' SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.
- VEHICLE FLOW.
- OVERHEAD DOOR



JUNO

ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:

7410 WASHINGTON STREET NE
OFFICE - WAREHOUSE

SHEET TITLE:

TRAFFIC CONTROL LAYOUT

NO.	REVISION	DATE
1	TRASH ENCLOSURE RELOCATED	4/25/19
2	REVIEW COMMENTS	5/8/19
3	REVIEW COMMENTS 2	5/15/19

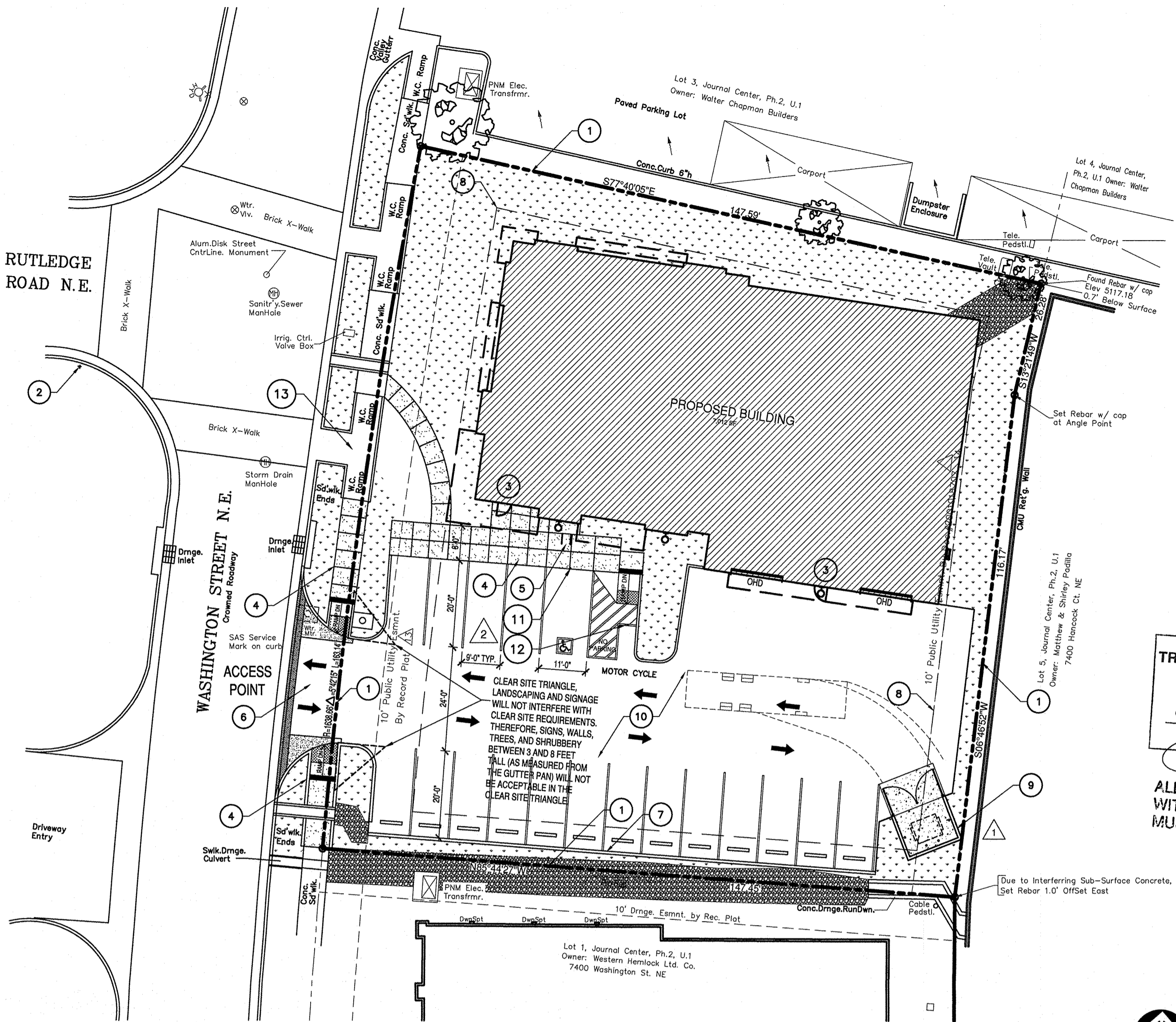
ARCHITECT STAMP

CONSULTANT STAMP



DATE:
4-22-18
PROJECT NO.
1801
SHEET NO.

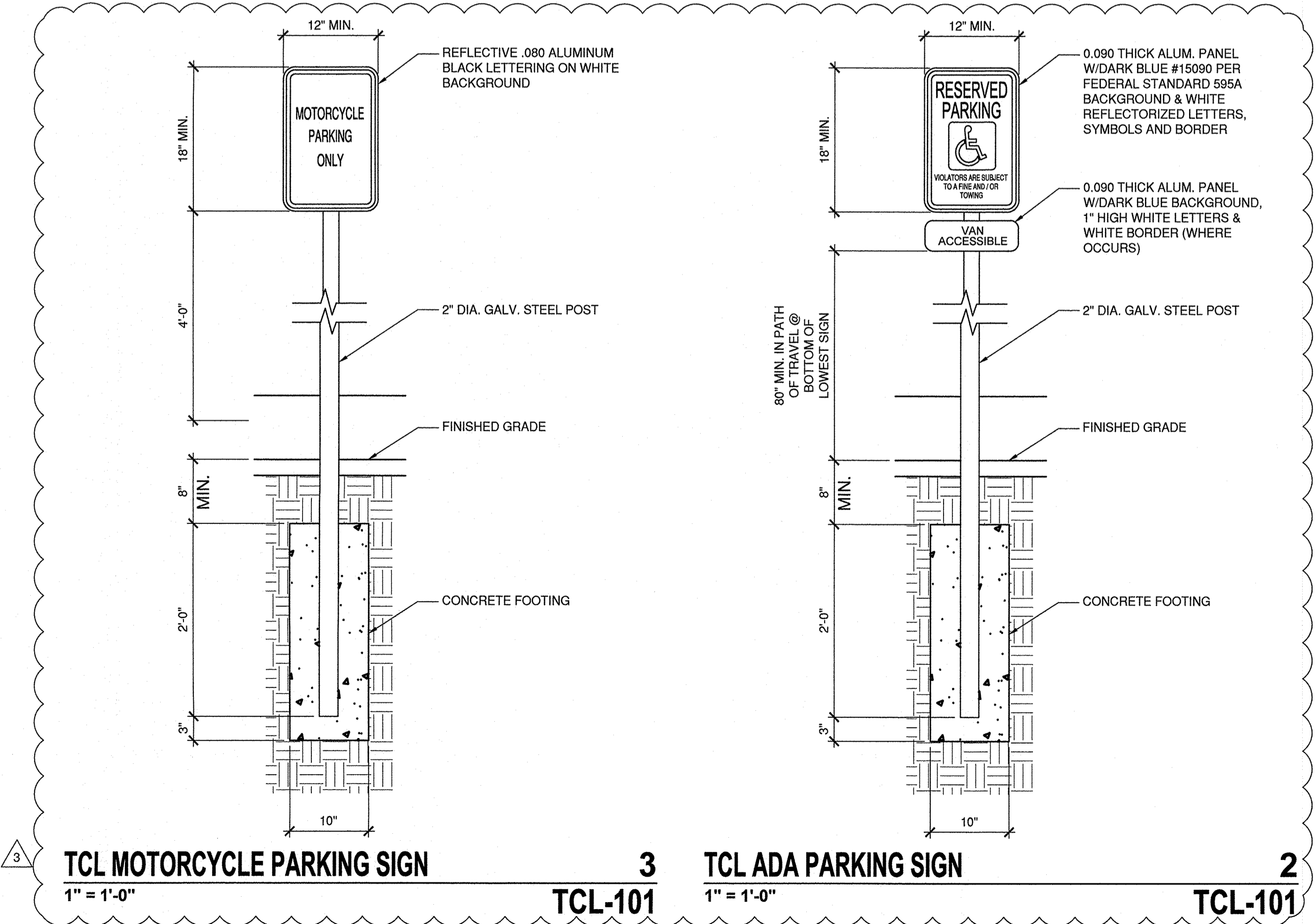
TCL-101



TRAFFIC CONTROL LAYOUT

1"=20'

TCL-101

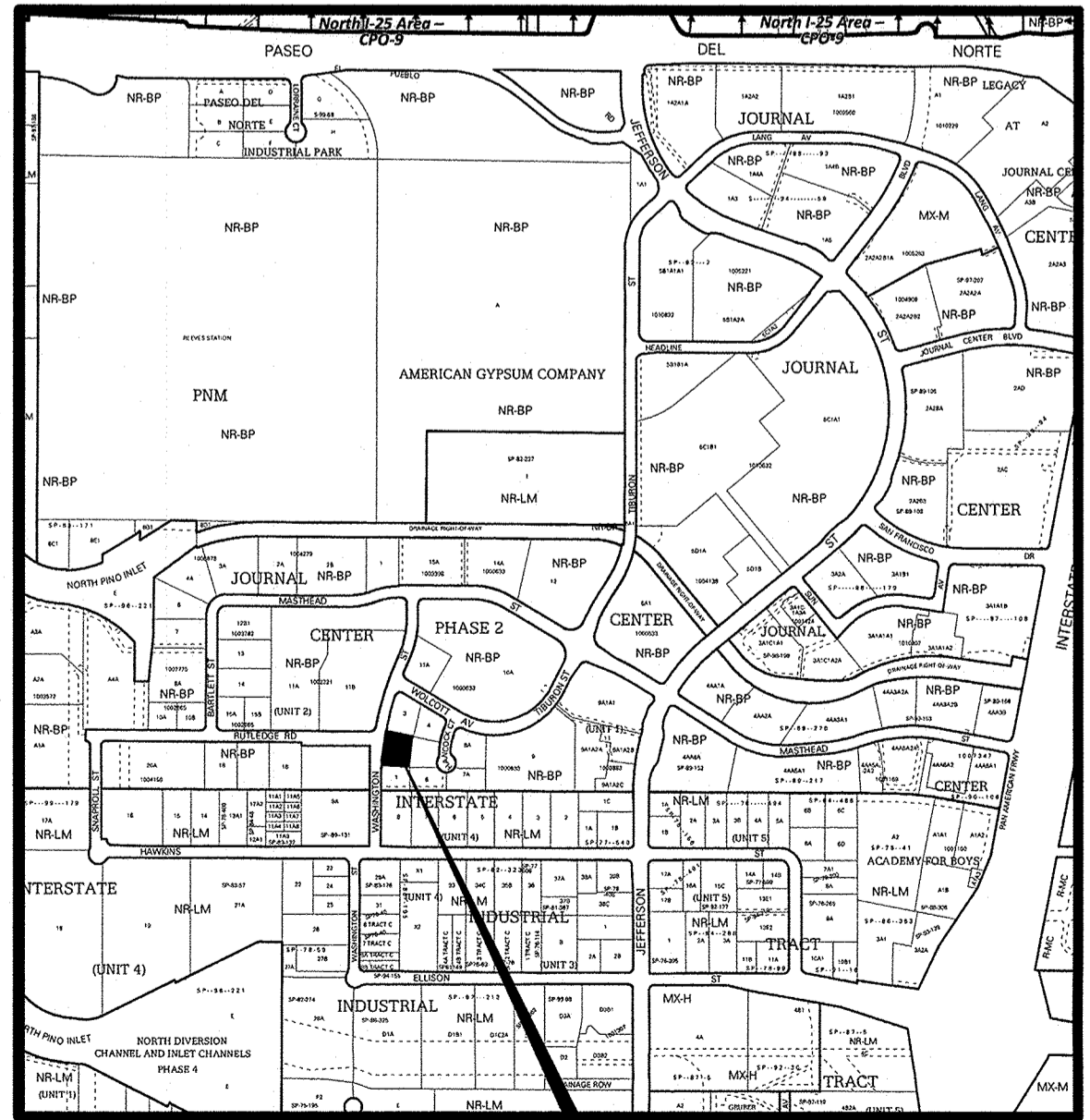


TCL MOTORCYCLE PARKING SIGN

3
TCL-101

TCL ADA PARKING SIGN

2
TCL-101



PROJECT LOCATION

ZONE ATLAS MAP D-17-Z

N.T.S.

35.164541, 106.587875

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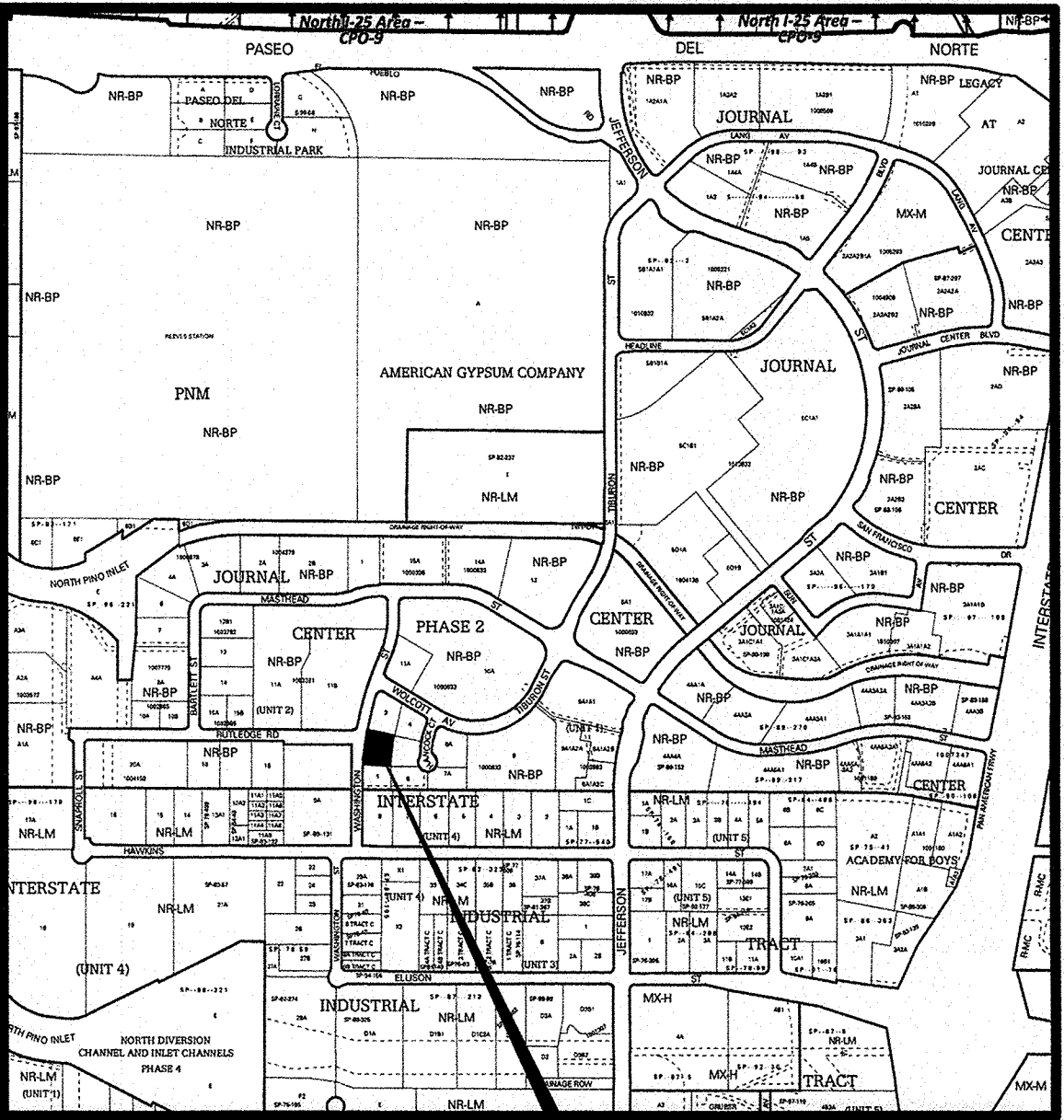
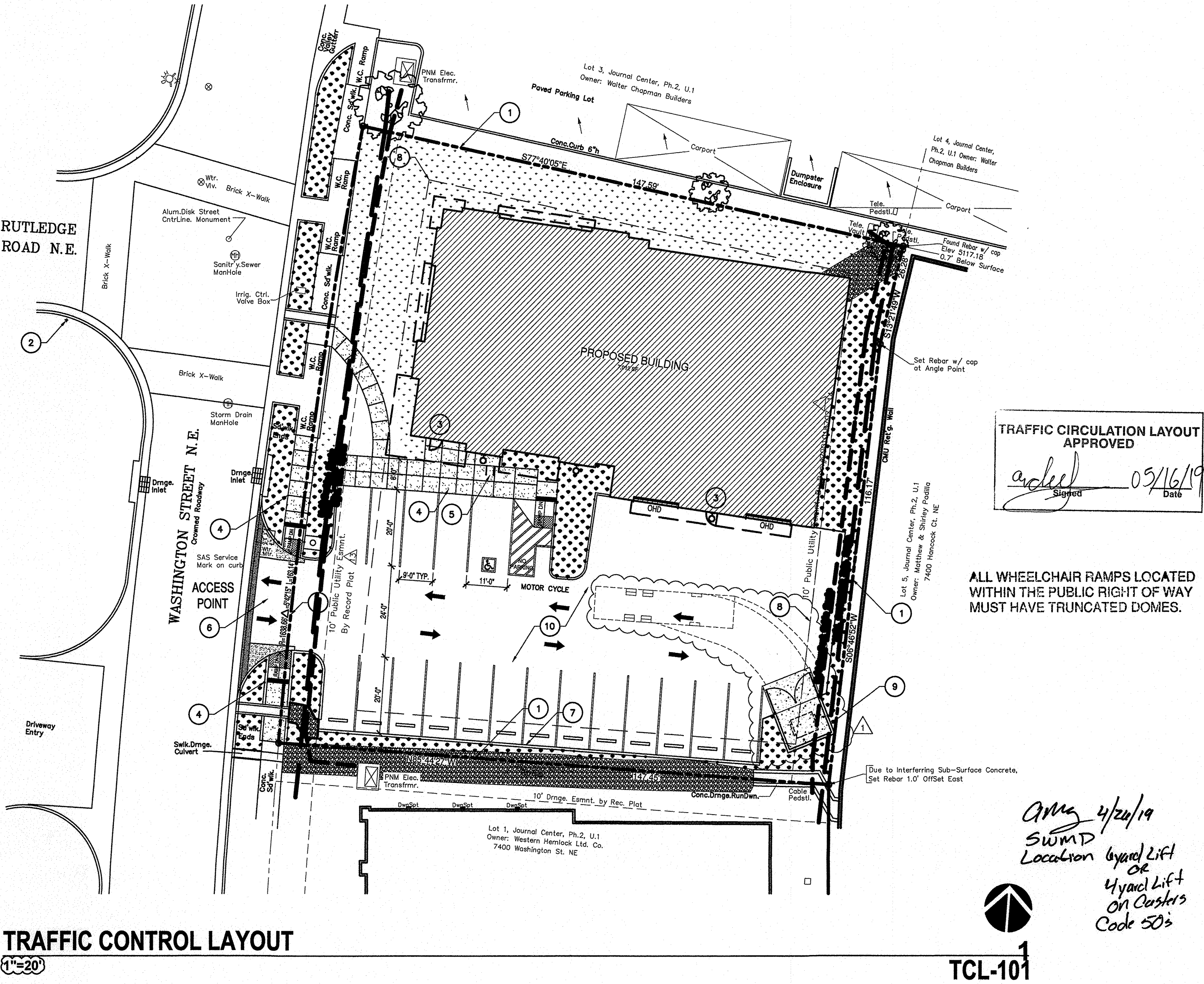
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IDO ZONING:	NR-BP (NON RESIDENTIAL BUSINESS PARK)		
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- VEHICLE FLOW.
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ZONE ATLAS MAP D-17-Z
N.T.S.

35.164641, 106.597675



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ARCHITECTS

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PROJECT:
7410 WASHINGTON STREET NE
OFFICE - WAREHOUSE

SHEET TITLE:
TRAFFIC CONTROL LAYOUT

NO.	REVISION	DATE
1	TRASH ENCLOSURE RELOCATED	4/28/19

ARCHITECT STAMP
STATE OF NEW MEXICO
KEVIN JUNO
NO. 1603

CONSULTANT STAMP

DATE:
4-22-18
PROJECT NO.
1801
SHEET NO.

TCL-101