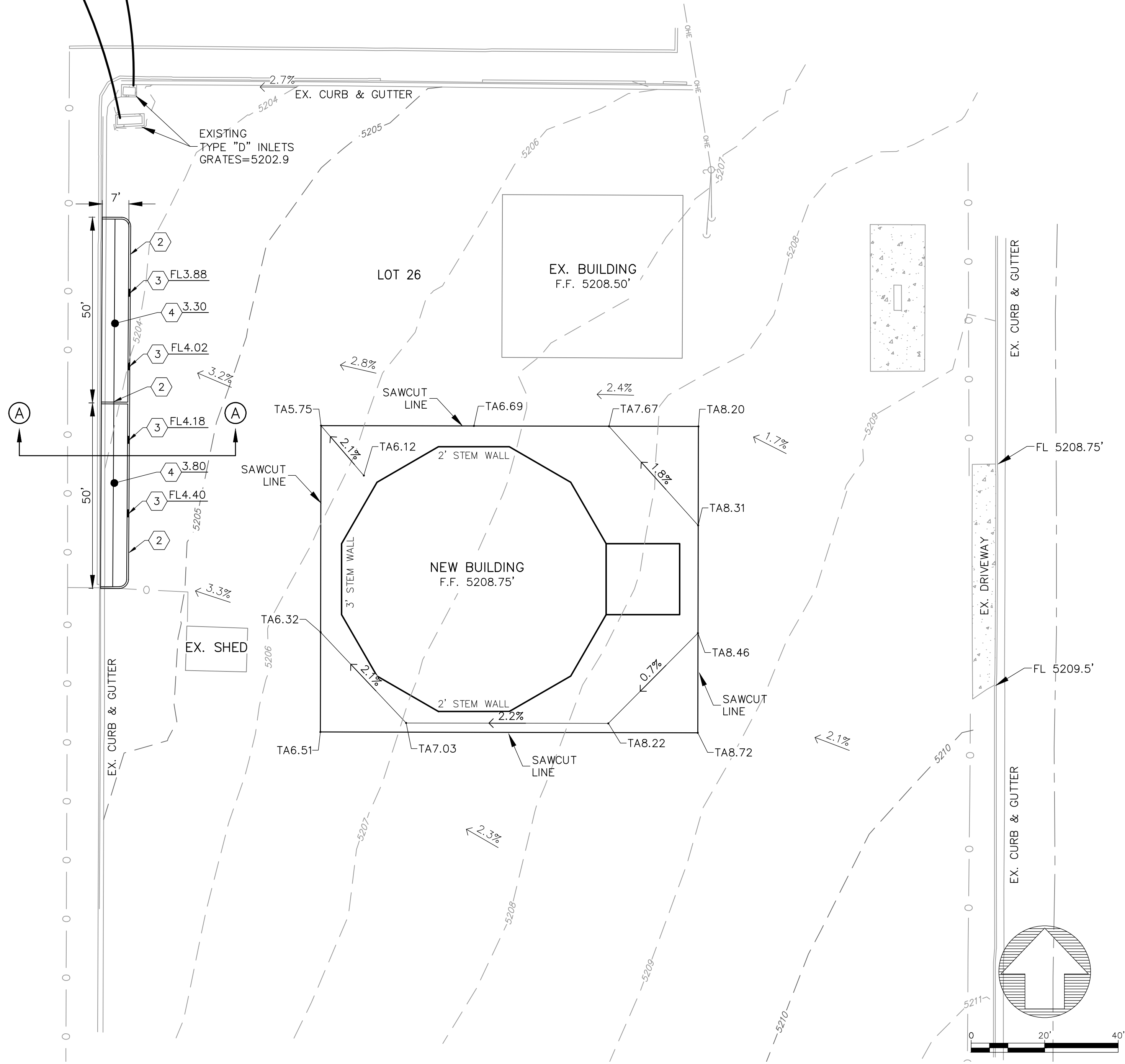


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- KEYED NOTES:**
- EXISTING ASPHALT.
  - CONSTRUCT 6" HEADER CURB
  - CONSTRUCT CURB OPENING PER DETAIL THIS SHEET.
  - CONSTRUCT STORM WATER QUALITY POND.  
REFER TO PLAN FOR BOTTOM OF POND ELEVATION.

**GENERAL GRADING NOTES:**

- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
- THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
- CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
- SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
- CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

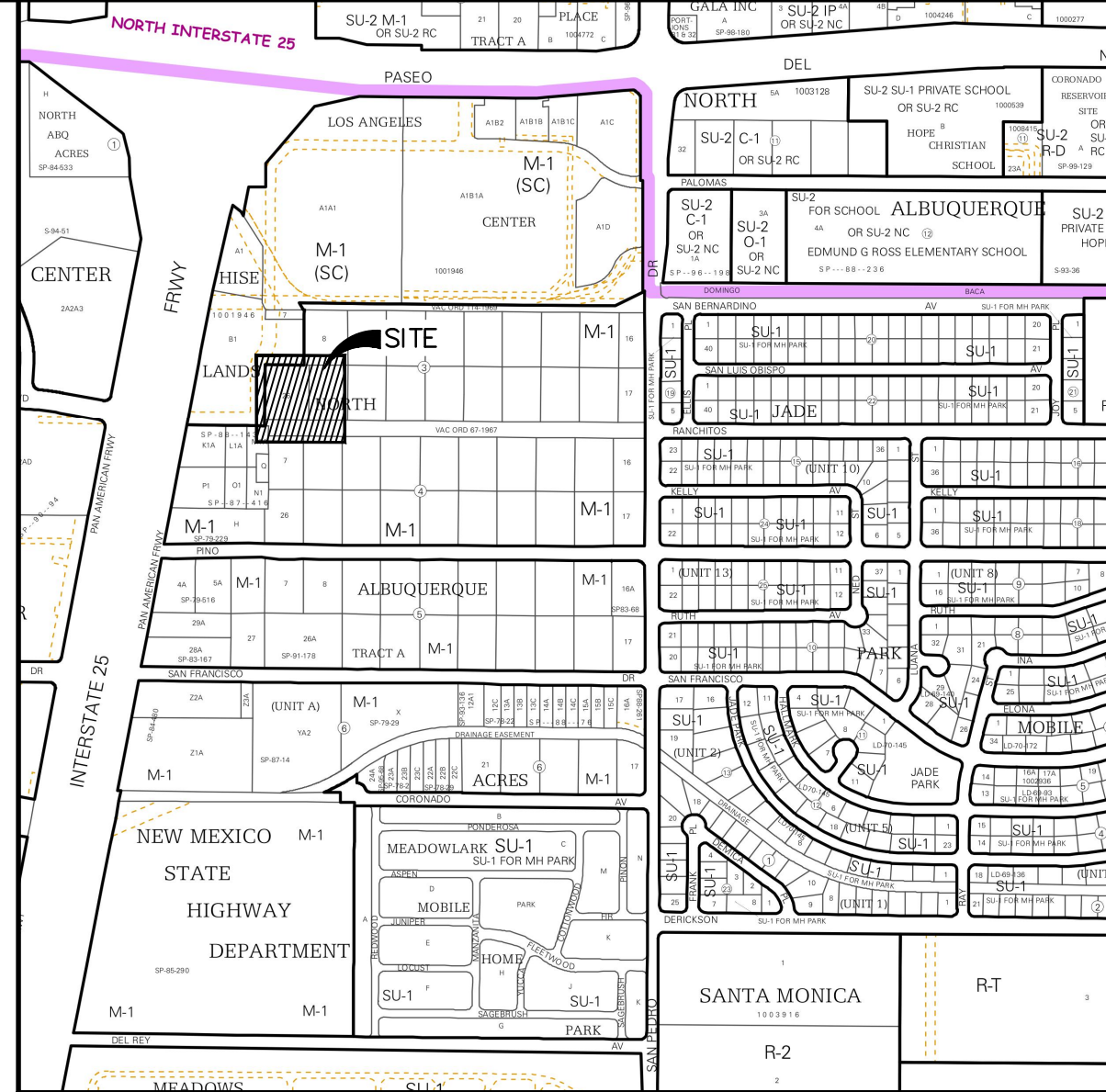
**PROJECT INFORMATION**

**BENCHMARK**  
CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, ZAB-B  
NORTHING: 1519518.103 (NM SPC, CENTRAL ZONE, NAD 1983)  
EASTING: 1540960.37 (NM SPC, CENTRAL ZONE, NAD 1983)  
ELEVATION: 5195.09' (NAVD 1988, U.S. SURVEY FOOT)

**DESCRIPTION**  
NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, LOTS 8 THRU 26, BLOCK 3 & LOTS 7 THRU 26 BLOCK 4.

**FLOOD NOTE:**  
THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0137H.

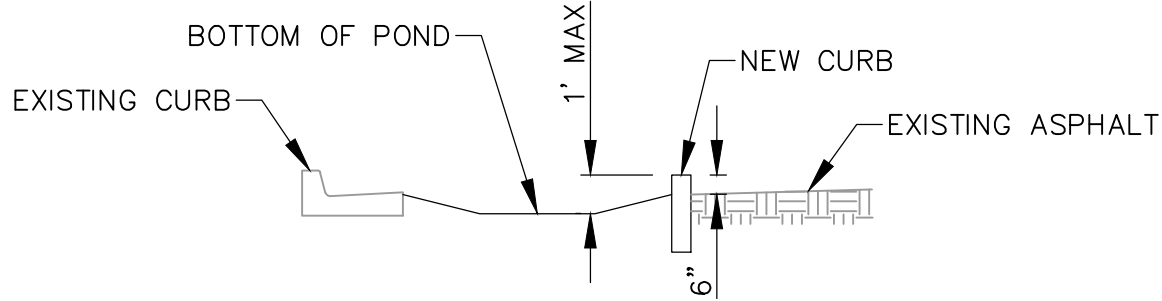
**SURVEYOR INFORMATION**  
TOPOGRAPHIC SURVEY PERFORMED DECEMBER 2022.



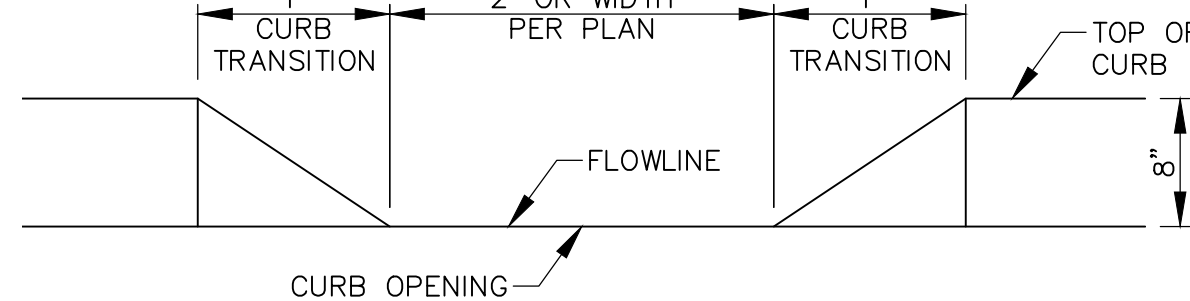
LOCATION MAP  
ZONE ATLAS MAP: D-18-Z

**LEGEND**

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- EXISTING FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TA26.29 TOP OF ASPHALT
- FL26.29 FLOW LINE
- EX. EXISTING
- EXISTING CONCRETE



1 SECTION "A-A"  
SCALE: 1" = 5'



2 TYPICAL CURB OPENING DETAIL  
SCALE: 1" = 1'

**Fierro & Company**  
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CITY OF ALBUQUERQUE  
NEW SALT STORAGE DOME  
PINO YARDS  
5501 PINO AVE. N.E.  
ALBUQUERQUE, NM 87109

PROJECT NAME		BY	
DESCRIPTION		DATE	
REV.		DATE	

PROJECT NO:	22104
DESIGNED BY:	RJF
DRAWN BY:	JB
CHECKED BY:	RJF
DATE:	JANUARY 2023

SHEET TITLE  
**GRADING PLAN**

SHEET NO:  
**C-1**

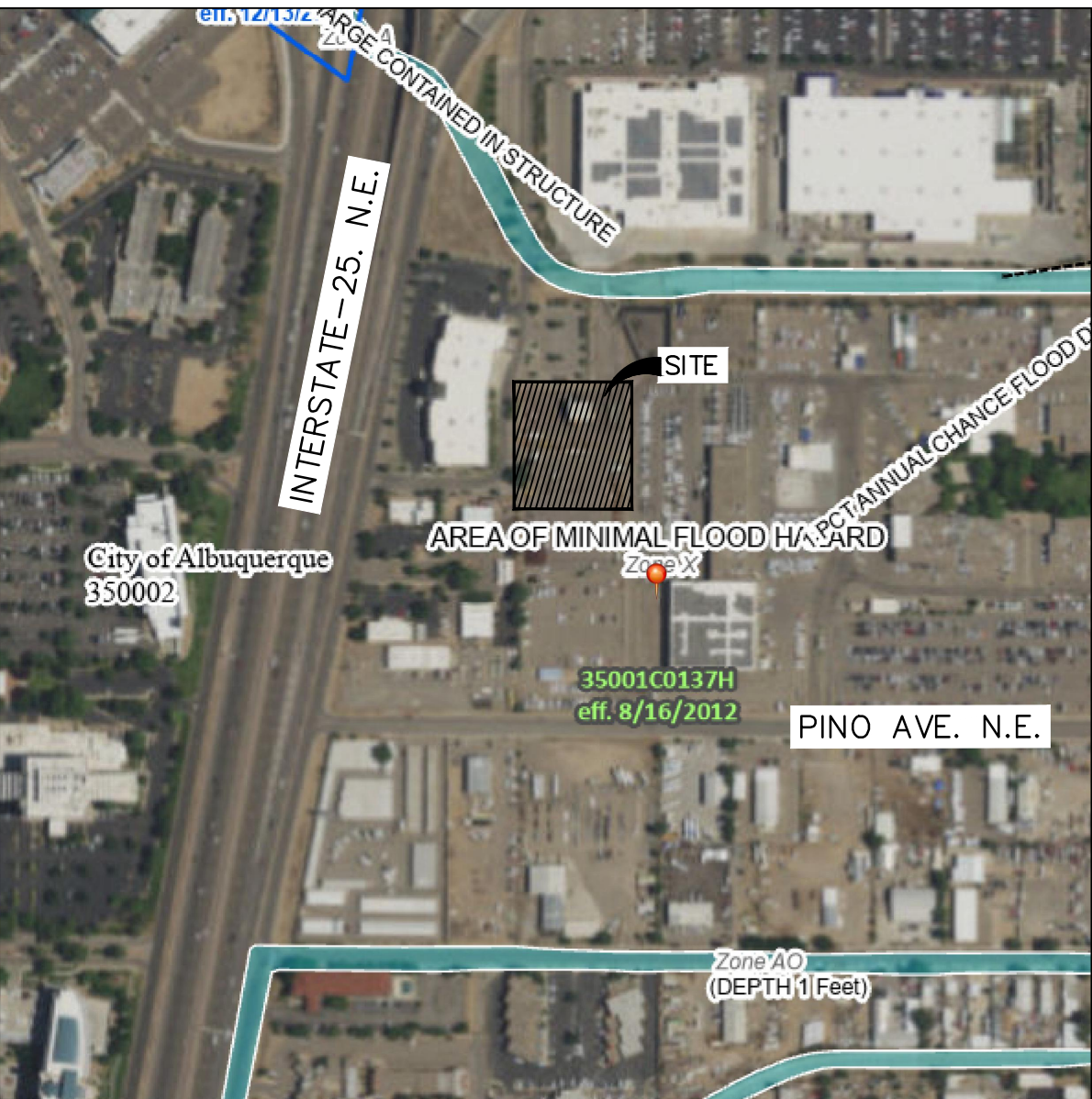


## BASIN MAP

HYDROLOGY SUMMARY										
BASIN	Total Area (sq.ft.)	Total Area (acres)	Land Treatment (%)				Weighted E	Q <sub>100</sub> (cfs)	V <sub>100yr-6hr</sub> (ac-ft)	V <sub>100yr-24hr</sub> (ac-ft)
			A	B	C	D				
100	71232	1.6353	0.0	0.0	17.0	83.0	2.326	7.0	0.317	0.363
101	114182	2.6213	0.0	5.0	0.0	95.0	2.494	11.5	0.545	0.630

## HYDROLOGY SUMMARY

STORMWATER QUALITY VOLUME POND:  
TOTAL NEW LAND TREATMENT "D" AREA = 9,000 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDEVELOPMENT)=9,000 SQ.FT.\*(0.26")\*(1'/12")=195 CU.FT.



FLOOD INSURANCE RATE MAP  
MAP NO. 35001C0137H  
EFFECTIVE DATE: 08/16/2012

**Introduction**

A 4,500 sq.ft. building is proposed at Pino Yards located at 5501 Pino Ave NE. This building is for the Street Maintenance Division which is at the NW corner of Pino Yards. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the existing and proposed condition, 2) seek waiver for the first flush volume, and 3) seek approval for building permit.

**Methodology**

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 3 data was used in the hydrologic computations.

**Existing Condition**

Pino yards is 35 acres and is used to store City of Albuquerque's vehicles and equipment. This drainage report will only focus on the western 250 feet of Pino Yards. The basins analyzed is Basin 100 and Basin 101. Basin 100 stores the surplus vehicles and drains from the SE corner to the NW corner. Basin 101 is the street maintenance yard and receives runoff from Basin 100. Basin 101 discharges from the SE corner to the NW corner to a single Type "D" inlet and a double Type "D" inlet. A storm drain systems then conveys the runoff from Basin 100 and 101 to Domingo Baca Arroyo.

**Proposed Condition**  
A 4,500 sq.ft. building is proposed at Pino Yards. This building will store salt used to deice roads. The existing surface at the proposed building's footprint is asphalt; therefore, there will not be any increase in impervious area. The drainage pattern will not be altered. The first flush volume will be stored via a depressed pond enclosed by curb.

**Conclusion**  
The proposed building will not alter the site's drainage pattern nor increase runoff. The first flush will be treated by storing it's volume. This drainage report seeks COA Hydrology approval for building permit.

# DRAINAGE REPORT

## LEGEND

- 
- PROPERTY BOUNDARY  
FLOW PATH  
SURFACE DRAINAGE  
EXISTING STORM DRAIN  
PROPOSED BASIN  
EXISTING BASIN

**[FC]**  
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		PROJECT NAME
REV.	DATE	DESCRIPTION BY

PROJECT NO:	22104
DESIGNED BY:	RJF
DRAWN BY:	JB
CHECKED BY:	RJF
DATE:	JANUARY 2023

SHEET TITLE

## DRAINAGE PLAN

SHEET NO:

D-1