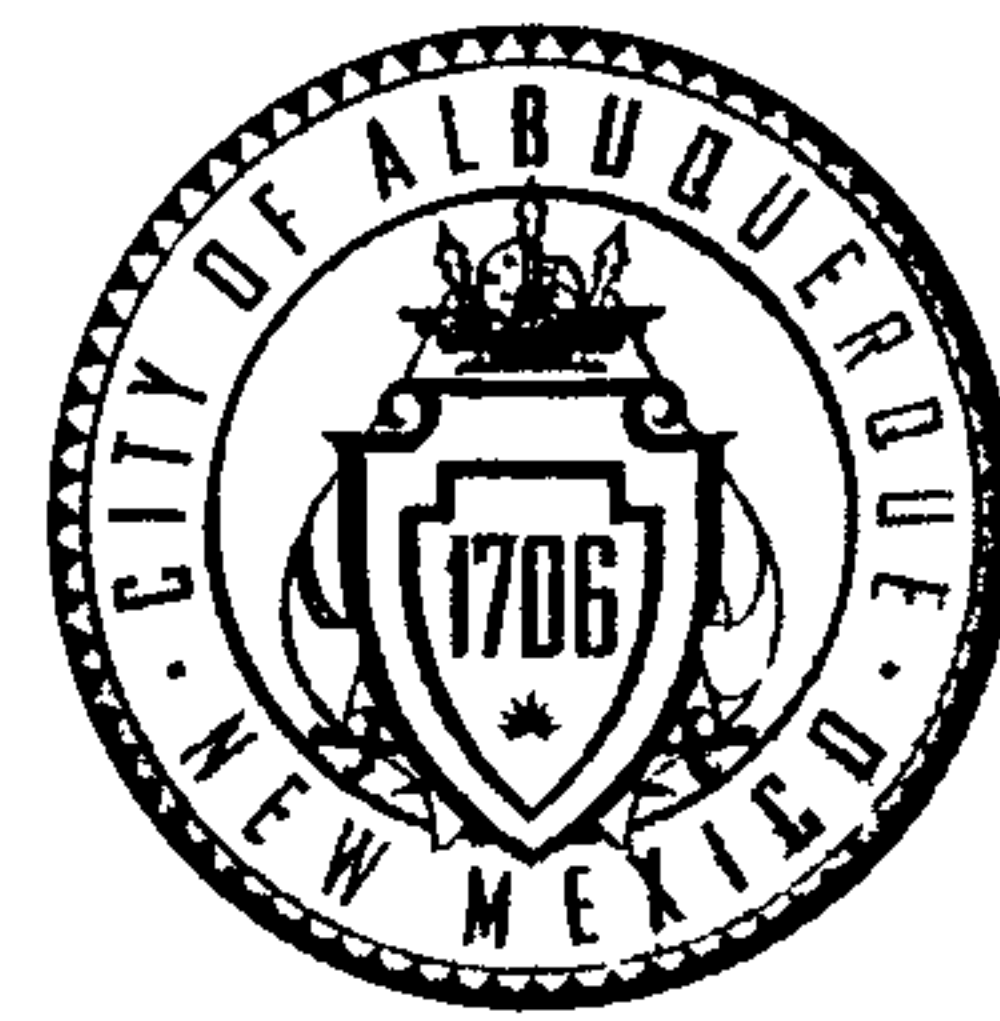


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

January 27, 2016

Mr. Bernie J. Montoya
BJM Consulting
8624 Casa Verde Avenue, NW
Albuquerque, NM, 87120

RE: **6110 San Francisco NE Canopy Addition**
Grading & Drainage Plan
Engineer's Stamp Date 1-4-16 (File: D18D003)

Dear Mr. Montoya:

Based upon the information provided in your submittal received 1-11-2015, the above referenced Grading and Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions you can contact me at 924-3986.

Albuquerque

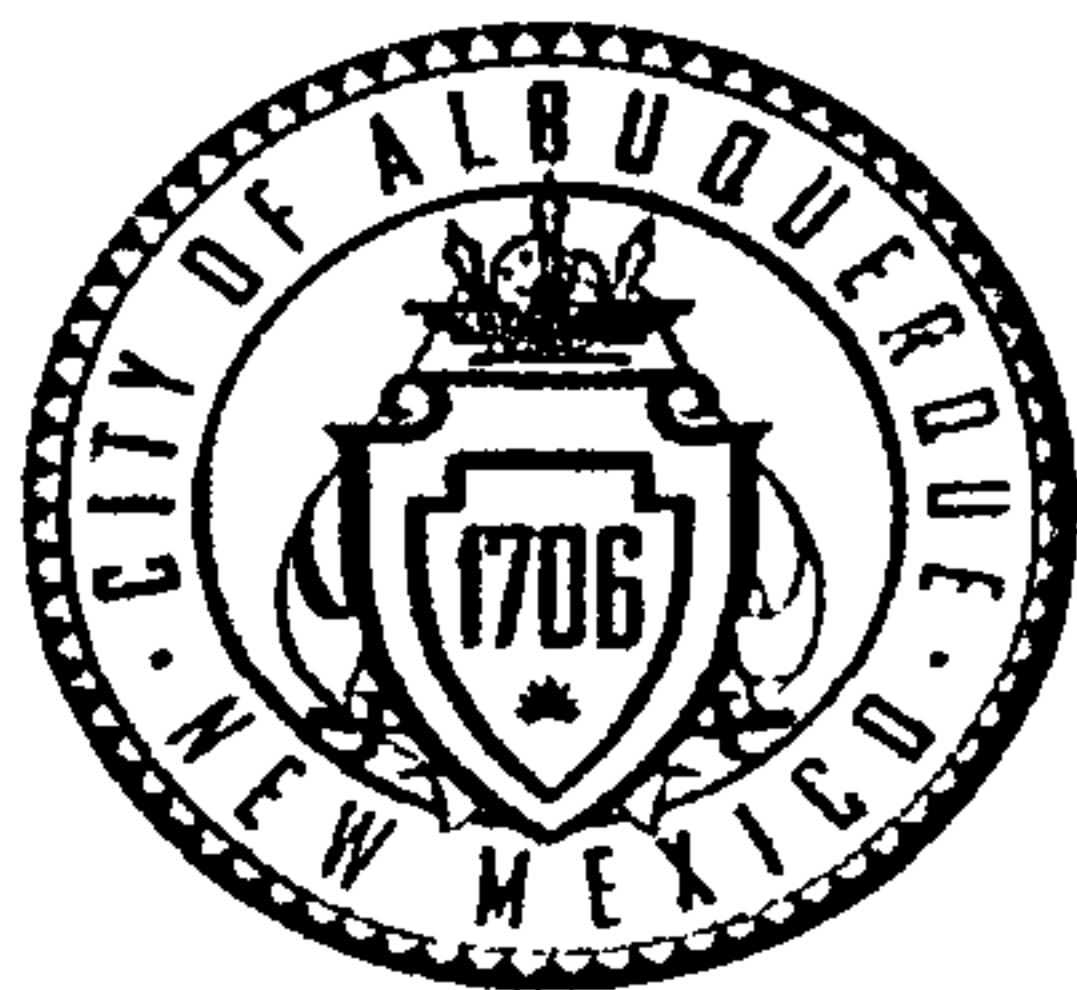
New Mexico 87103

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 6110 SAN FRANCISCO NE CANOPY ADDIT Building Permit #: _____ City Drainage #: D18 **0003**

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 13B, BLOCK 6, TRACTA, UNITA NAA

City Address: 6110 SAN FRANCISCO NE

Engineering Firm: BJM CONSULTING Contact: Bernie J. Montoya

Address: 8624 CASA VERDE AVE. N.W.

Phone#: 505-250-7719 Fax#: 505-839-0451 E-mail: BJMCONSULTING@COM

Owner: TONY GARCIA Contact: _____

Address: _____

Phone#: 505-228-2811 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

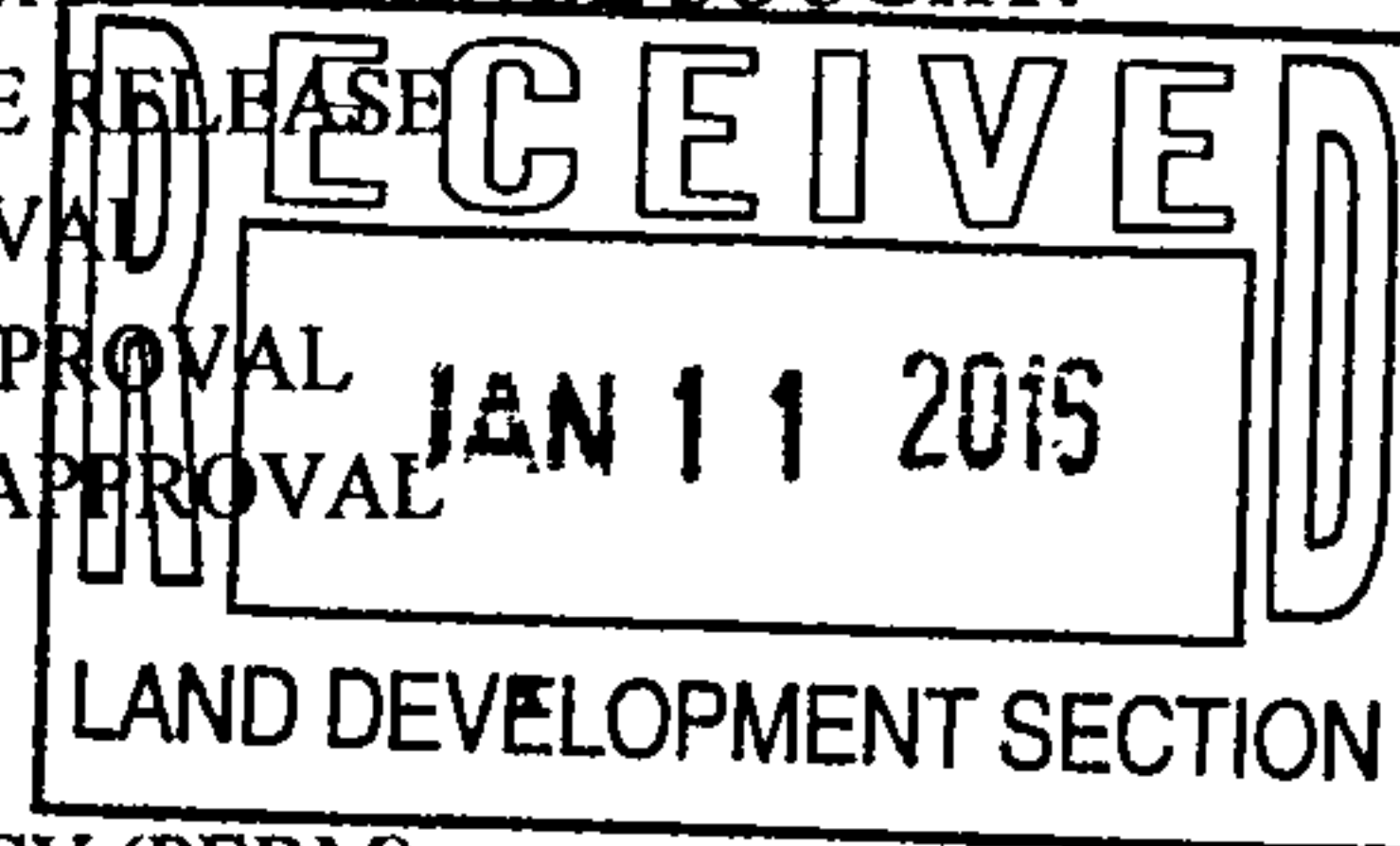
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No Copy Provided Verbal with Abiel Carrillo
DATE SUBMITTED: 1/11/2015 By: Be Metzger on 12/29/2015 office

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

July 27, 1989

Raul A. Rivera, P.E.
Rivera Engineering
2624 Valencia Drive, NE
Albuquerque, New Mexico 87110

RE: DEMERS CONSTRUCTION
(D-18/D3) RECEIVED JUNE 16, 1989

Dear Mr. Rivera:

We are in receipt of your letter dated June 13, 1989. Thank you for clarifying the concern we had with the gravel area within Lot 13C.

If I can be of further assistance, please feel free to call me at 768-2650.

If you should have any questions, please call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+360)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

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CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

May 26, 1989

Raul A. Rivera, P.E.
Rivera Engineering
2624 Valencia Drive, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR DEMERS CONSTRUCTION
(D-18/D3) RECEIVED MAY 18, 1989

Dear Mr. Rivera:

I have reviewed the referenced plan dated May 18, 1989 (Revision 4) and forward the following comments

1. We have released the final Certificate of Occupancy for Lot 14A.
2. Lot 13C shows that the concrete slab drains to gravel. The prior approved plan indicates that the flows will be conveyed to the street. Please address this situation.

If you should have any questions, please call me at 768-2650.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

CAM/bsj
(WP+360)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER

GENE ROMO

DEPUTY CAO
PUBLIC SERVICES

FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT

BILL MUELLER

April 4, 1988

Raul A. Rivera, P.E.
Rivera Engineering
2624 Valencia Drive, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR DEMERS CONSTRUCTION
(D-18/D3) RECEIVED MARCH 22, 1988

Dear Mr. Rivera:

The above referenced plan dated March 9, 1988 (revision 3) is approved. The drainage plan can be used for all the individual lots at Building Permit.

Any field changes need to be incorporated into the approved Master Drainage Plan. Please be advised that no construction will be allowed in the buffer zone.

Should you have any questions, call me at 768-2650.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

xc: Henry Demers
6217 Signal, NE

CAM/bsj



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

November 10, 1987

Raul A. Rivera, P.E.
Rivera Engineering
2624 Valencia Drive, NE
Albuquerque, New Mexico 87110

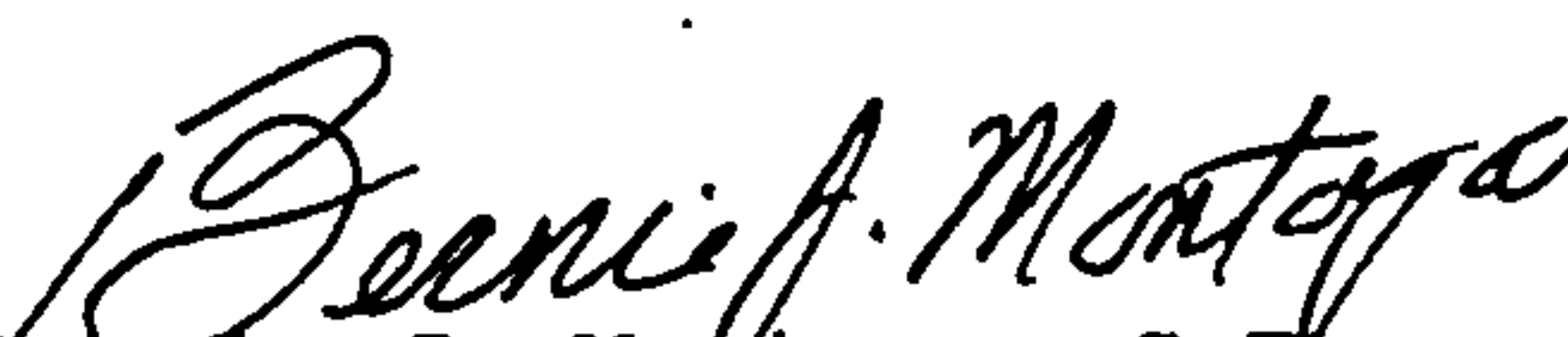
RE: REVISED DRAINAGE PLAN FOR DEMERS CONSTRUCTION
(D-18/D3) REVISION DATED OCTOBER 14, 1987

Dear Mr. Rivera:

Based on the information provided on your submittal of October 23, 1987, the above referenced plan is approved for Final Plat. Before Building Permit approval can be granted, we will need a separate submittal for each lot which incorporates what was approved on the Master Plan.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER