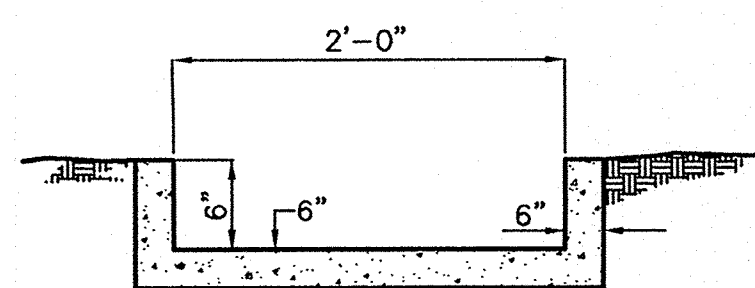
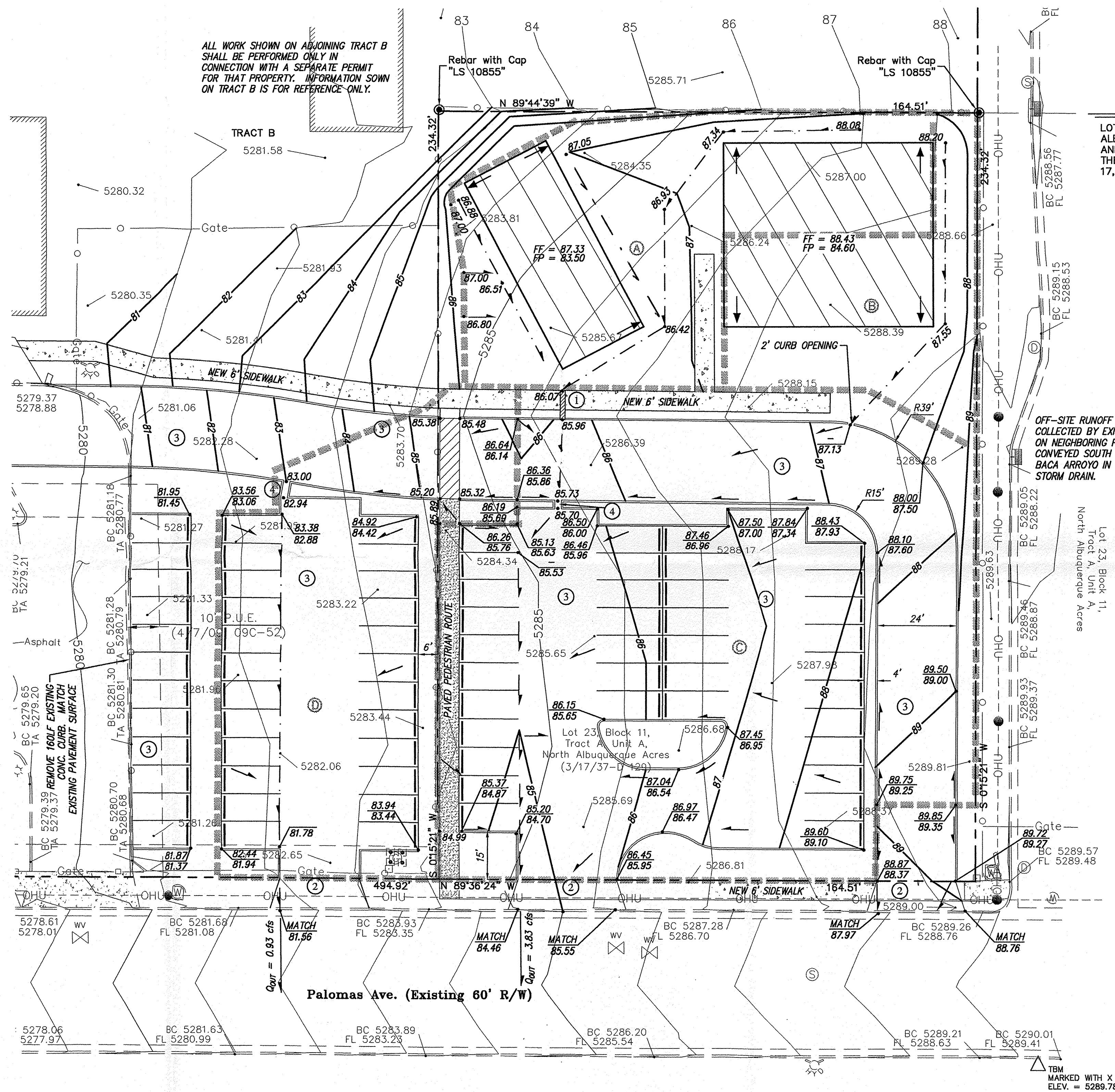


Basin	Area	Existing Discharge	Proposed Discharge
A	8,696 sf		0.82 cfs
B	4,460 sf		0.55 cfs
C	22,628 sf		2.45 cfs
ALL	35,784 sf	2.82 cfs	3.83 cfs
D*	9,645 sf	0.66 cfs	0.93 cfs

* OFF-SITE AREA



CONCRETE CHANNEL SECTION
N.T.S.

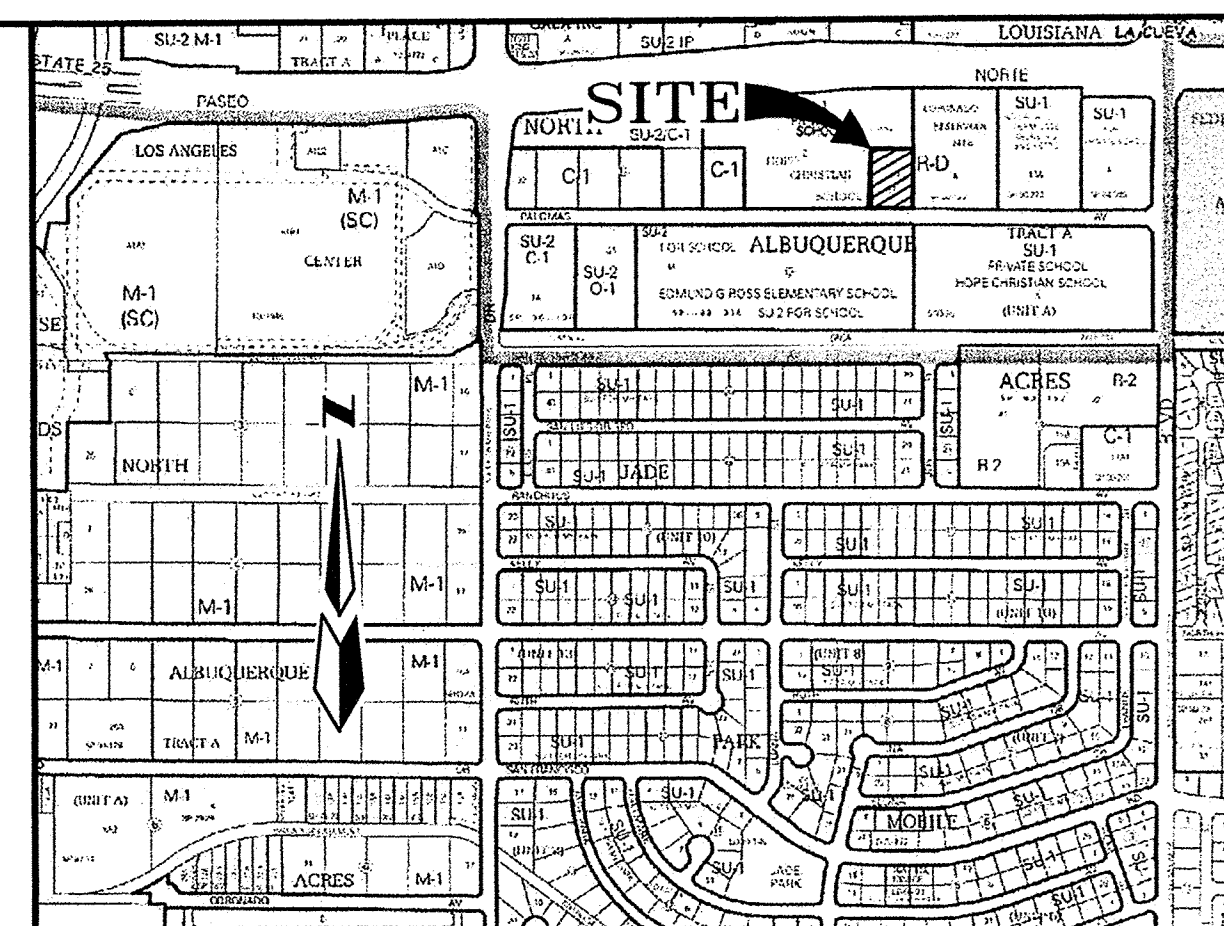
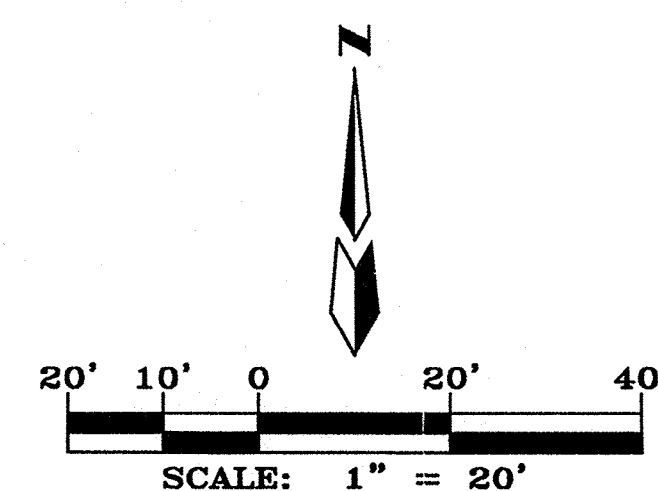


LEGAL DESCRIPTION

LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.

1. INSTALL NEW 12" SIDEWALK CULVERT PER CITY STD. DWG. 2236.
2. BUILD NEW 24" OR 30" PRIVATE DRIVEWAY PER CITY STD. 2425.
3. INSTALL NEW PAVING PER DETAIL THIS SHEET.
4. BUILD 2' CAST IN PLACE CONCRETE CHANNEL SEE DETAIL THIS SHEET.

$$2574200 = 51400 \text{ sq ft} > 1 \text{ ac}$$



VICINITY MAP D-18

BENCH MARK

ACS MONUMENT "16-D19" HAVING AN ELEVATION OF 5394.008 (NAVD88).

TEMPORARY BENCH MARK

TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN \triangle) IN CONCRETE

ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

SURVEY NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2010 BY CARTESIAN SURVEYS
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
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LEGEND

	CURB AND GUTTER
	FENCE
	CONTOUR LINE
	EASEMENT LINE
	WATER METER
	WATER VALVE
	LIGHT POLE
	GAS METER
	FIRE HYDRANT
	POWER POLE
	OVERHEAD UTILITY LINES
	STORM DRAIN INLET
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER MANHOLE
	UTILITY PEDESTAL
	WALL
	BACK OF CURB ELEVATION
	FLOW LINE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	TOP OF ASPHALT CURB ELEVATION
	GROUND SPOT ELEVATION
	EXISTING MODULAR BUILDINGS
	PROPOSED MODULAR BUILDINGS
	PROPOSED WHEEL STOP
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	LANDSCAPED SWALE
	PROPOSED NEW CONTOUR
	FLOW DIRECTION
	ROOF DRAIN
	TOP OF CURB ELEVATION
	FLOWLINE ELEVATION
	NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 2415B
	DRAINAGE BASIN BOUNDARY
	DRAINAGE BASIN

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 6/14/2010	Job: A01032	

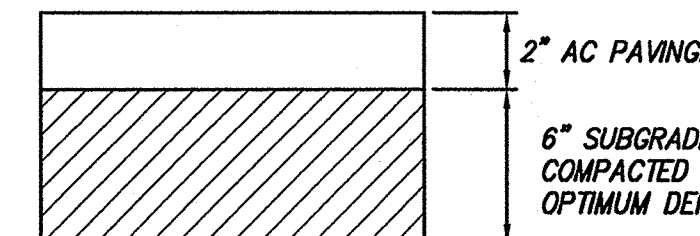
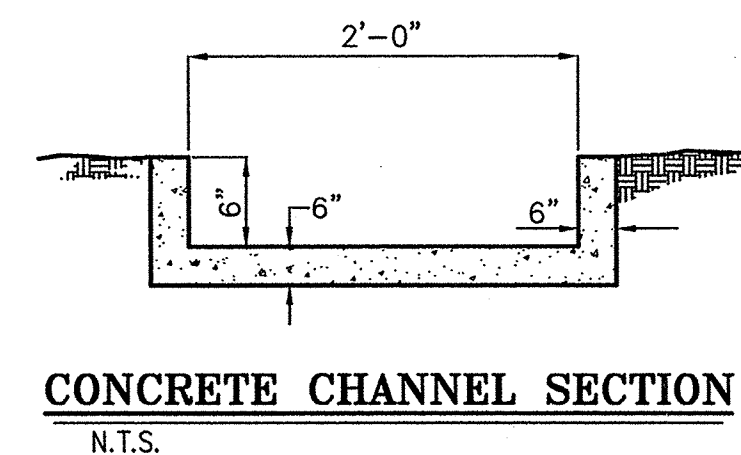
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INPUT FILE = Lot23.dat

AHYMO.SUM
- VERSION: 1997.02d RUN DATE (MON/DAY/YR) = 08/26/2010
USER NO. = AHYMO-I-9702dGoodwinM-AH

COMMAND	FROM TO HYDROGRAPH IDENTIFICATION	ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
START									TIME = .00
RAINFALL TYPE=1									RAIN6= 2.500
COMPUTE NM HYD	101.00	-	1-A(DEV.)	.00030	.82	.028	1.75700	1.500	4.287 PER IMP= 50.00
COMPUTE NM HYD	102.00	-	2-B(DEV.)	.00020	.55	.019	1.75700	1.500	4.334 PER IMP= 50.00
COMPUTE NM HYD	103.00	-	3-C(DEV.)	.00080	2.45	.090	2.11201	1.500	4.783 PER IMP= 85.00
COMPUTE NM HYD	104.00	-	4-D(DEV.)	.00030	.93	.034	2.11201	1.500	4.850 PER IMP= 85.00
COMPUTE NM HYD	105.00	-	5-E(DEV.)	.00010	.32	.011	2.11201	1.500	4.961 PER IMP= 85.00
COMPUTE NM HYD	106.00	-	6-F(DEV.)	.00010	.32	.011	2.11201	1.500	4.961 PER IMP= 85.00
ADD HYD	107.00	1&2	7	.00050	1.38	.047	1.75625	1.500	4.306
ADD HYD	108.00	3&7	8-A,B & C	.00130	3.83	.137	1.97497	1.500	4.600
COMPUTE NM HYD	109.00	-	9-ABC(Ex)	.00130	2.82	.087	1.24986	1.500	3.390 PER IMP= .00
COMPUTE NM HYD	110.00	-	10	.00050	1.09	.033	1.24986	1.500	3.408 PER IMP= .00
COMPUTE NM HYD	111.00	-	11	.00010	.23	.007	1.24986	1.500	3.536 PER IMP= .00
ADD HYD	112.00	9&10	12	.00180	3.91	.120	1.24971	1.500	3.395
ADD HYD	113.00	11&12	13-All(Ex)	.00190	4.14	.127	1.24964	1.500	3.403
FINISH									

Basin	Area	Existing Discharge	Proposed Discharge
(A)	8,696 sf		0.82 cfs
(B)	4,460 sf		0.55 cfs
(C)	21,148 sf		2.45 cfs
(D)	9,337 sf		0.93 cfs
(E)	4,110 sf		0.32 cfs
(F)	2,863 sf		0.32 cfs
ALL	50,614 sf	4.14 cfs	5.39 cfs

1. INSTALL NEW 12" SIDEWALK CULVERT PER CITY STD. DWG. 2236.
2. BUILD NEW 24" PRIVATE DRIVEWAY PER CITY STD. 2425.
3. INSTALL NEW PAVING PER DETAIL THIS SHEET.
4. BUILD 2' CAST IN PLACE CONCRETE CHANNEL SEE DETAIL THIS SHEET.
5. CLEANLY REMOVE 165 LF OF EXISTING CURB.
6. CLEANLY REMOVE 45 S.Y. EXISTING PAVING.
7. CLEANLY REMOVE 30 LF OF EXISTING CURB
8. REMOVE EXISTING FENCE AS NECESSARY.
9. BUILD NEW 24" SIDEWALK CULVERT PER CITY STD DWG 2236.
10. BUILD NEW HC RAMP. LANDING NOT TO EXCEED 1:50. RAMP SLOPE NOT TO EXCEED 12:1.
11. 10' OF EXISTING CURB TO REMAIN
12. BUILD NEW 6" SIDEWALK PER CITY STD. DWG. 2430
13. CONTRACTOR TO INSTALL 20 LF OF REDUCED-HEIGHT CURB AT THIS LOCATION TO ALLOW FOR EMERGENCY VEHICLE ACCESS TO THE NORTH.



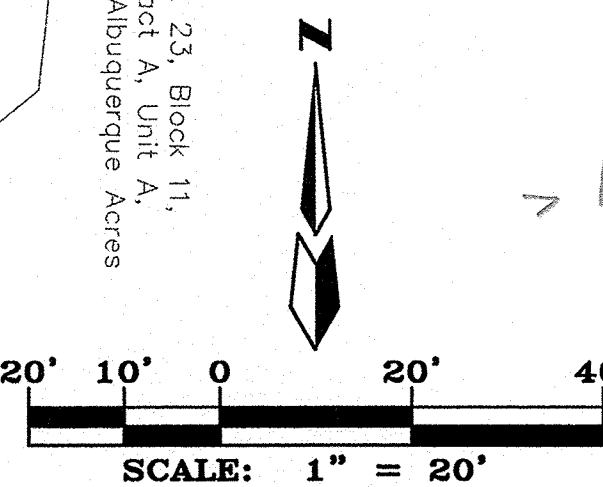
LEGAL DESCRIPTION

LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.

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2. CONTRACTOR SHALL IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY IN ORDER TO ACHIEVE THE FINAL GRADES AS SHOWN ON THIS PLAN.
3. EXCEPT FOR DOORWAYS AND WHERE THERE IS EXTENDED STEM WALL, NEW EXTERIOR FLAT WORK SHALL ABUT TO BUILDING AT NOT LESS THAN ONE-INCH BELOW THE FINISHED FLOOR ELEVATION.
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5. THE FINAL SURFACE GRADE OUTSIDE OF HARDSCAPED AREAS SHALL BE SET TO THE ELEVATIONS SHOWN ON THIS PLAN, INCLUDING LANDSCAPED AREAS, WHICH MUST NOT HINDER THE FLOW OF RUNOFF TOWARD THE SITE'S OUTFALL.
6. THIS PLAN IS DESIGNED TO ESTABLISH CONTINUOUS FLOW OF SURFACE RUN OFF AT A SLOPE OF AT LEAST 1% EXCEPT FOR PARKING LOT ISLANDS THERE SHALL NOT BE ANY ON-SITE DETENTION OF RUNOFF.
7. PLANTER AREAS MUST NOT PROTRUDE ABOVE GRADE ALONG DRAINAGE FLOW PATH OR OTHERWISE HINDER RUNOFF FROM DRAINING THROUGH TO PALOMAS.
8. DRAINAGE BASIN BOUNDARIES REPRESENT HIGH POINTS ON THIS PLAN. GRADES AND SURFACE DRAINAGE ARE SUPPOSED TO FALL AWAY FROM THESE HIGH POINTS. AN AS-BUILT GRADING AND DRAINAGE PLAN WILL HAVE TO BE PROVIDED BY THE CONTRACTOR'S LICENSED SURVEYOR IN ORDER TO VERIFY THAT THE FINISHED GRADES ARE IN COMPLIANCE WITH THIS APPROVED PLAN.

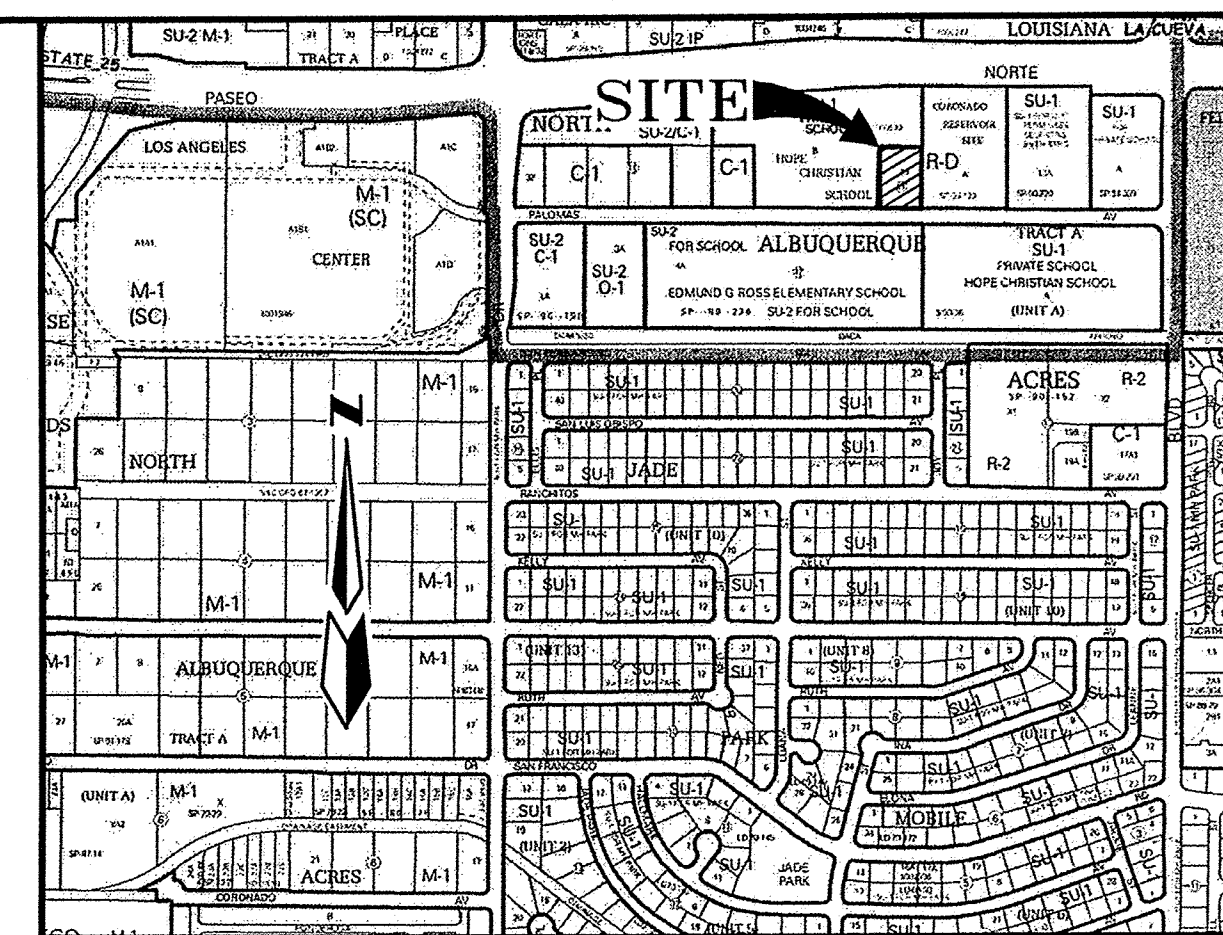
OFF-SITE RUNOFF FORM THE EAST IS COLLECTED BY EXISTING DROP INLETS ON NEIGHBORING PROPERTY AND CONVEYED SOUTH TO THE DOMINGO BACA ARROYO IN AN EXISTING PUBLIC STORM DRAIN.



NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right of way.
2. All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Traffic / street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



VICINITY MAP D-18

BENCH MARK

ACS MONUMENT "16_D19" HAVING AN ELEVATION OF 5394.008 (NAVD89).

TEMPORARY BENCH MARK

TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN Δ) IN CONCRETE ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

SURVEY NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2010 BY CARTESIAN SURVEYS
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LEGEND

	CRUB AND GUTTER
	FENCE
	CONTOUR LINE
	EASEMENT LINE
	WATER METER
	WATER VALVE
	LIGHT POLE
	GAS METER
	FIRE HYDRANT
	POWER POLE
	OVERHEAD UTILITY LINES
	STORM DRAIN INLET
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER MANHOLE
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	WALL
	BACK OF CURB ELEVATION
	FLOW LINE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	TOP OF ASPHALT CURB ELEVATION
	GROUND SPOT ELEVATION
	EXISTING MODULAR BUILDINGS
	PROPOSED MODULAR BUILDINGS
	PROPOSED WHEEL STOP
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	LANDSCAPED SWALE
	PROPOSED NEW CONTOUR
	FLOW DIRECTION
	ROOF DRAIN
	TOP OF CURB ELEVATION
	FLOWLINE ELEVATION
	NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 2415B
	DRAINAGE BASIN BOUNDARY

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 6/14/2010 Job: A01032

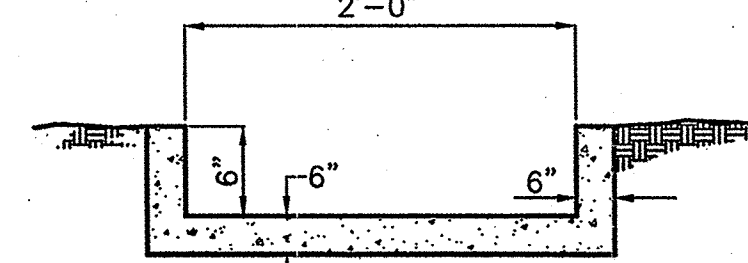
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INPUT FILE = Lot23.dat

AHYMO.SUM
- VERSION: 1997.02d RUN DATE (MON/DAY/YR) = 08/26/2010
USER NO. = AHYMO-1972dGoodwinM-AH

COMMAND	FROM TO HYDROGRAPH ID NO.	ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
START									TIME = .00 RAIN = 2.500
COMPUTE NM HYD	101.00	-	1-A(DEV.)	.00030	.82	.028	1.75700	1.500	4.287 PER IMP = 50.00
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FINISH									

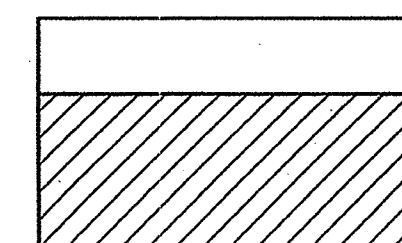
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- CONTRACTOR TO INSTALL 20 LF OF REDUCED-HEIGHT CURB AT THIS LOCATION TO ALLOW FOR EMERGENCY VEHICLE ACCESS TO THE NORTH.



CONCRETE CHANNEL SECTION

N.T.S.



2' AC PAVING.

6" SUBGRADE PREPARATION
COMPACTED TO 95% OF
OPTIMUM DENSITY.

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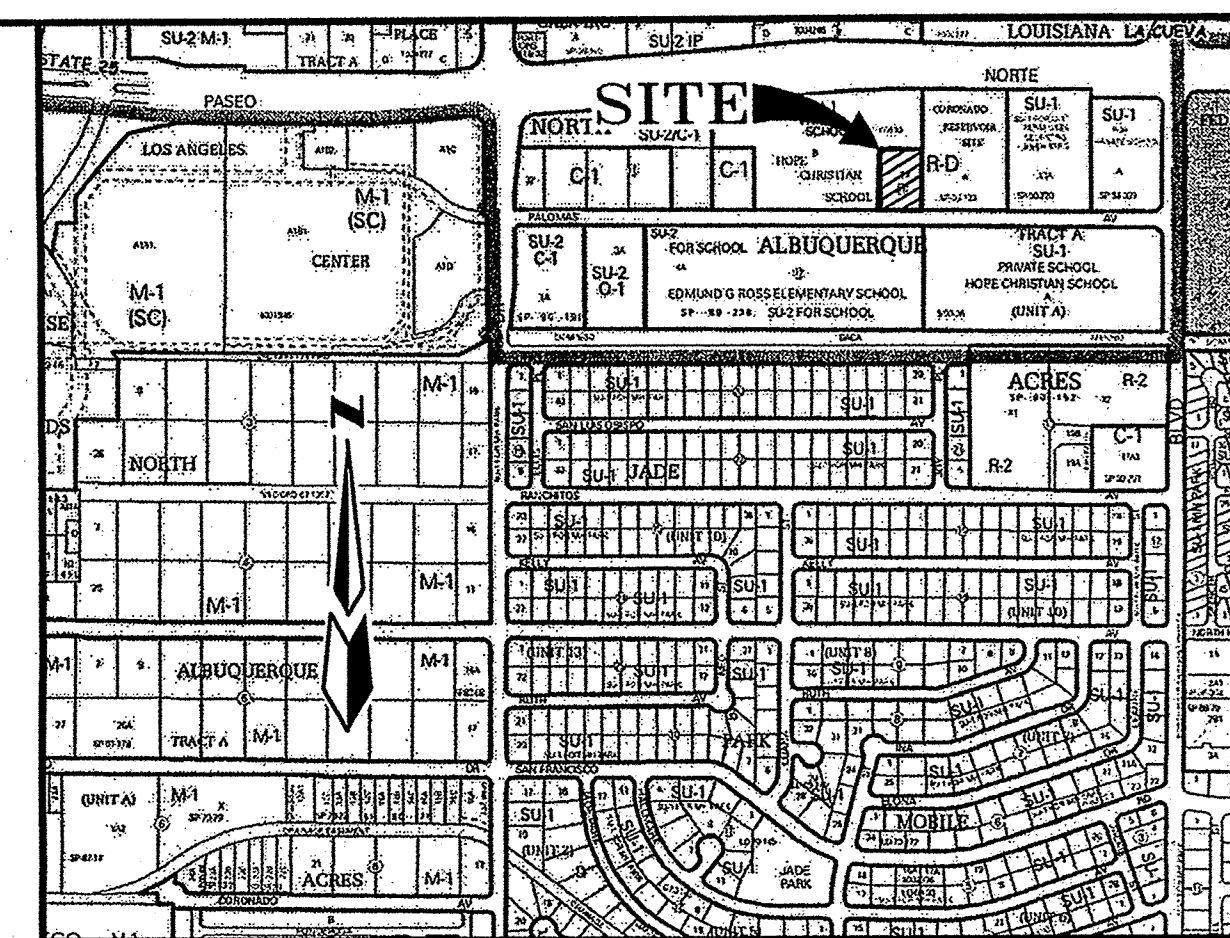
DRAINAGE CERTIFICATION

I, John M. MacKenzie, NMPE 11619, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-28-10. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

John MacKenzie 07-13-11
JOHN M. MACKENZIE NMPE 11619 DATE
NOTICE TO CONTRACTOR

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Approval	Name	Date
Inspector		



VICINITY MAP D-18

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ACS MONUMENT "16.D19" HAVING AN ELEVATION OF 5394.008 (NAVD88).

TEMPORARY BENCH MARK

TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN Δ) IN CONCRETE

ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

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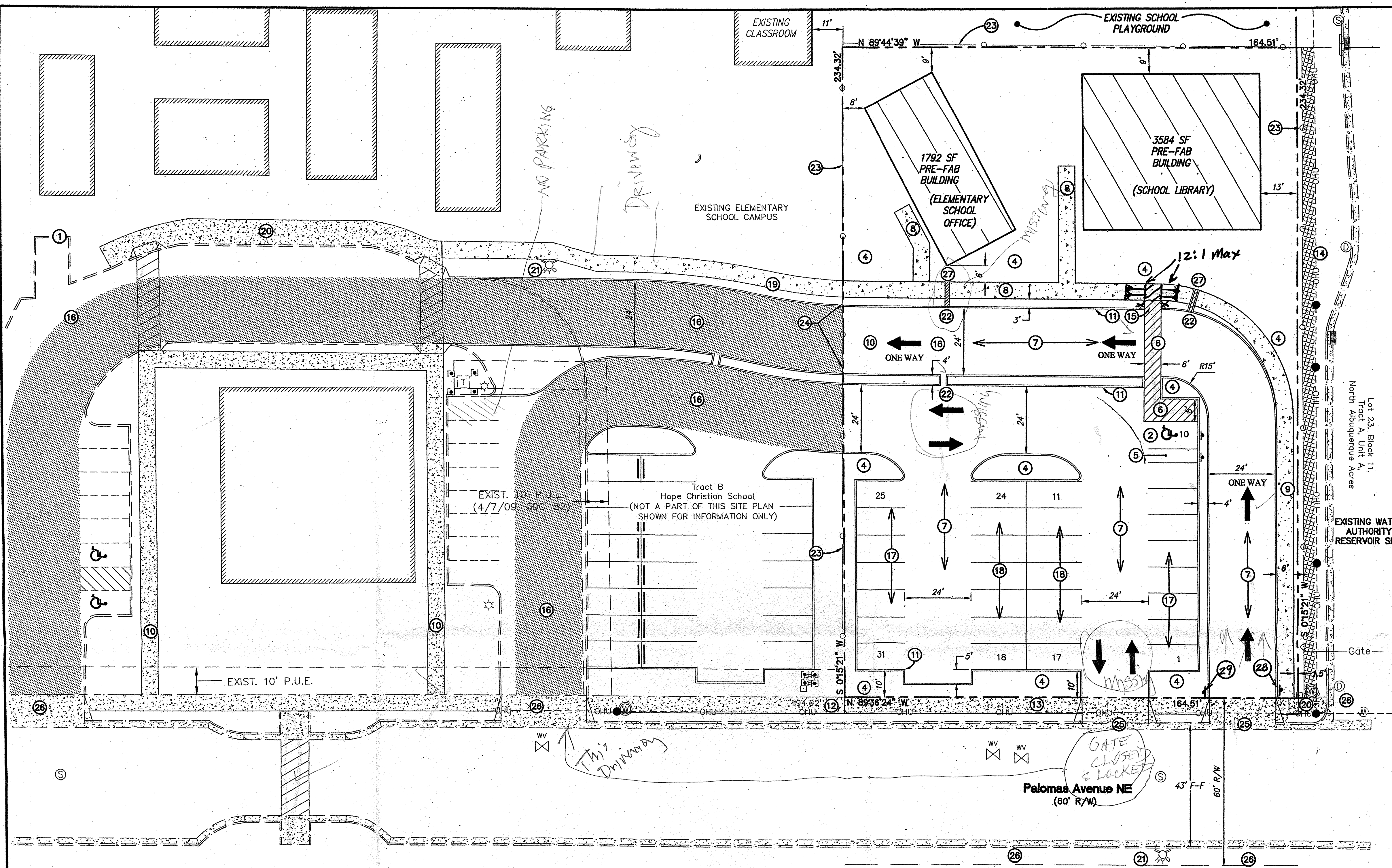
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	CRUB AND GUTTER
	FENCE
	CONTOUR LINE
	EASEMENT LINE
	WATER METER
	WATER VALVE
	LIGHT POLE
	GAS METER
	FIRE HYDRANT
	POWER POLE
	OVERHEAD UTILITY LINES
	STORM DRAIN INLET
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER MANHOLE
	UTILITY PEDESTAL
	WALL
	BACK OF CURB ELEVATION
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	EDGE OF PAVEMENT ELEVATION
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	ROOF DRAIN
	TOP OF CURB ELEVATION
	FLOWLINE ELEVATION
	NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 24159
	DRAINAGE BASIN BOUNDARY
	DRAINAGE BASIN

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS			
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 6/14/2010	Job: A01032	



SITE DEVELOPMENT PLAN DATA:

LEGAL DESCRIPTION:	LOT 23, BLOCK 11, NAA, TRACT A, UNIT A CITY OF ALBUQUERQUE BERNALILLO, NEW MEXICO
BUILDING ADDRESS:	HOPE CHRISTIAN ELEMENTARY SCHOOL 6731 PALOMAS NE ALBUQUERQUE, NM
LAND AREA:	0.87 (37,897 SF)
CURRENT ZONING:	R-D
BUILDING USE AND AREAS:	ADMINISTRATION OFFICES AND LIBRARY TOTALING 4,200 SF
BUILDING CONSTRUCTION:	TYPE V-B (NON-SPRINKLERED)
PARKING CALCULATIONS:	1 PARKING SPACE/200 SF & 1 SPACE/EMPLOYEE
	OFFICE - 1800 SF/200 = 9 SPACES
	LIBRARY - 10 EMPLOYEES = 10 SPACES
	TOTAL PARKING SPACES REQUIRED = 19 SPACES
	TOTAL PARKING SPACES PROVIDED = 30 SPACES
	DISABLED PARKING REQUIREMENTS:
	TOTAL HC SPACES REQUIRED = 1 SPACE
	TOTAL SPACES PROVIDED = 1 SPACE
	MOTORCYCLE PARKING
	TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
	TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE

SHOULD SITE LIGHTING BE INSTALLED, IT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX.
- LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL NOT BE HIGHER THAN 12 FEET ABOVE FINISHED GRADE.

- EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING AREA TO REMAIN. THIS FACILITY SHALL BE UTILIZED BY THE SUBJECT LOT 23 BUILDINGS.
- PROPOSED HANDICAP PARKING SPACE, SIGNAGE AND PAVEMENT MARKING.
- PROPOSED PARKING STRIPING.
- PROPOSED LANDSCAPING. SEE LANDSCAPING PLAN.
- PROPOSED MOTORCYCLE PARKING SPACE WITH SIGN.
- PROPOSED 4-FOOT, PAINTED-ON HANDICAP AISLE STRIPING.
- PROPOSED ASPHALT PAVING.
- PROPOSED 6-FOOT PAVED SIDEWALK.
- PROPOSED PEDESTRIAN CONNECTION TO CITY SIDEWALK.
- EXISTING 6-FOOT SIDEWALK.
- PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- ADJOINING NEW SIDEWALK TO BE INSTALLED WITH DEVELOPMENT OF ADJOINING TRACT B.
- PROPOSED 6-FOOT PUBLIC CONCRETE SIDEWALK.

- EXISTING OFF-SITE LANDSCAPING TO REMAIN.
- PROPOSED HANDICAP RAMP. SEE SHEET 3 FOR RAMP DETAILS.
- PROPOSED CROSS-ACCESS EASEMENT GRANTED TO BOTH LOT 23, BLOCK 11, NAA, TRACT A, UNIT A BY SEPARATE DOCUMENT. THE PROPOSED VEHICULAR CIRCULATION ROUTE IS TO BE CONNECTED WITH AN EXISTING CIRCULATION ROUTE NOW FULLY CONTAINED ON THE ADJOINING TRACT B.
- PROPOSED 8'-6" x 18'-0" (min.) PARKING SPACES
- PROPOSED 8'-6" x 20'-0" (min.) PARKING SPACES
- NEW PAVED SIDEWALK TO BE EXTENDED WEST WITH REDEVELOPMENT OF TRACT B.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- OPENING IN CURB FOR DRAINAGE. SEE GRADING AND DRAINAGE PLAN.
- EXISTING FENCE TO REMAIN.
- EXISTING FENCE TO BE REMOVED.
- BUILD NEW 24-FOOT DRIVEWAY PER CITY STANDARD DRAWING 2425.
- EXISTING DRIVEWAY TO REMAIN
- NEW SIDEWALK CULVERT
- INSTALL R6-1(L) SIGN
- INSTALL R6-1(R) SIGN

APPLICATION NUMBER: 10 DRB-70191

PROJECT NUMBER: 1008415

City Approvals:

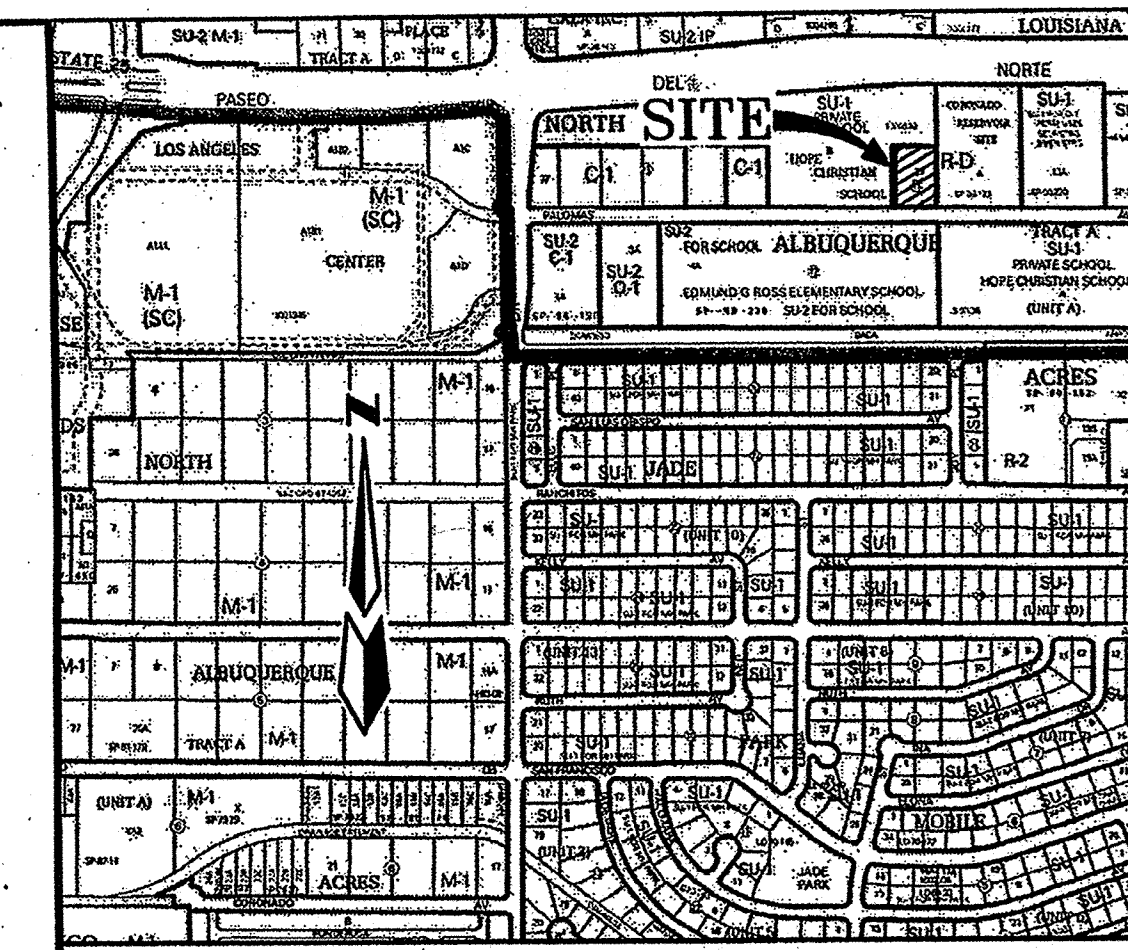
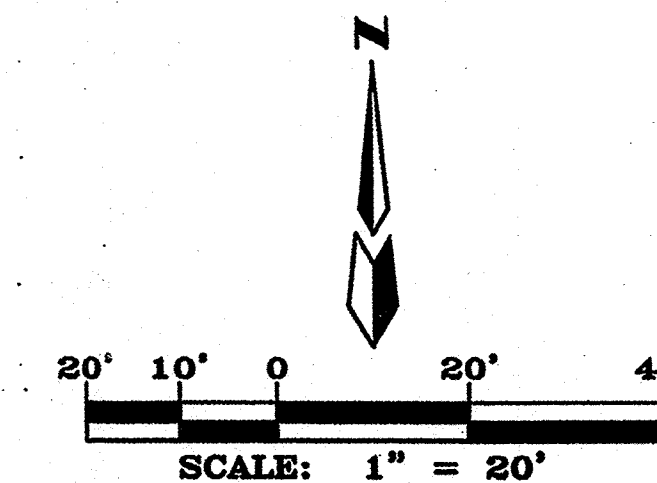
Traffic Engineering, Transportation Division	09-15-10
Water Utility Authority	09/16/10
Parks and Recreation Department	9/16/10
City Engineer	9/16/10
DRB Chairperson, Planning Department	10-28-10
City Fire Marshal	9/16/10
Public Works	9-21-10

AFD PLANS CHECKING OFFICE

924-9814

APPROVED/DISAPPROVED

SIGNATURE & DATE



VICINITY MAP
SCALE: 1" = 750' ZONE ATLAS PAGE: D-1

LEGAL DESCRIPTION

LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.

SETBACKS

BUILDING SETBACKS ARE PER THE O-1 ZONE, WHICH ARE NOT LESS THAN 5 FEET ON THE FRONT, REAR, AND SIDES OF THE LOT.

SIGNAGE

ON PREMISE SIGNS SHALL BE AS REGULATED IN THE O-1 ZONE.

Fire alarm per IFC(2003) shall be installed in buildings and connected to the school's existing system.

EXIST. CURB AND GUTTER	EXIST. CHAIN-LINK FENCE
EXIST. EASEMENT LINE	EXIST. WATER METER
EXIST. WATER VALVE	EXIST. LIGHT POLE
EXIST. GAS METER	EXIST. FIRE HYDRANT
EXIST. POWER POLE	EXIST. OVERHEAD UTILITY LINES
EXIST. STORM DRAIN INLET	EXIST. SEWER MANHOLE
EXIST. STORM DRAIN MANHOLE	EXIST. WATER MANHOLE
EXIST. UTILITY PEDESTAL	EXIST. WALL
EXISTING MODULAR BUILDINGS	PROPOSED MODULAR BUILDINGS
PROPOSED TRAFFIC FLOW	PARKING COUNT
PROPOSED COVERAGE OF ACCESS EASEMENT TO BE GRANTED TO LOT 23	

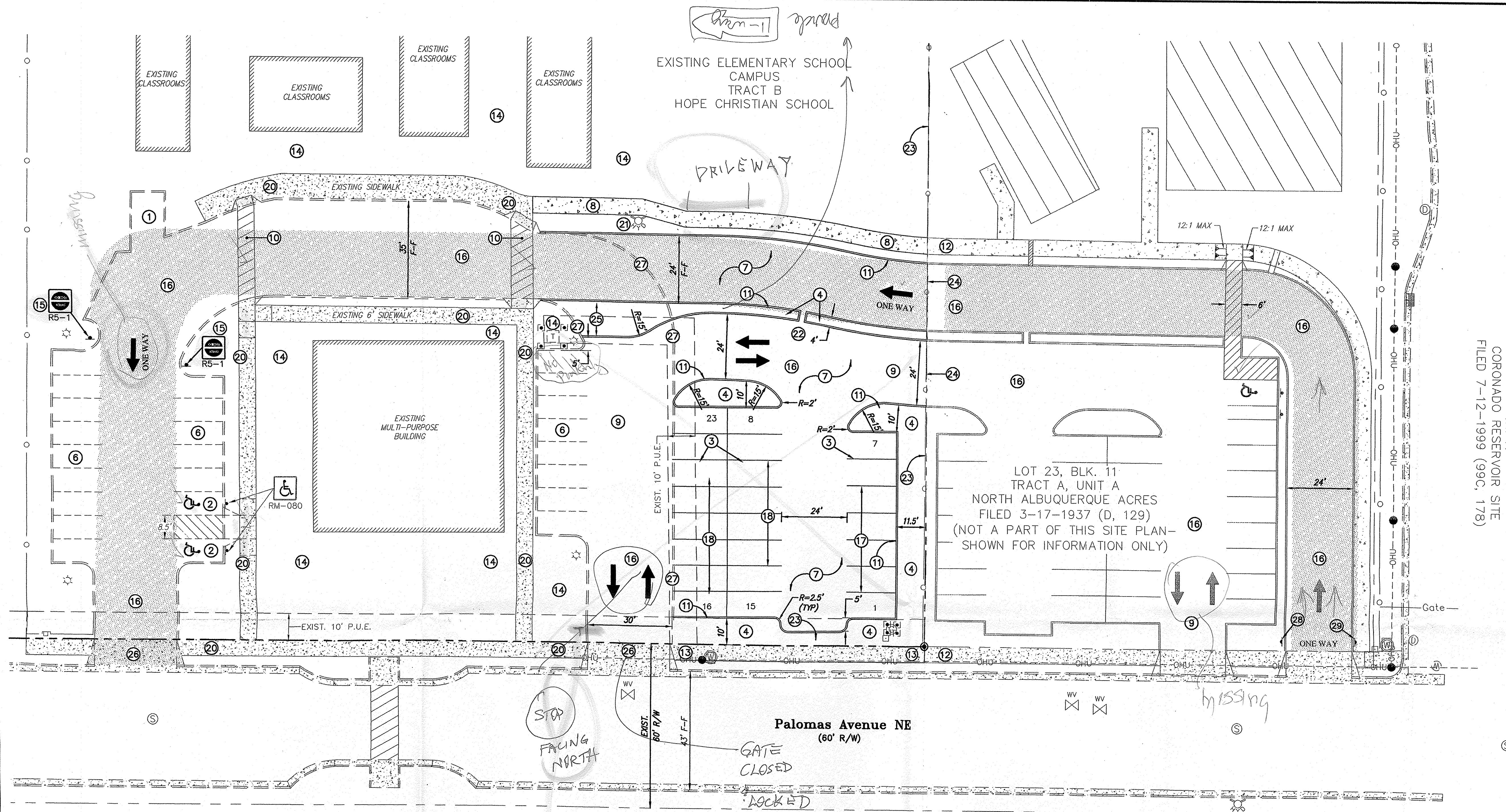
HOPE CHRISTIAN ELEMENTARY SCHOOL ADDI

SITE DEVELOPMENT PLAN FOR BUIL

MARK GOODWIN & ASSOCIATES, P. CONSULTING ENGINEERS

P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 8719 (505)828-2200, FAX (505)797-9

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1
Scale: 1" = 20'	Date: 8/27/2010	Job: A10032	



SITE DEVELOPMENT PLAN DATA:

LEGAL DESCRIPTION:

TRACT B, HOPE CHRISTIAN SCHOOL
CITY OF ALBUQUERQUE
BERNALILLO, NEW MEXICO

BUILDING ADDRESS:

HOPE CHRISTIAN ELEMENTARY SCHOOL
6721 PALOMAS NE
ALBUQUERQUE, NM

TOTAL SITE AREA:

7 ACRES

CURRENT ZONING:

SU-1/PRIVATE SCHOOL

BUILDING USE:

PRIVATE SCHOOL

NEW BUILDING CONSTRUCTION:

NONE

PARKING:

ADDITIONAL PARKING BY THIS PLAN = 23 SPACES
EXISTING OFF-STREET PARKING = 24 SPACES
TOTAL: = 47 SPACES

PURPOSE OF AMENDMENT:

TO ADD 23 ADDITIONAL PARKING SPACES AND LANDSCAPING
AND TO EXPAND OFF-STREET VEHICLE CIRCULATION ROUTE LENGTH
WITH ADJOINING PROPERTY TO THE EAST.

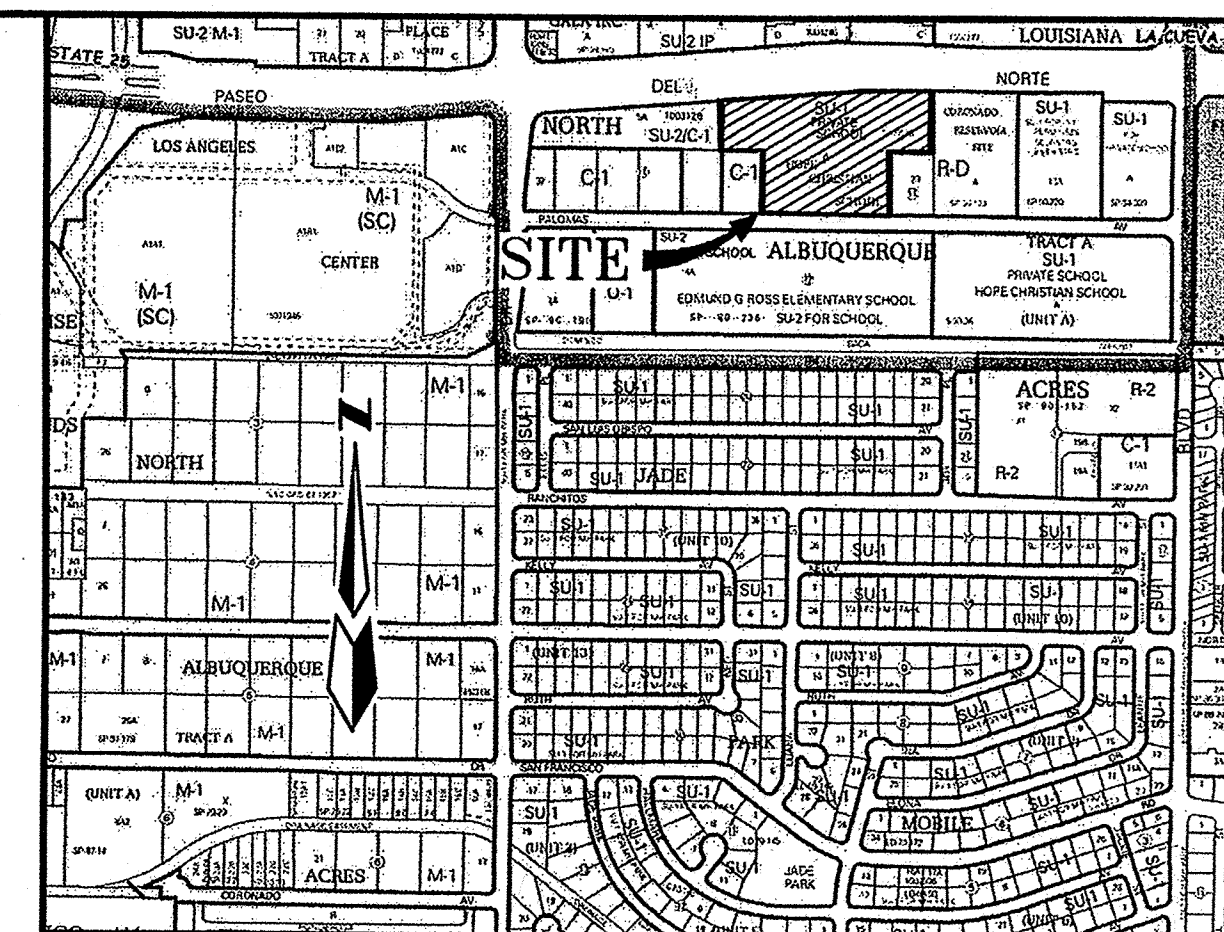
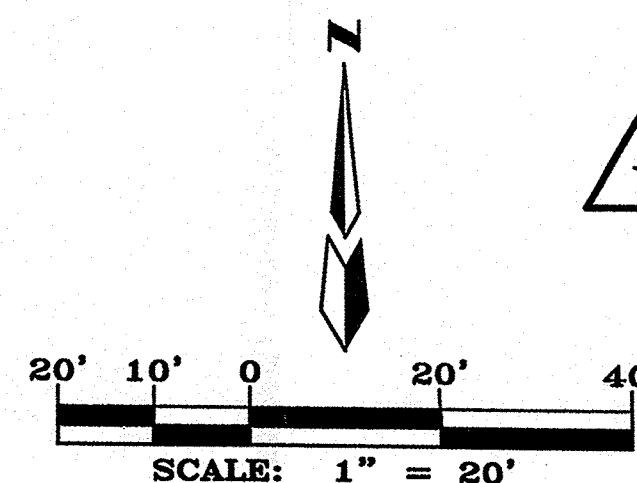
SHOULD ADDITIONAL SITE LIGHTING BE INSTALLED, IT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX.
- LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL NOT BE HIGHER THAN 12 FEET.

- EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING AREA TO REMAIN. THIS FACILITY SHALL ALSO BE UTILIZED BY THE LOT 23 BUILDINGS.
- EXISTING HANDICAP PARKING SPACE, SIGNAGE AND PAVEMENT MARKING.
- PROPOSED PARKING STRIPING (SOLID WHITE)
- PROPOSED LANDSCAPING. SEE LANDSCAPING PLAN.
- EXISTING PAVING TO REMAIN.
- PROPOSED ASPHALT PAVING.
- PROPOSED 6-FOOT ASPHALT SIDEWALK.
- 2-WAY TRAFFIC ROUTE.
- EXISTING CROSSWALK ACCESS ROUTE TO REMAIN.
- PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- ADJOINING NEW SIDEWALK TO BE INSTALLED WITH DEVELOPMENT OF ADJOINING LOT 23, BLK 11, N.A.A., TRACT A UNIT A.
- PROPOSED 6-FOOT PUBLIC CONCRETE SIDEWALK.
- EXISTING LANDSCAPING TO REMAIN.
- INSTALL NEW ONE-WAY SIGNS.

- PROPOSED RECIPROCAL CROSS-ACCESS EASEMENT GRANTED TO BOTH LOT 23, BLOCK 11, N.A.A., TRACT A, UNIT A AND TRACT B, HOPE CHRISTIAN SCHOOL BY PLAT & SEPARATE DOCUMENT. THE PROPOSED VEHICULAR CIRCULATION ROUTE IS TO BE CONNECTED WITH A NEW CIRCULATION ROUTE ON THE ADJOINING LOT 23.
- PROPOSED MIN. 9' x 18'-0" PARKING SPACES
- PROPOSED MIN. 9' x 20'-0" PARKING SPACES
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- OPENING IN CURB FOR DRAINAGE. SEE GRADING AND DRAINAGE PLAN.
- EXISTING FENCE TO REMAIN.
- EXISTING FENCE TO BE REMOVED.
- REMOVE EXISTING PAVEMENT AND REPLACE WITH NEW LANDSCAPING.
- EXISTING DRIVEWAY TO REMAIN.
- REMOVE EXISTING CURB.
- INSTALL R6-1(R) SIGN
- INSTALL R6-1(L) SIGN
- APPLY NEW ONE WAY ARROW STRIPING WITH SOLID WHITE.

ADMINISTRATIVE AMENDMENT	
FILE # 10-1011 PROJECT # 1000539	
enhance internal circulation + add off-street parking on Tr. B.	
APPROVED BY	DATE
Manore	10/5/10



VICINITY MAP

SCALE: 1" = 750' ZONE ATLAS PAGE: D-18

LEGAL DESCRIPTION

TRACT B, OF HOPE CHRISTIAN SCHOOL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 7, 2009, IN BOOK 2009C, PAGE 52.

LEGEND

	EXIST. CURB AND GUTTER
	EXIST. CHAIN-LINK FENCE
	EXIST. EASEMENT LINE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXISTING MODULAR BUILDINGS

PROPOSED TRAFFIC FLOW

PARKING COUNT

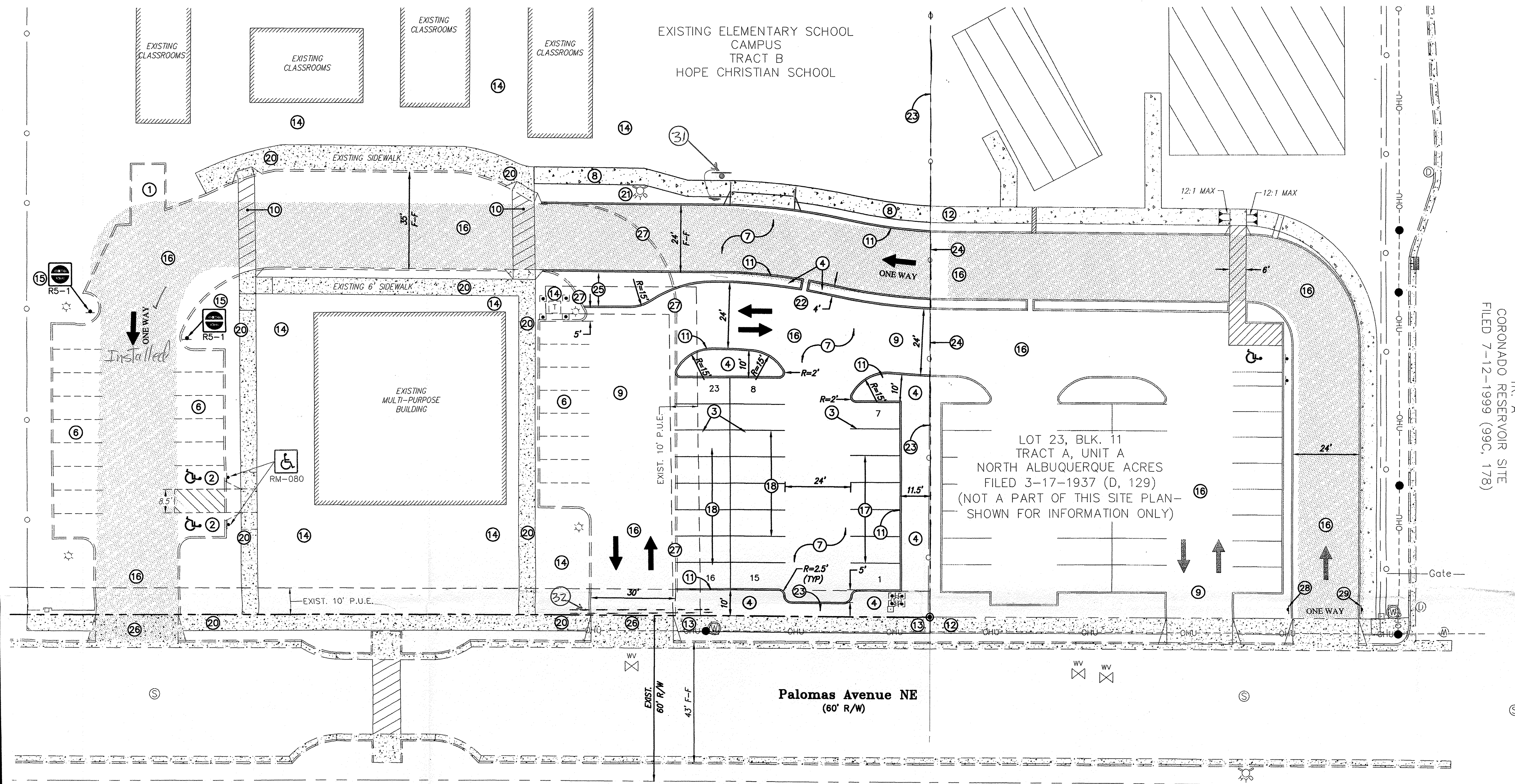
EXISTING PAVEMENT
(TO REMAIN EXCEPT AS NOTED HEREON)

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

AMENDED
SITE DEVELOPMENT PLAN FOR BUILDING

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: DER	Checked: DMG	Sheet 2 of 4
Scale: 1" = 30'	Date: 8/20/2010	Job: A10032	



SITE DEVELOPMENT PLAN DATA:

LEGAL DESCRIPTION:

TRACT B, HOPE CHRISTIAN SCHOOL
CITY OF ALBUQUERQUE
BERNALILLO, NEW MEXICO

BUILDING ADDRESS:

HOPE CHRISTIAN ELEMENTARY SCHOOL
6721 PALOMAS NE
ALBUQUERQUE, NM

TOTAL SITE AREA:

7 ACRES

CURRENT ZONING:

SU-1/PRIVATE SCHOOL

BUILDING USE:

PRIVATE SCHOOL

NEW BUILDING CONSTRUCTION:

NONE

PARKING:

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TOTAL: = 47 SPACES

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TO ADD 23 ADDITIONAL PARKING SPACES AND LANDSCAPING
AND TO EXPAND OFF-STREET VEHICLE CIRCULATION ROUTE LENGTH
WITH ADJOINING PROPERTY TO THE EAST.

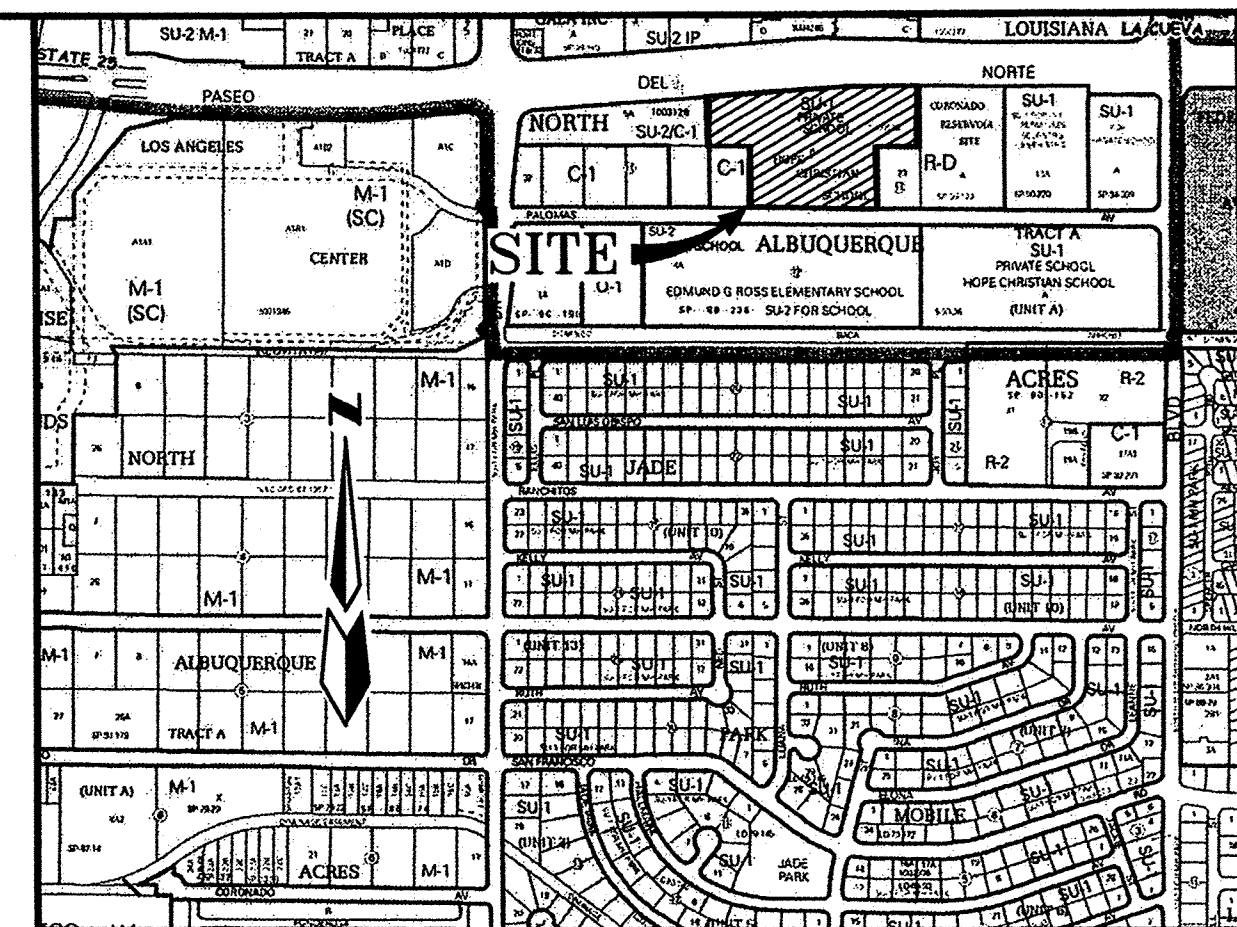
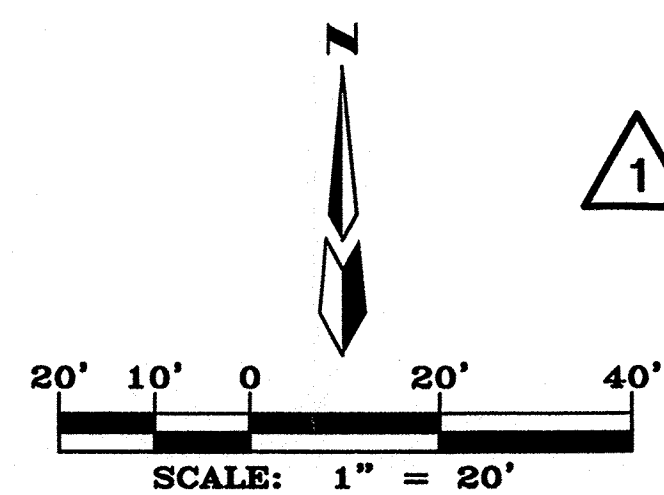
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- THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18'-0" MAX.
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- EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING AREA TO REMAIN. THIS FACILITY SHALL ALSO BE UTILIZED BY THE LOT 23 BUILDINGS.
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- PROPOSED 6-FOOT ASPHALT SIDEWALK.
- 2-WAY TRAFFIC ROUTE.
- EXISTING CROSSWALK ACCESS ROUTE TO REMAIN.
- PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
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- EXISTING LANDSCAPING TO REMAIN.
- INSTALL NEW ONE-WAY SIGNS.

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- EXISTING FIRE HYDRANT TO REMAIN.
- OPENING IN CURB FOR DRAINAGE. SEE GRADING AND DRAINAGE PLAN.
- EXISTING FENCE TO REMAIN.
- EXISTING FENCE TO BE REMOVED.
- REMOVE EXISTING PAVEMENT AND REPLACE WITH NEW LANDSCAPING.
- EXISTING DRIVEWAY TO REMAIN.
- REMOVE EXISTING CURB.
- INSTALL R6-1(R) SIGN
- INSTALL R6-1(L) SIGN
- APPLY NEW ONE WAY ARROW STRIPING WITH SOLID WHITE.
- INSTALL R6-1(R) Sign
- Existing Gate to Remain (and Remove One way Sign)

ADMINISTRATIVE AMENDMENT	
FILE # 10-1011 PROJECT # 1000539	
enhance internal circulation + add off-street parking on Tr. B.	
APPROVED BY	DATE
Manone	10/5/10



VICINITY MAP

SCALE: 1" = 750' ZONE ATLAS PAGE: D-18

LEGAL DESCRIPTION

TRACT B, OF HOPE CHRISTIAN SCHOOL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 7, 2009, IN BOOK 2009C, PAGE 52.

LEGEND

	EXIST. CURB AND GUTTER
	EXIST. CHAIN-LINK FENCE
	EXIST. EASEMENT LINE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXISTING MODULAR BUILDINGS

PROPOSED TRAFFIC FLOW

PARKING COUNT

EXISTING PAVEMENT
(TO REMAIN EXCEPT AS NOTED HEREON)

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: DER Checked: DMG
Scale: 1" = 30' Date: 8/20/2010 Job: A10032 Sheet 2 of 4

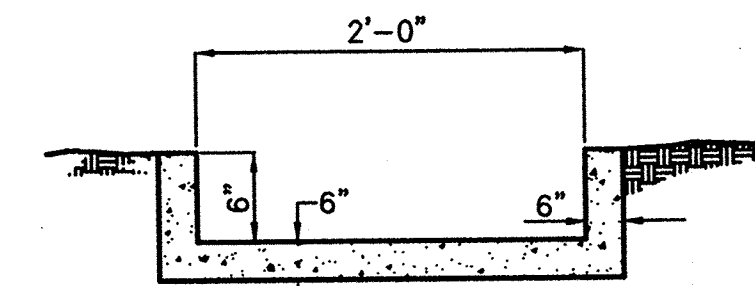
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AHYMO.SUM
- VERSION: 1997.02d RUN DATE (MON/DAY/YR) = 08/26/2010
USER NO = AHYMO-I-9702dGoodwinM-AH

FROM TO	HYDROGRAPH	ID	ID	AREA	PEAK	RUNOFF	TIME TO	CFS	PAGE
COMMAND	IDENTIFICATION	NO.	NO.	(SQ MI)	(CFS)	VOLUME	PEAK	PER	NOTATION
						(AC-FT)	(INCHES)	ACRE	
START									TIME= .00
RAINFALL TYPE=1									RAIN6= 2.500
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COMPUTE NM HYD	102.00	-	2-B(DEV.)	.00020	.55	.019	1.75700	1.500	4.334 PER IMP= 50.00
COMPUTE NM HYD	103.00	-	3-C(DEV.)	.00080	2.45	.090	2.11201	1.500	4.783 PER IMP= 85.00
COMPUTE NM HYD	104.00	-	4-D(DEV.)	.00030	.93	.034	2.11201	1.500	4.850 PER IMP= 85.00
COMPUTE NM HYD	105.00	-	5-E(DEV.)	.00010	.32	.011	2.11201	1.500	4.961 PER IMP= 85.00
COMPUTE NM HYD	106.00	-	6-F(DEV.)	.00010	.32	.011	2.11201	1.500	4.961 PER IMP= 85.00
ADD HYD	107.00	1&2	7	.00050	1.38	.047	1.75625	1.500	4.306
ADD HYD	108.00	3&7	8-A,B & C	.00130	3.83	.137	1.97497	1.500	4.600
COMPUTE NM HYD	109.00	-	9-ABC(Ex)	.00130	2.82	.087	1.24986	1.500	3.390 PER IMP= .00
COMPUTE NM HYD	110.00	-	10	.00050	1.09	.033	1.24986	1.500	3.408 PER IMP= .00
COMPUTE NM HYD	111.00	-	11	.00010	.23	.007	1.24986	1.500	3.536 PER IMP= .00
ADD HYD	112.00	9&10	12	.00180	3.91	.120	1.24971	1.500	3.395
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FINISH									

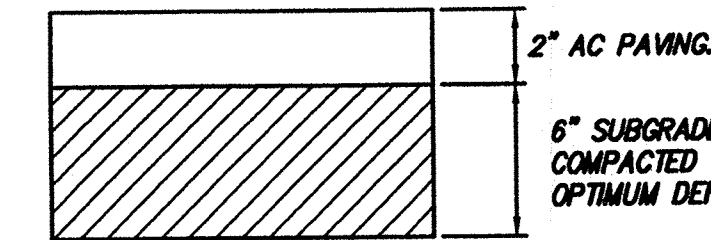
Basin	Area	Existing Discharge	Proposed Discharge
(A)	8,696 sf		0.82 cfs
(B)	4,460 sf		0.55 cfs
(C)	21,148 sf		2.45 cfs
(D)	9,337 sf		0.93 cfs
(E)	4,110 sf		0.32 cfs
(F)	2,863 sf		0.32 cfs
ALL	50,614 sf	4.14 cfs	5.39 cfs

1. INSTALL NEW 12" SIDEWALK CULVERT PER CITY STD. DWG. 2236.
2. BUILD NEW 24" PRIVATE DRIVEWAY PER CITY STD. 2425.
3. INSTALL NEW PAVING PER DETAIL THIS SHEET.
4. BUILD 2' CAST IN PLACE CONCRETE CHANNEL SEE DETAIL THIS SHEET.
5. CLEANLY REMOVE 165 LF OF EXISTING CURB.
6. CLEANLY REMOVE 45 S.Y. EXISTING PAVING.
7. CLEANLY REMOVE 30 LF OF EXISTING CURB.
8. REMOVE EXISTING FENCE AS NECESSARY.
9. BUILD NEW 24" SIDEWALK CULVERT PER CITY STD DWG 2236.
10. BUILD NEW HC RAMP. LANDING NOT TO EXCEED 1:50. RAMP SLOPE NOT TO EXCEED 12:1.
11. 10' OF EXISTING CURB TO REMAIN
12. BUILD NEW 6" SIDEWALK PER CITY STD. DWG. 2430
13. CONTRACTOR TO INSTALL 20 LF OF REDUCED-HEIGHT CURB AT THIS LOCATION TO ALLOW FOR EMERGENCY VEHICLE ACCESS TO THE NORTH.



CONCRETE CHANNEL SECTION

N.T.S.



LEGAL DESCRIPTION

LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.

GENERAL NOTES

1. RUNOFF FROM NEW BUILDINGS IS TO BE COLLECTED IN DOWNSPOUTS AND THEN DISCHARGED INTO PROPOSED LANDSCAPING SWALES AS SHOWN ADJACENT TO THE BUILDINGS. NONE OF THE BUILDINGS' RUNOFF SHALL BE ALLOWED TO FLOW NORTH OFF THE PROPERTY.
2. CONTRACTOR SHALL IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY IN ORDER TO ACHIEVE THE FINAL GRADES AS SHOWN ON THIS PLAN.
3. EXCEPT FOR DOORWAYS AND WHERE THERE IS EXTENDED STEM WALL, NEW EXTERIOR FLAT WORK SHALL ABUT TO BUILDING AT NOT LESS THAN ONE-INCH BELOW THE FINISHED FLOOR ELEVATION.
4. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED ONLY AFTER CONTRACTOR HAS OBTAINED ALL NECESSARY CITY PERMITS.
5. THE FINAL SURFACE GRADE OUTSIDE OF HARDSCAPED AREAS SHALL BE SET TO THE ELEVATIONS SHOWN ON THIS PLAN, INCLUDING LANDSCAPED AREAS, WHICH SHALL NOT HINDER THE FLOW OF RUNOFF TOWARD THE SITE'S OUTFALL.
6. THIS PLAN IS DESIGNED TO ESTABLISH CONTINUOUS FLOW OF SURFACE RUN OFF AT A SLOPE OF AT LEAST 1% EXCEPT FOR PARKING LOT ISLANDS THERE SHALL NOT BE ANY ON-SITE DETENTION OF RUNOFF.
7. PLANTER AREAS MUST NOT PROTRUDE ABOVE GRADE ALONG DRAINAGE FLOW PATH OR OTHERWISE HINDER RUNOFF FROM DRAINING THROUGH TO PALOMAS.
8. DRAINAGE BASIN BOUNDARIES REPRESENT HIGH POINTS ON THIS PLAN. GRADES AND SURFACE DRAINAGE ARE SUPPOSED TO FALL AWAY FROM THESE HIGH POINTS. AN AS-BUILT GRADING AND DRAINAGE PLAN WILL HAVE TO BE PROVIDED BY THE CONTRACTOR'S LICENSED SURVEYOR IN ORDER TO VERIFY THAT THE FINISHED GRADES ARE IN COMPLIANCE WITH THIS APPROVED PLAN.

DRAINAGE CERTIFICATION

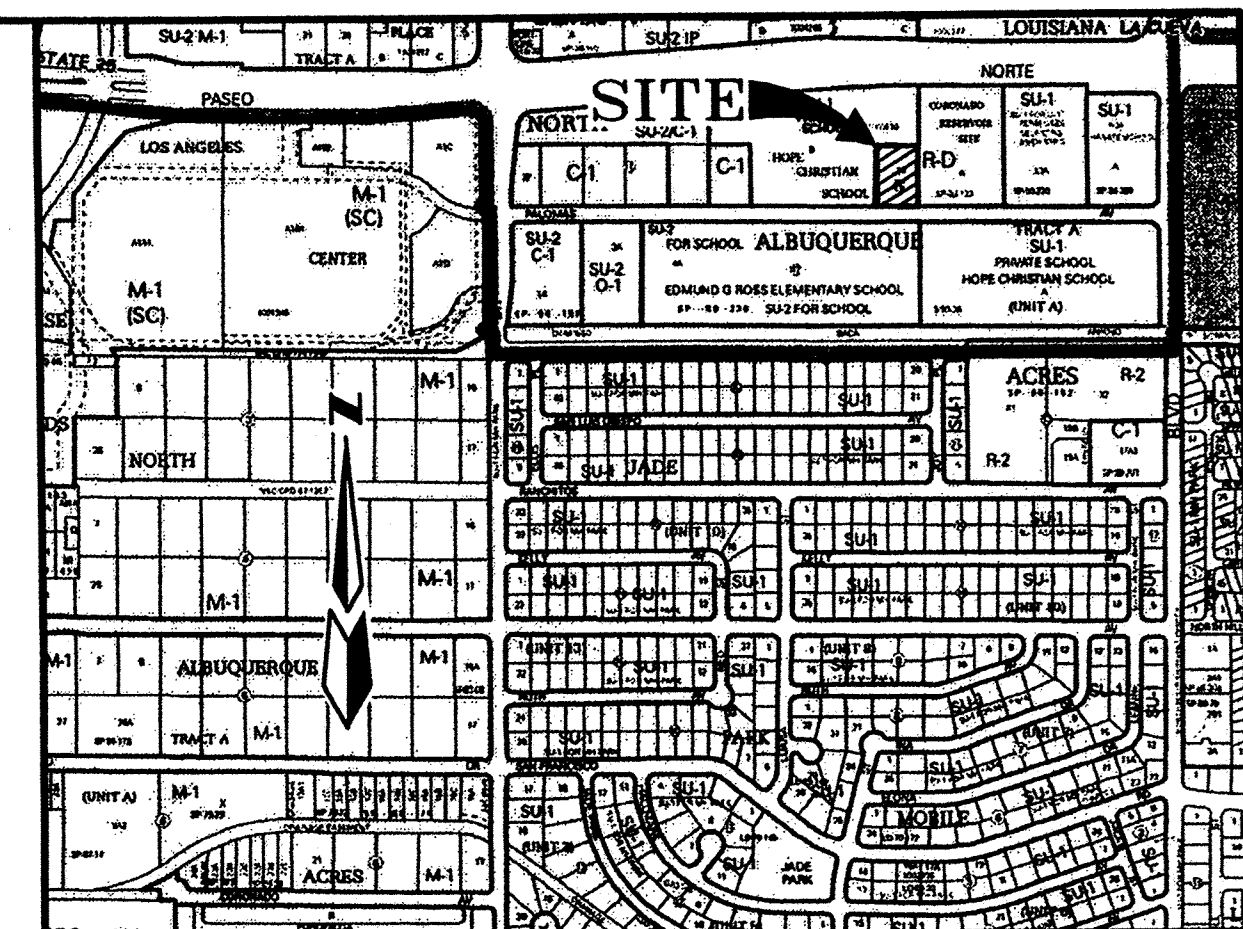
I, John M. MacKenzie, NMPE 11619, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN REVIEWED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-28-10. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PHILLIPS, NMPS 14271, OF THE FIRM Cartesian Surveys. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 13, 2011, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE, AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

John M. MacKenzie 07-13-11
JOHN M. MACKENZIE NMPE 11619
NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right of way.
2. All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Traffic / street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



VICINITY MAP

D-18

BENCH MARK

ACS MONUMENT "16_D19" HAVING AN ELEVATION OF 5394.008 (NAVD83).

TEMPORARY BENCH MARK

TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN Δ) IN CONCRETE

ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

SURVEY NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2010 BY CARTESIAN SURVEYS
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAVD 88).
4. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENTS WILL BE REQUIRED TO SHOW OTHER EASEMENTS.
5. THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

LEGEND

	CRUB AND GUTTER
	FENCE
	CONTOUR LINE
	EASEMENT LINE
	WATER METER
	WATER VALVE
	LIGHT POLE
	GAS METER
	FIRE HYDRANT
	POWER POLE
	OVERHEAD UTILITY LINES
	STORM DRAIN INLET
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER MANHOLE
	UTILITY PEDESTAL
	WALL
	BACK OF CURB ELEVATION
	FLOW LINE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	TOP OF ASPHALT CURB ELEVATION
	GROUND SPOT ELEVATION
	EXISTING MODULAR BUILDINGS
	PROPOSED MODULAR BUILDINGS
	PROPOSED WHEEL STOP
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	LANDSCAPED SWALE
	PROPOSED NEW CONTOUR
	FLOW DIRECTION
	ROOF DRAIN
	TOP OF CURB ELEVATION
	FLOWLINE ELEVATION
	NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 2415B
	DRAINAGE BASIN BOUNDARY
	DRAINAGE BASIN

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION

GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 6/14/2010	Job: A01032	

CALCULATIONS: Hope Elementary School - Building Addition				7-Jun-00										
Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol.2, dated Jan. 1993														
Note: The following calculations are provided to show the increase / decrease in flows due to the proposed construction. For overall site calculations, see the original DG Plan prepared by Dekker / Perich & Associates dated 11-14-95														
EXISTING CONDITIONS														
Existing Area	3813 SF	=	0.1 Ac.											
The following calculations are based on Treatment areas as shown in table to the right														
Sub-basin Weighted Excess Precipitation (see formula above)			<table><tr><th colspan="2">TREATMENT</th></tr><tr><td>A =</td><td>0%</td></tr><tr><td>B =</td><td>57%</td></tr><tr><td>C =</td><td>0%</td></tr><tr><td>D =</td><td>43%</td></tr></table>		TREATMENT		A =	0%	B =	57%	C =	0%	D =	43%
TREATMENT														
A =	0%													
B =	57%													
C =	0%													
D =	43%													
Weighted E = 1.54 in.														
Sub-basin Volume of Runoff (see formula above)														
V360 = 459 CF														
Sub-basin Peak Discharge Rate (see formula above)														
Qp = 0.3 cfs														
DEVELOPED CONDITIONS														
Proposed Area	3813 SF	=	0.1 Ac.											
The following calculations are based on Treatment areas as shown in table to the right														
Sub-basin Weighted Excess Precipitation (see formula above)			<table><tr><th colspan="2">TREATMENT</th></tr><tr><td>A =</td><td>0%</td></tr><tr><td>B =</td><td>1%</td></tr><tr><td>C =</td><td>0%</td></tr><tr><td>D =</td><td>99%</td></tr></table>		TREATMENT		A =	0%	B =	1%	C =	0%	D =	99%
TREATMENT														
A =	0%													
B =	1%													
C =	0%													
D =	99%													
Weighted E = 2.34 in.														
Sub-basin Volume of Runoff (see formula above)														
V360 = 744 CF														
Sub-basin Peak Discharge Rate (see formula above)														
Qp = 0.4 cfs														
Total increase due to construction = 0.1 cfs which will free discharge to Palomas Ave. NE														

SCOPE

The proposed improvements include an approx. 2,900 sf. Commercial building addition with associated walks.
The present site is a developed private school property located in North Albuquerque Acres, Albuquerque, New Mexico. Palomas Avenue abuts the property to the south. Paseo del Norte abuts the property to the north, developed commercial properties abut the site east and west.

DRAINAGE PLAN CONCEPT

Per the approved Drainage / Grading plan for the original construction (prepared by Dekker/Perich & Associates, dated 11-14-95, the site detained a portion of flows from sub-basins 1 and 3 (see original plan). The majority of the proposed building addition will drain through a gutter system to the existing detention pond in sub-basin 1. A minor portion of the proposed building addition will free discharge to Palomas Avenue through sub-basin 2. Note: based on pre-design discussions with C.O.A. hydrology, the minor changes in flowrates (see calculations) due to the proposed construction will be allowed to discharge due to the imminent development of Palomas Avenue and additional downstream improvements.

The intent of this plan is to show:

Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.

The extent of proposed site improvements, including buildings, walks and pavement.

The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.

The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

GENERAL NOTES

LEGAL: Lot 8-B, Block 11, Tract A, Unit A North Albuquerque Acres

SURVEYOR: As-built spot elevations provided by Forstbauer Surveying Co. - June 2000

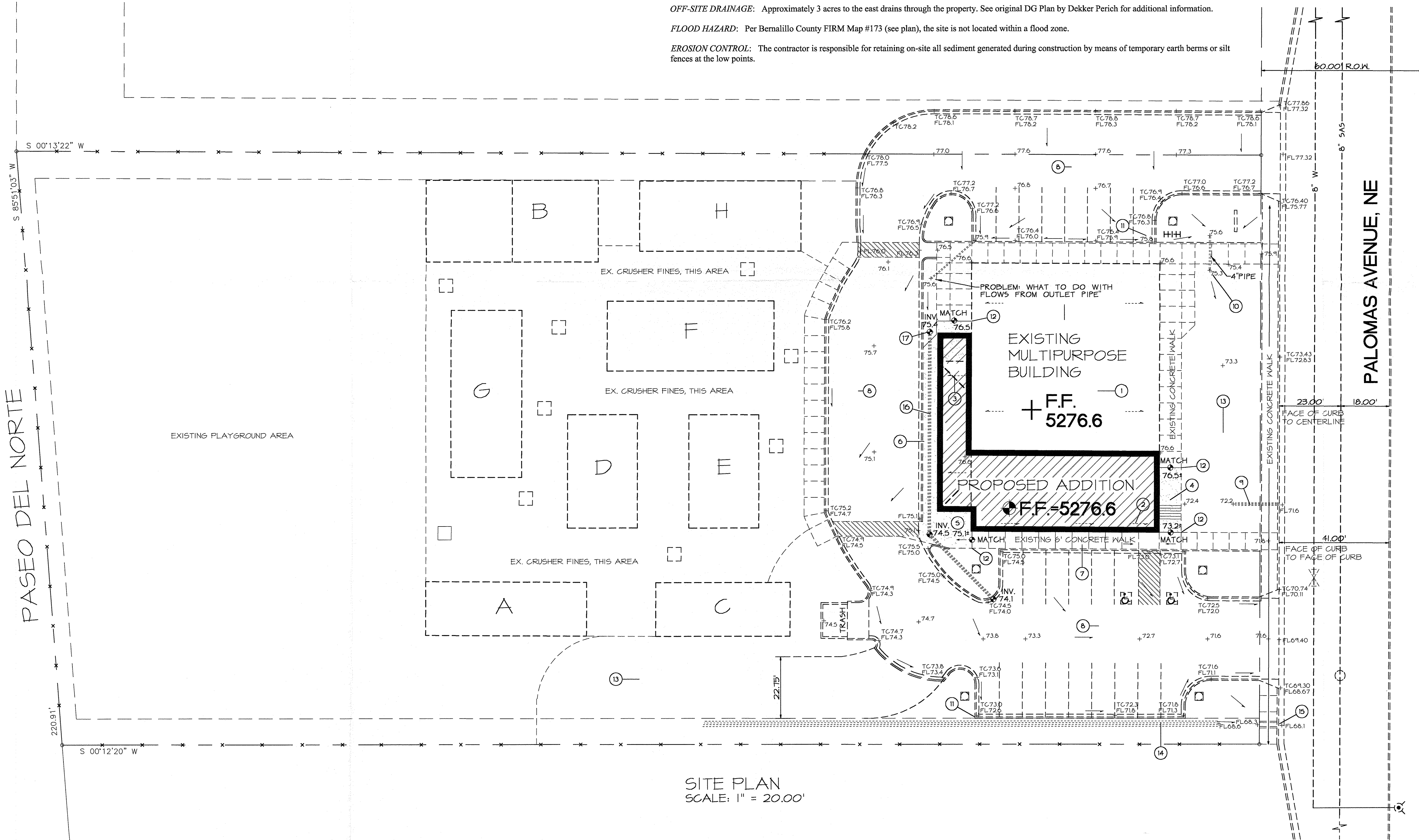
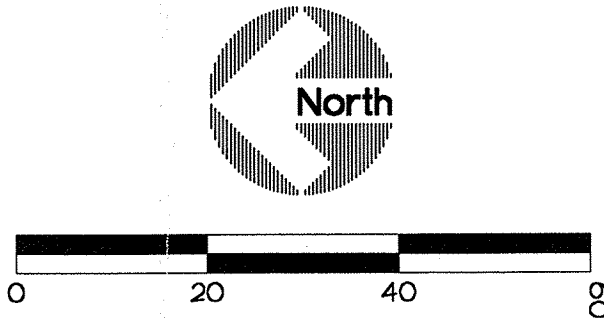
B.M.: ACS Brass Tablet "11-D18-1978" set in concrete flush with ground 69' south of the Paseo Del Norte centerline and 30.5' east of the San Pedro Dr. NE centerline. Elevation = 5235.67 (MSLD)

T.B.M.: FF of existing building. Elevation = 5276.60 (MSLD)

OFF-SITE DRAINAGE: Approximately 3 acres to the east drains through the property. See original DG Plan by Dekker Perich for additional information.

FLOOD HAZARD: Per Bernalillo County FIRM Map #173 (see plan), the site is not located within a flood zone.

EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points.

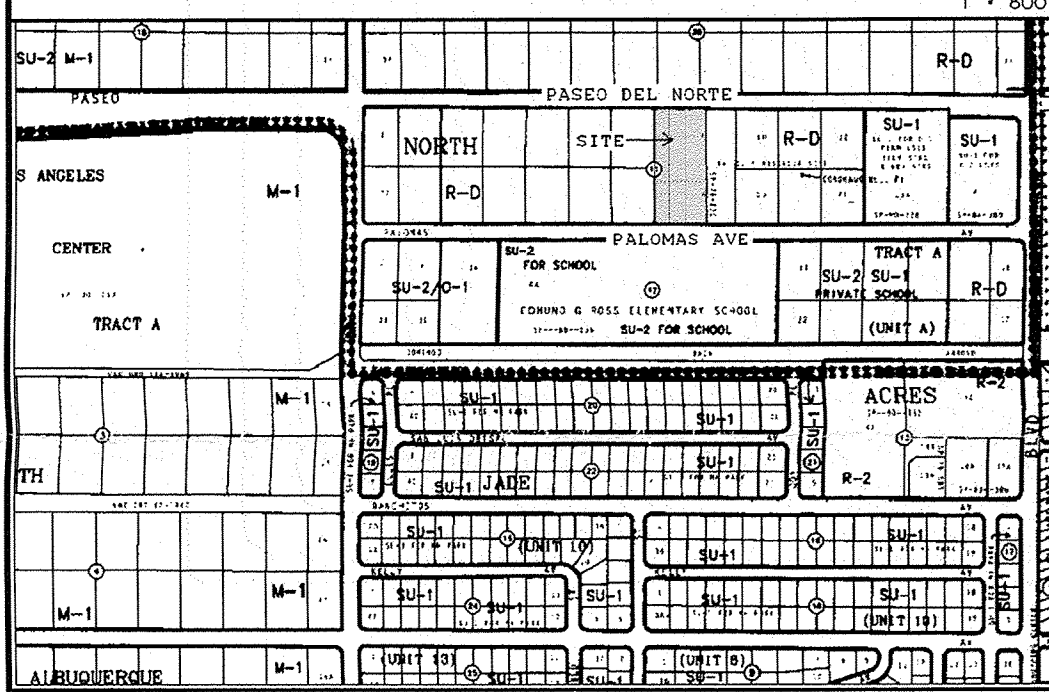


SITE PLAN
SCALE: 1" = 20.00'

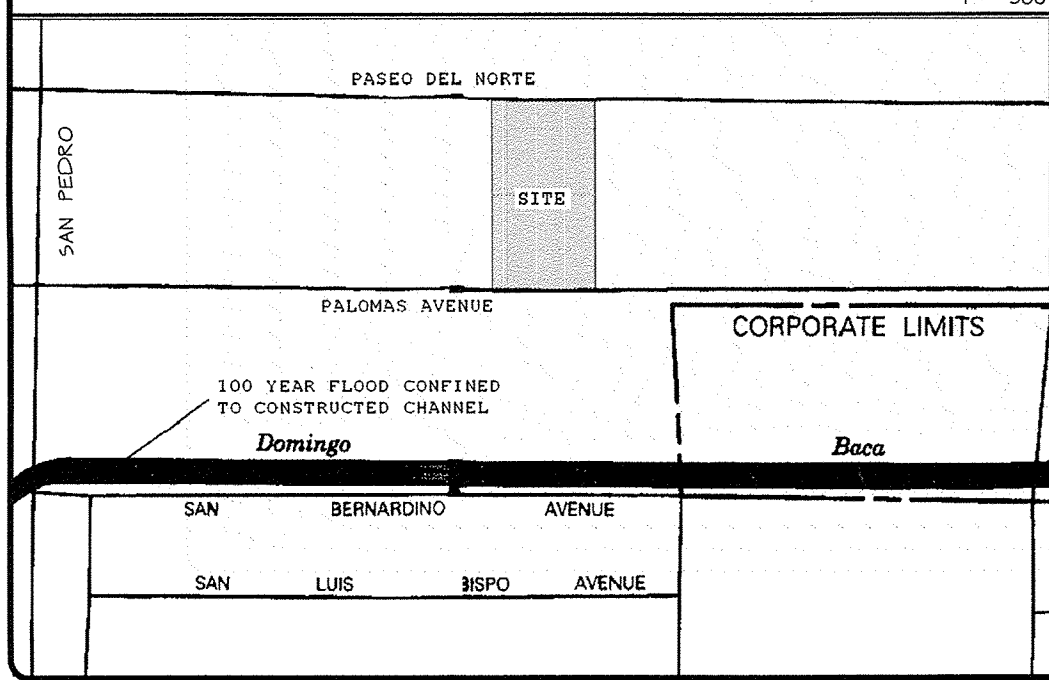
KEYNOTES

- EXISTING BUILDING
- PROPOSED BUILDING ADDITION. ROOF FLOWS TO BE CAPTURED WITHIN A GUTTER SYSTEM AND PIPED TO THE EXISTING PONDING AREA TO THE SOUTH.
- THIS PORTION OF THE PROPOSED ADDITION WILL DRAIN THROUGH UNDERWALK DRAIN PIPE TO EXISTING PAVEMENT TO THE NORTH.
- CONSTRUCT CONCRETE STEPS TO TRANSITION BETWEEN EXISTING AND PROPOSED SIDEWALKS AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- SEE ARCHITECTURAL FOR DIMENSIONS / LOCATION OF PROPOSED STEPS THIS AREA TO TRANSITION FROM WALK TO PROPOSED F.F.
- NEW CONCRETE RAMP / SIDEWALK - SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- EXISTING CONCRETE WALK TO REMAIN.
- EXISTING PAVED AREA
- EXISTING 4" PIPES (2) THROUGH CURB FACE TO DRAIN DETENTION POND.
- EXISTING 4" PIPE BENEATH WALK TO PASS FLOWS TO POND.
- EXISTING 2' OPENING IN CURB THIS AREA TO ALLOW FLOWS TO PASS.
- MATCH TOP OF EXISTING CONCRETE WALK THIS AREA TO PROVIDE SMOOTH TRANSITION.
- EXISTING POND THIS AREA
- TWO 180' 8" DRAIN LINES FROM EXISTING PONDING AREA TO REMAIN.
- EXISTING SIDEWALK CULVERT
- INSTALL TWO 105" LF 4" DIA. DRAIN LINES TO CARRY CONCENTRATED FLOWS TO WEST PARKING LOT AS SHOWN. CUT OUTLET PIPE FLUSH WITH FACE OF CONCRETE.
- GRADE THIS AREA TO DRAIN TO PROPOSED PIPE INLETS. SURROUND INLET WITH MIN. 2' DIA. COBBLE PAD. OWNER TO MAINTAIN. NOTE: IN THE EVENT OF PIPE BLOCKAGE, FLOWS WILL BACK UP AND PASS OVER TOP OF CURB TO STREET.

VICINITY MAP #D-18



FEMA MAP



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Revisions

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ADDITION FOR HOPE CHRISTIAN SCHOOL

GENESIS

Scale: 1" = 20' Drawn By: DUB Checked By: CLW Job Number: Date: JUNE 2000

Drainage and Grading Plan

C-1
SH. 1 OF 1