

#### City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 18, 1993

Frank Lovelady, P.E. Lovelady & Associates 7400 Morrow Avenue NE Albuquerque, N.M. 87112

RE: DRAINAGE PLAN FOR WESTWAY EXPRESS SHOP ADDITION (D-18/D10) RECEIVED MAY 6, 1993 FOR BUILDING PERMIT APPROVAL ENGINEER'S STAMP DATED MAY 11, 1991; AS REVISED MAY 5, 1993

Dear Mr. Lovelady:

Based on the information included in the submittal referenced above, City Hydrology APPROVES THIS PROJECT for Building Permit.

Include a copy of the Drainage Plan in the set of construction documents submitted for Building Permit.

Engineer's Certification of Grades per DPM checklist must be approved before any Certificate of Occupancy will be released.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.

PWD/Hydrology

xc: Alan Martinez

WPHYD+3001; jpc

DRAINAGE INFO	DEMATION SHEF
PROJECT TITLE: SHOP ADDITION ZO	ONE ATLAS/DRNG. FILE #: $D-18/D-10$
LEGAL DESCRIPTION: Lots 25 & 26 NORTH ALBU	BLOCK 5 TRACT A UNIT A
CITY ADDRESS: 5601 SAN FRANC	
ENGINEERING FIRM: Lovelady & Associat	• • • • • • • • • • • • • • • • • • • •
ADDRESS: 7408 Morrow Ave. NE 8711	0 PHONE: 883-7973
OWNER: WESTWAY EXPRESS	CONTACT: JEFF MARTIN,
ADDRESS 5601 SAN FRANCISCO !	E PHONE: 821-4145
ARCHITECT: Doyle Seymount	CONTACT: Doyle Seymore
ADDRESS: 13505 Terragen D	( NE PHONE: 296-3448
SURVEYOR: SOUTHWEST SURVEY CO.	CONTACT: DAH CRAHEY
ADDRESS: 533 LOMAS BLUD. N	E PHONE: 347-4444
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
PRE-DESIGN MEETING:	
YES	DRB NO
NO	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJECT NO.
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAIN. PLAN	SITE DEVELOPMENT PLAN APPROVAL
GRADING PLAN	FINAL PLAT APPROVAL
BROSION CONTROL PLAN	BUILDING PERMIT APPROVAL
ENGINEER'S CERTIFICATION	FOUNDATION PERMIT APPROVAL
net <b>2 3</b> 1991 - 1757	CERTIFICATE OF OCCUPANCY APPROVAL
001 4 V (001 1 1 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	ROUGH GRADING PERMIT APPROVAL
DATE SUBMITTED: October 23, 1991	GRADING/PAVING PERMIT APPROVAL
BY: Frank O Lovelrdy	OTHER (SPECIFY)
Frank D. Lovelady, P.E.	

# INDEMNIFICATION AGREEMENT AND COVENANT

Mar ω a ssigns) ressett jorie A. ω The ā Þ Ц ju.  $\Omega$ Ŋ Miller  $\odot$  $\bigcirc$ ₩. h  $\odot$ 0 Η'n (Owners his Albuquerque Wif Ø which and David  $\widehat{C}$ term ity)  $\supset$ - سا ncludes and Gress Loui 0 successors  $\Box$ C Ø and  $\circ$ Miller Wanda and

## RECITAL

property Owne ည ĸ Ø the owne S 0 H the H ollowing descr ibed 7 ea

and designated filed in the Of Bernalillo Coun 1937. Lot number (26) in Bl Unit A, No North, Rar Meridian, numbered T
) in Block
t A, North Range 3 an, New the Office lo County, office Twenty-five (25) and Took numbered Five (5) of the Albuquerque Acres, Took 3 East, of New Mexico 1 ω Mexico, a d on the p Office of unty, New as the sa Plat of s f the Cour W Mexico, of said County ( ico, on N same d Twenty-six of Tract A, Township 11 co Principal Clerk March are are shown
Addition,
Clerk of
March 17,

owner property. condition ß ons has Ø The  $\Theta$ 4 The constructed О Н for Owners Ci. th obtaining .ty here hasi have I, Ωı rejected and ن۵ building presented building notwi S Q on thstanding i d Ŝ permi said drainage drainage + property on such plan the plan re Ð lbove to ject for the ion the described City the ខ្លួ

Ω that  $\supset$ but Ď inished Lbuque S Ō S the H low San Ч que ! Н The lowes Ή elevat loor S anc above T = H elevat ion lood Ŋ floor CO described S Plain ion tr level eet does Ordinance shall The real not const be conform property's =  $\odot$ ruc levated Section CT to ion the southern one 0f 7B. Ci the foo  $\sim$ tγ which  $\overline{\Box}$ building's 0 boundary above Ø 7 ates the

this condi ა ე ion tion te The 0 m Of the  $\bigcirc$  $\leftarrow$ μ. S K <u>.</u> М ssuance approval O gui 17 BS 0 Owne m of appropriate Owners' Ŋ to ent dr 0 building ainage into plan th permi **|----** $\omega$  $\supset$ greement and 23 as

## UNDERSTANDING OH OH EXPOSURE

does noncompliance subject not to provide Owners flood with agree and protection the water and Flood under run for Plain off stand the Ordinance damage Owners that resulting the 4 property building from and as Ø ល

## INDEMNIFICATION AND HOLD HARMLESS

any Pla ar the brought ising ٦. ت City, and Ordinance from against a11 The its claims, Owners the officials, the fai .lure act agr parties ее ons, Off. agents to the for defend, sui: and ΩC Owner ĊŤ Ø on or employees indemnify to account proceedings comply of from and with any 0f hold and against the any matter harmles kind Flood

### COVENANT RUNNING HTIW HHT PROPERTY

the  $\nabla$ until inding property released noqu The described obligations the bУ Owner the City. S her their О Н  $\odot$ Ľ. the and heirs, Owner will S successors run დ ტ + with for th said and herein property assigns shall be

### SUANCE OF PERMITS

project noncompliance withhold on approval Upon this to execut property the 0f ion referenced permit 0f th issuance s F Ordinance Agreement for reasons for the the Ci. related ŧУ building ٤ not to

REVIEWED & APPROLEGAL DEPARTMENT APPROVED ВУ THE

Assistant ( City Attorney

Charles M. Principal Hydrology . East ter Engineek

Frank Chief A. Kleinhenz Administrative

Officer

OWNERS

Гопіз C Miller

Mar jor re A. Miller

David Gressett

Wanda S. essett

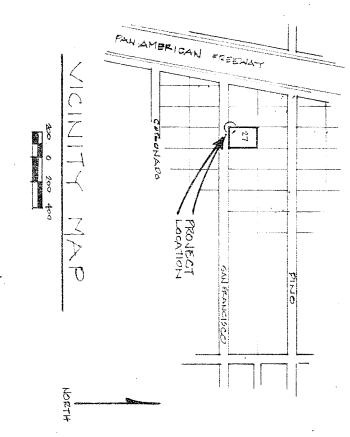
8-32

N

3 25 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	OF NEW Y OF BEF The 267 day HENZ, Ch uerque, ration.	My Commission Expires:  Notary Public  Notary Public  Notary Public	STATE OF NEW MEXICO ) SS  COUNTY OF BERNALILLO )  The foregoing instrument was acknowledged before me by DAVID A. GRESSETT and WANDA GRESSETT, his wife, on this day of Davis at 1982.	The foregoing instrument was acknowledged before me by LOUIS C. MILLER and MARJORIE A. MILLER, his wife, on this day of, 1982.  My Commission Expires:  Notary Public	STATE OF NEW MEXICO )  COUNTY OF BERNALILLO )
--	--	---	--	---	---

# SITY OF ALBUQUERQUE

## DRAINAGE FACILITIE S WITHN CITY RIGHT-OF-WAY



FEARL DESCRIPTION

LOT 27, BLK 5, TRACT A,

## 

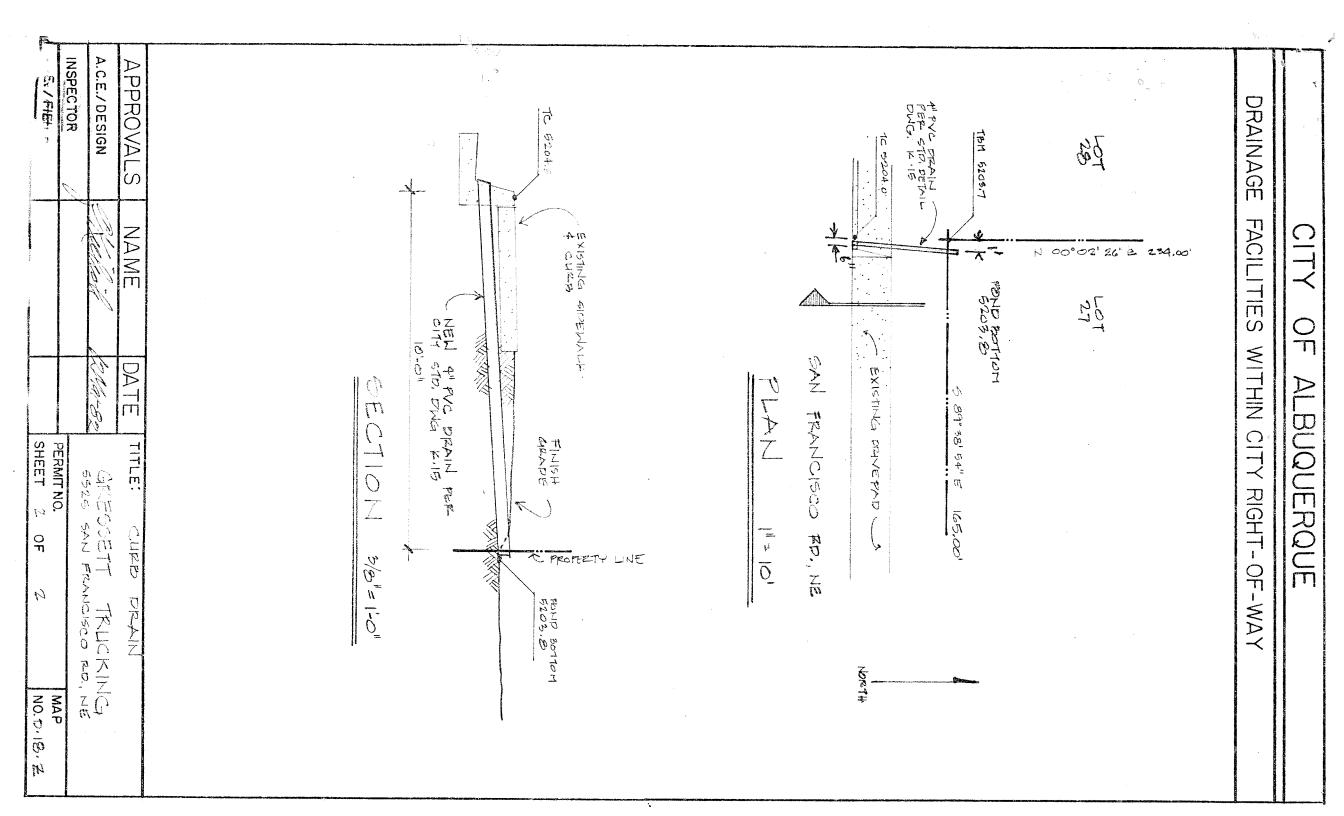
DAVID A GRESSETT 5001 SAN FRANCISCO FD, NE ALBHQHERQUE , NM 87109



## NOTICE TO CONTRACTOR

- }--ŝ submitted at X10K excavation/construction permit will be required k within City right-of-way. An approved copy of mitted at the time of application for this permit. before f these beginning a plans must any ; be
- N All stated or provided "Contract Documents work detailed provided 9 on these plans to be thereon, shall be confor City-Wide Utilities e performed, constructed es and Cash P Paving No. except in acc accordance as otherwise with
- М Locating working days prior to any ting Service, 765-1234, for y excavation, location of e existing utilities. contact Line
- 4 horizontal exist, the Prior resolved to construction, and vertical contractor with a minimum amount al locations shall notify the contractor of delay. of all obstruc y the engineer ctor shall excavate f all obstructions. S excavate Should the co and d verify the ld a conflict can verify
- Ÿ street use. Backfill compaction shall be according to  $\eta$ N

				The same of the sa	13-14	
APPROVALS	NAME	DATE	TITLE:	0 2 2 2 3	D N D Z	somether and the second se
A.C.E./DESIGN	John	1216003	,		ORESOFT TRUOTING	
INSPECTOR			DISTANCE			
ACE, / FIELD			SHEET	90	00000	NO. O. O. NO. O.
CONTRACTOR OF THE PROPERTY OF		TO A THE PROPERTY OF THE PROPE	CONTRACTOR OF THE PROPERTY OF			



PROJECT TITLE: RANCHITOS VILLA	CHANG ATTACORNO THE DIS
DRB #: EPC #:	WORK ORDER #: 4001.90
LEGAL DESCRIPTION: LOTX-1, U-A, TR-A	
CITY ADDRESS:	ICHTOS AVE NE
ENGINEERING FIRM: JEFF Moereuse 4.	ESOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BU	10 NE PHONE: 345-4250
OWNER: MIES ELDERLY HOUSING  ADDRESS: ATLANTA 67 303	167 CONTACT: COSEPH GLENT SUITE 1260 JOH- 321-0232
ARCHITECT: WHITZEYBUR ARCHI	TESTS CONTACT: DOUG INTHITMEY IS ELL
SURVEYOR: JEFF MORTENSEN & ASSOC	CONTACT: JEFF MORTENSEN
ADDRESS: 4010-B MIDWAY PINCK BL	
CONTRACTOR: BRADBURY & STAMM	
ADDRESS:	PHONE: 765-1200
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL
GRADING PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
EROSION CONTROL PLAN	SECTOR PLAN APPROVAL
ENGINEER'S CERTIFICATION	FINAL PLAT APPROVAL
OTHER	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
PRE-DESIGN MEETING:	CERTIFICATE OF OCCUPANCY APPROVAL
YES	GRADING PERMIT APPROVAL
NO	PAVING PERMIT APPROVAL
COPY PROVIDED   民 P 民 D W 民 T	S.A.D. DRAINAGE REPORT
COLL LEGAL L	DRAINAGE REQUIREMENTS
FEB 2 0 1991	OTHER (SPECIFY)
HYDROLOGY DIVISION	,
DATE SUBMITTED: 02-2041	
BY: JEFFREY G. MORT	المالية



#### City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 1, 1991

Jeff Mortensen, P.E. Jeff Mortensen & Associates, Inc. 6010-B Midway Park Boulevard, NE Albuquerque, New Mexico 87109

RE: ENGINEER'S CERTIFICATION FOR RANCHITOS VILLAGE (MISS HANDICAP HOUSING) (D-18/D13) CERTIFICATION STATEMENT DATED FEBRUARY 19, 1991

Dear Mr. Mortensen

Based on the information provided on your submittal of February 20, 1991, Certification for the referenced site is acceptable.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Fred J. Agvirre, P.E.

Hydrologist

xc: Alan Martinez

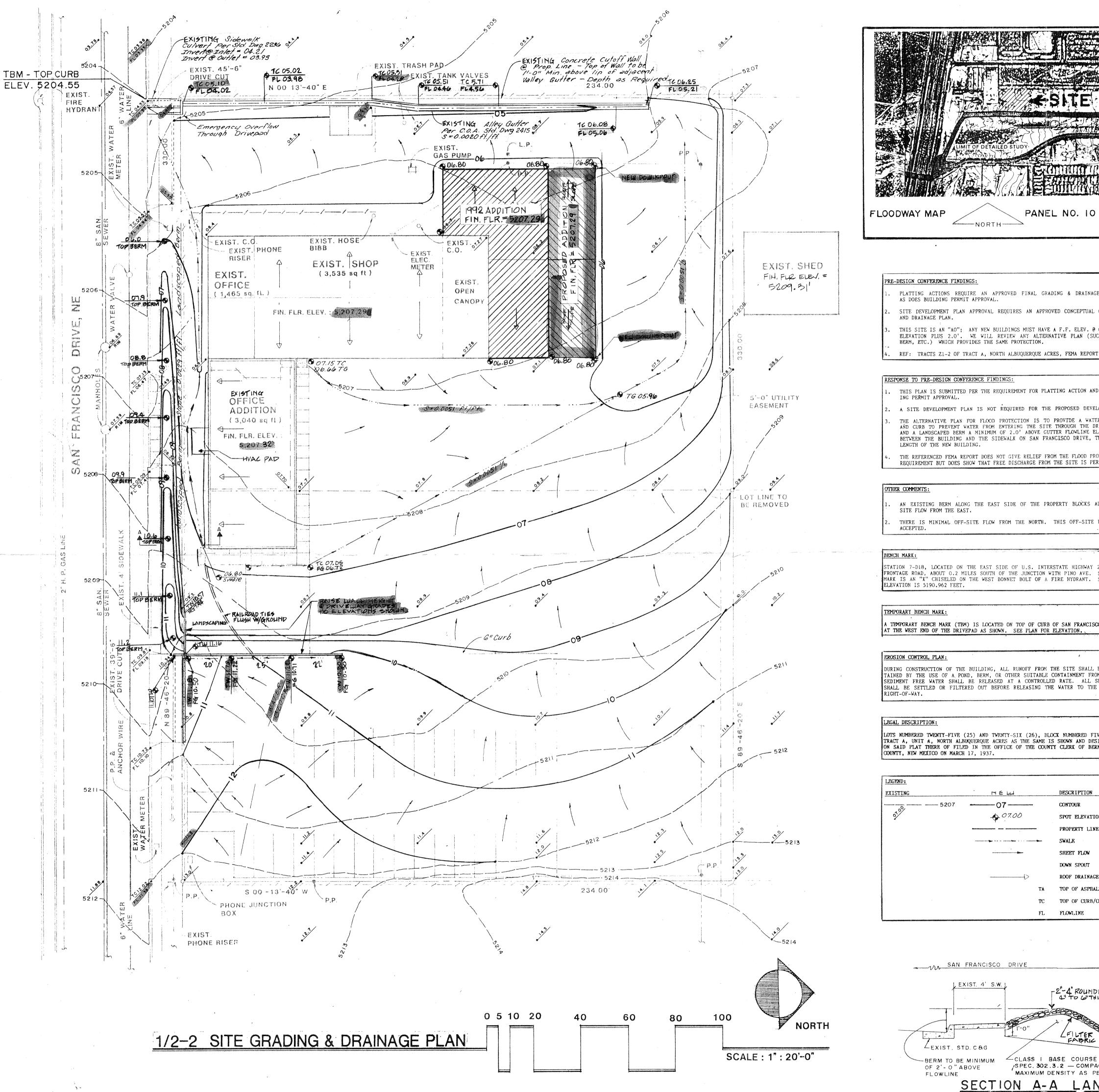
BJM:FJA/bsj (WP+1490)

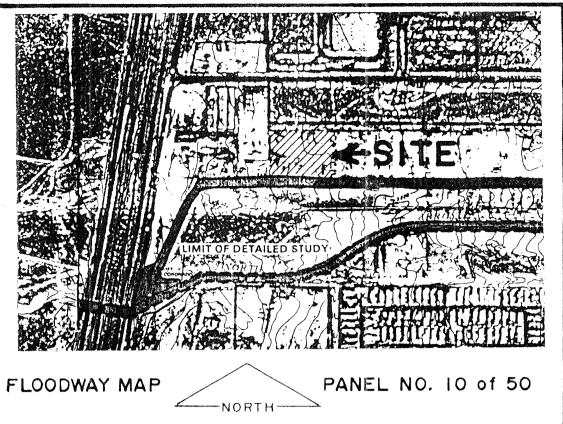
PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E. Assistant Director Public Works

**ENGINEERING GROUP** 

Telephone (505) 768-2500





VICINITY MAP ZONE ATLAS NO. D-18

#### RE-DESIGN CONFERENCE FINDINGS:

- PLATTING ACTIONS REQUIRE AN APPROVED FINAL GRADING & DRAINAGE PLAN, AS DOES BUILDING PERMIT APPROVAL. SITE DEVELOPMENT PLAN APPROVAL REQUIRES AN APPROVED CONCEPTUAL GRADING
- AND DRAINAGE PLAN. THIS SITE IS AN "AO"; ANY NEW BUILDINGS MUST HAVE A F.F. ELEV. @ GUTTER ELEVATION PLUS 2.0'. WE WILL REVIEW ANY ALTERNATIVE PLAN (SUCH AS A BERM. ETC.) WHICH PROVIDES THE SAME PROTECTION.

#### RESPONSE TO PRE-DESIGN CONFERENCE FINDINGS:

- THIS PLAN IS SUBMITTED PER THE REQUIREMENT FOR PLATTING ACTION AND BUILD-ING PERMIT APPROVAL.
- THE ALTERNATIVE PLAN FOR FLOOD PROTECTION IS TO PROVIDE A WATER BLOCK AND CURB TO PREVENT WATER FROM ENTERING THE SITE THROUGH THE DRIVEWAY; AND A LANDSCAPED BERM A MINIMUM OF 2.0' ABOVE GUTTER FLOWLINE ELEVATION BETWEEN THE BUILDING AND THE SIDEWALK ON SAN FRANCISCO DRIVE, THE FULL LENGTH OF THE NEW BUILDING.
- THE REFERENCED FEMA REPORT DOES NOT GIVE RELIEF FROM THE FLOOD PROTECTION REQUIREMENT BUT DOES SHOW THAT FREE DISCHARGE FROM THE SITE IS PERMITTED.

#### OTHER COMMENTS:

- AN EXISTING BERM ALONG THE EAST SIDE OF THE PROPERTY BLOCKS ALL OFF-SITE FLOW FROM THE EAST.
- THERE IS MINIMAL OFF-SITE FLOW FROM THE NORTH. THIS OFF-SITE FLOW IS

TATION 7-D18, LOCATED ON THE EAST SIDE OF U.S. INTERSTATE HIGHWAY 25 EAST MARK IS AN "X" CHISELED ON THE WEST BONNET BOLT OF A FIRE HYDRANT. STATION ELEVATION IS 5190.962 FEET.

#### TEMPORARY BENCH MARK:

. TEMPORARY BENCH MARK (TBM) IS LOCATED ON TOP OF CURB OF SAN FRANCISCO DRIVE AT THE WEST END OF THE DRIVEPAD AS SHOWN. SEE PLAN FOR ELEVATION.

#### EROSION CONTROL PLAN;

DURING CONSTRUCTION OF THE BUILDING, ALL RUNOFF FROM THE SITE SHALL BE CON TAINED BY THE USE OF A POND, BERM, OR OTHER SUITABLE CONTAINMENT FROM WHICH SEDIMENT FREE WATER SHALL BE RELEASED AT A CONTROLLED RATE. ALL SEDIMENT SHALL BE SETTLED OR FILTERED OUT BEFORE RELEASING THE WATER TO THE PUBLIC

#### LEGAL DESCRIPTION:

FLOWLINE

LOTS NUMBERED TWENTY-FIVE (25) AND TWENTY-SIX (26), BLOCK NUMBERED FIVE (5) TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT THERE OF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO

LEGEND:		
EXISTING	MELL	DESCRIPTION
5207		CONTOUR
9100 5207	07.00	SPOT ELEVATION
	describing an experience of the second secon	PROPERTY LINE
	Accommodate to the second state of the second	SWALE
	En recharge of the second management of the se	SHEET FLOW
		DOWN SPOUT
	*****	ROOF DRAINAGE
	TA	TOP OF ASPHALT
	TO	TOP OF CURB/CONCRETE
	FL	, FLOWLINE

#### DRAINAGE CALCULATIONS

SOIL INFORMATION: (REFER TO SCS SOIL SURVEY OF BERNALILLO COUNTY.) SOIL IS EMB, EMBUDO GRAVELY FINE SANDY LOAM, HYDROLOGIC SOIL GROUP "B". RAINFALL, 100-YEAR, 6-HOUR: (REFER TO D.P.M., PLATE 22.2 D-1)

= 2.25 INCHES. TIME OF CONCENTRATION: (REFER TO D.P.M. SECTION 22.2, PAGE 3) USE TEN (10) MINUTES, MINIMUM TIME OF CONCENTRATION.

 $I = R_6 \times 6.84 \times Tc^{-0.51} = 2.25 \times 6.84 \times (10)^{-0.51} = 4.76 \text{ INCHES PER HOUR.}$ CURVE NUMBERS: (REFER TO D.P.M. PLATE 22.2 C-2)

CN FUNDEF EXISTING AREA
70 0.39 -NEW AREA BUILDINGS AND PAVEMENT 98 2.10 14724 61 0.20 1200 LANDSCAPING 1200 UNPAVED GRAVEL 82 **0.85** 61296 UNPAVED DIRT 46579 TOTAL AREAS 77220 = 1.773 AC

wieghted curve number (Cnw): EXISTING CN<sub>W</sub> = 85 DEVELOPED CN<sub>W</sub> = 88

DIRECT RUNOFF: (REFER TO D.P.M. PLATE 22.2 C-4) EXISTING  $Q_D = 1.05$  DEVELOPED  $Q_D = 1.20$ 

RUNOFF COEFFICIENTS: (REFER TO "NOTICE OF EMERGENCY RULE", CITY OF ALBUQUERQUE, JANUARY 14, 1986). NEW AREA 54921 UNDEVELOPED (UNPAVED)

0.70 LAWNS AND LANDSCAPING 0.90 8880 STREETS, DRIVES, WALKS

77220 WEIGHTED "C" FACTORS: EXISTING "C" - 0 71 EXISTING CONDITIONS:

RUNOFF BY RATIONAL EQUATION, Q = CIA - 0.71 X 4.76 X 1.773 - 5.99 CFS

VOLUME BY SCS METHOD,  $V = A(Q_D/12)$ , WHERE A = AREA IN SQUARE FEET.  $V = 77220 \ (1.05/12) = 6757 \ GF$ 

DEVELOPED CONDITIONS: Q = 0.76 X 4.76 X 1.773 = 6.41 CFS

#### V = 77220 (1.20/12) = 7722 CF SWALE AT WEST PROPERTY LINE:

THE ENTIRE 6.41 CFS DOES NOT DRAIN TO THIS SWALE SINCE PORTIONS OF THE SITE DRAIN DIRECTLY TO THE STREET. SOUTH HALF OF BUILDING. Q = 0.90 X 4.76 X 0.06 AC

AREA SOUTH OF WATER BLOCK. Q = 0.95 X 4.76 X 0.08 TOTAL Q NOT FLOWING TO SWALE = 0.62 CFS

USE MANNINGS EQUATION - Q =  $A(1.486/N)R^{2/3}S^{1/2}$  A = 2.66 SF P = 6.5 FT.

R = A/P = 2.66/6.5 = 0.41 S = 0.0020 ft./ft. N = 0.013 (CONCRETE) N = 0.015 (ASPHALT) WEIGHTED  $N = \frac{(2.67 \times 0.013) + (3.83 \times 0.017)}{6.50} = 0.0154$ 

 $Q = 2.66(1.486/0.0154)(0.41)^{2/3}(0.002)^{1/2}$  (6.33 CFS) (6.41 - 0.62 = 5.79)

#### SIDEWALK CULVERT:

SINCE THIS SITE IS NEAR THE LOWER END OF THE DRAINAGE BASIN, THE SITE RUNOFF WILL PEAK AND ENTER THE STREET BEFORE THE PEAK RUNOFF FOR THE BASIN PASSES THE SITE. THEREFORE, THE DOWNSTREAM END OF THE SW CULVERT IS ASSUMED TO BE UNSUBMERGED.  $P = 0.67 + 2.0 + 0.67 = 3.34 \text{ FT. } A = 0.67 \times 2 = 1.34 \text{ SF}$   $R = A/P = 1.34/3.34 = 0.40 \text{ S} = 0.02 \text{ FT./FT. } Q = 2.6 (2)(.67)^{3/2} = 2.74 \text{ efs}$ 

Q = 1.34(1.486/0.013)(0.40) $^{2/3}$ (0,0200) $^{1/2}$  + 11.75 GFS Q = .6 (1.34)  $\sqrt{2(32.2)}$ .67
A 1.0' SIDEWALK CULVERT IS ADEQUATE. EXCESS FLOW WILL FLOW OUT THROUGH THE

#### DRAINAGE CALCULATIONS FOR PROPOSED ADDITION

#### DESIGN SYNOPSIS:

The existing site has been developed in accordance with the approved grading and drainage plan dated May 11, 1989. As-constructed elevations have been shown for the berm along San Francisco Drive and the concrete alley gutter and cutoff wall adjacent to the west property line. The retaining wall adjacent to the easterly driveway was found to be below the design elevations. The wall and driveway grades will be raised to the elevations shown in conjunction with the proposed addition. The surface will remain unpaved gravel due to the difficulty of maintaining asphalt pavement with heavy truck traffic.

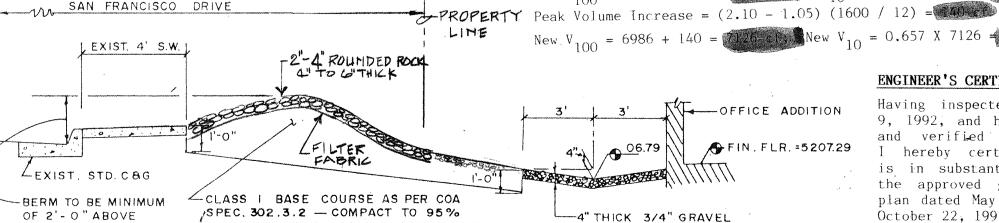
#### 1993 ADDITION - REVISED DRAINAGE CALCULATIONS:

This addition simply adds 20' to the north end of the existing 1992 addition. The above design synopsis applies to the 1992 addition which is complete and has been certified. The drainage pattern for the 1993 addition will remain essentially unchanged.

REVISED PEAK DISCHARGE & VOLUME FOR 1993 ADDITION:

Area of proposed addition = 20' X 80' = 1600 sf

Peak Discharge Increase = (0.90 - 0.40)(1600 / 43560)4.76 New  $Q_{100} = 6.57 + 0.09 = 6.66 \text{ cfs}$   $Q_{10} = 0.657 \text{ X } 6.66 = 4.38 \text{ cfs}$ 



SECTION A-A LANDSCAPED BERM 1/4" = 1' - 0"

MAXIMUM DENSITY AS PER ASTM D-1557

ENGINEER'S CERTIFICATION:

Having inspected the site on June 9, 1992, and having field-inspected in and verified critical elevations DROLOGY DIVIS I hereby certify that this plan is in substantial conformance with

October 22, 1991, Frank D. Yovelody June 10, 1992
Date

Engineer

REVISED OCT. 22,199 REVISED JUNE 10, 199 REVISED MAY 6, 1992

Architect

Changed on ORIGINAL

ADDITIO N FRANCISO XPRES 5601 SAN ALBUQUEF 0

proj. no. 2-89 dwn. by FDL app. by date 5-15-89 revisions REVISED 6-1-89

SE

MAY - 6 1993

the approved grading and drainage plan dated May 11, 1991 and revised