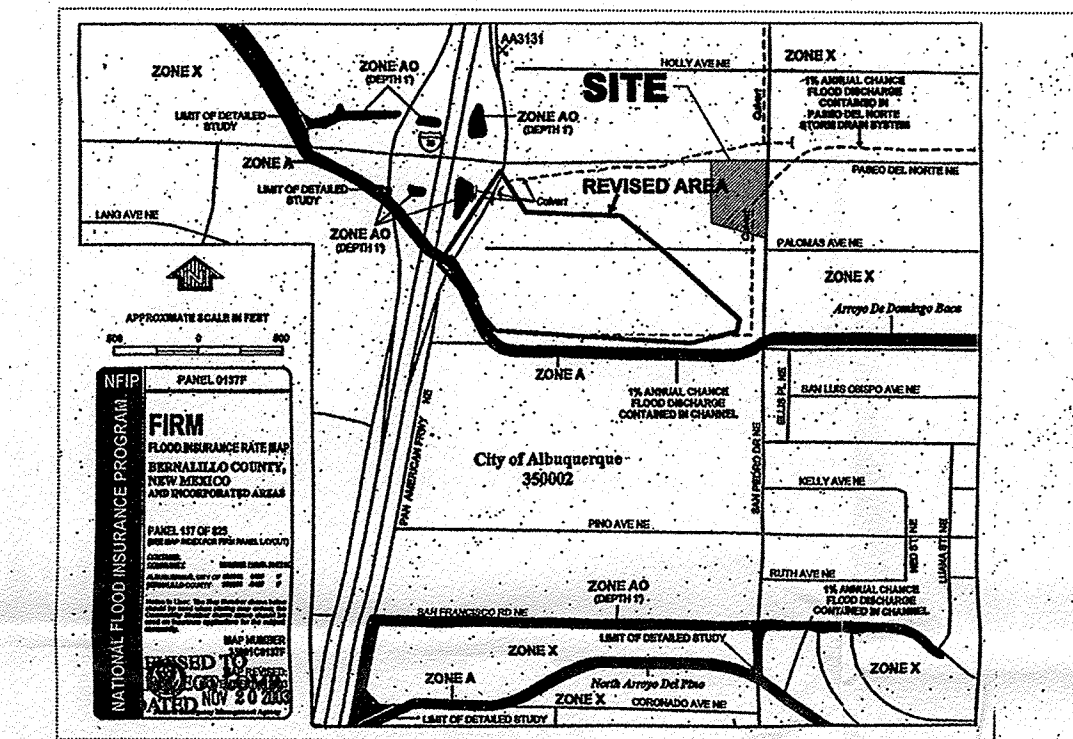


DRAINAGE MANAGEMENT PLAN

- I. INTRODUCTION  
The purpose of this report is to provide a Drainage Management Plan for development of a Walgreens Store on the southwest corner of San Pedro and Paseo Del Norte in Northeast Albuquerque. The site is currently legally described as Tract A of Los Angeles Center. The site is bounded on the north by Paseo Del Norte, on the east by San Pedro, on the south and west by a Lowe's Home Improvement Store and associated parking lots and access drive. The project is zoned M-1 and is not required to go through EPC or DRB. A subdivision plot is currently in process for the property.
- II. PURPOSE  
This report and the final grading plan are submitted for Hydrology Division review for the purpose of obtaining rough grading and building permit approval. No variances are requested with this submittal. Should the Hydrology Division have comments which must be addressed prior to building permit approval, the owner requests that rough grading approval be granted separately, while the building permit comments are being addressed.
- III. METHODOLOGIES AND REFERENCES  
This report is prepared in accordance with City of Albuquerque Development Process Manual (DPM) criteria; specifically, the procedures outlined in DPM Section 22.2. No AHYMO analysis has been done for the site, as it is less than 40 acres and therefore could be analyzed using the method outlined in Part A.6 of Section 22.2 of the DPM. This report is also in accordance with the "Lowe's of NE Albuquerque Drainage Report" dated December 15, 1999 (D18/D14) and approved February 11, 2000. The site is allowed free discharge of developed flows.
- IV. SITE LOCATION AND CHARACTERISTICS  
This site is located on the South West Corner of Paseo Del Norte Blvd. and San Pedro Blvd., within Zone Atlas Map No D-18. The entire site consists of about 2 acres which has been graded in accordance with the "Lowe's of NE Albuquerque Drainage Report."  
Flows from contributing basins are contained in storm drains along Paseo Del Norte Blvd. In reference to the Federal Emergency Management Agency map #35001C0137F, there is a 1% annual chance flood zone near to the site. This flood elevation is downstream from the site and is sufficiently far to not affect the site.
- V. EXISTING CONDITIONS  
Under existing conditions, there are no offsite flows which impact the site. The site discharges flows directly to the Lowe's Home Improvement Store site. Currently there is a berm that contains most of the surface flow to the site. This flow is then transmitted to the Lowe's site through an 18" inlet structure consisting of 18" CMP and an 18" RCP flared end section. The flow then reaches the South Arroyo De Domingo Boca and ultimately the North Diversion channel which discharges to the Rio Grande.  
The existing site is divided into three basins, E3, E4, and E5; that are similar to the basins shown in the Lowe's Report. Basin E4 (1.82ac, 8.79cfs) drains to the inlet, while Basins E3 (0.10ac, 0.48cfs) and E5 (0.13ac, 0.61cfs) drain overland onto the Lowe's site. According to the Lowe's report, "flows from Basin B4 are included in the design analysis for both this storm drain and the one that discharges to the channel. This is a conservative assumption which was made in order to give Basin B4 the greatest flexibility for future development (future flows from Basin B4 could be discharged to either system, and both would have adequate capacity)." This ensures that the proposed development was considered in the planning and construction of the existing infrastructure.  
Currently, under existing conditions this site has a 100yr discharge of 9.88cfs. The analysis of the existing hydrology was performed in accordance with section 22.2 of the Development Process Manual.
- VI. PROPOSED CONDITIONS  
The proposed development consists of a 15,000 square foot drug store with associated parking and driveways. For analytical purposes, the proposed site was divided into 3 basins, labeled P1 thru P3. Basin P1 (1.16ac, 5.75cfs) consists of the roof area of the new store and the Northwest portion of the parking area and landscape. This flow will run through a 24" concrete runoff and through a new driveway onto the Lowe's site. Basin P2 (0.31ac, 1.52cfs) is located on the eastern side of the building and consist of parking lot and landscape. This flow will be collected through a new storm drain that will discharge to the existing drain, located at the southwest corner of the site. This drainage flows directly onto the Lowe's site. Basin P3 (0.49ac, 2.40cfs) consists of the Southern corner of the parking area and landscape. Again this flow will discharge onto the Lowe's site through a new driveway to the south. Flow from all proposed are calculated using 95% Land Treatment D and 5% Land Treatment C. Under Proposed conditions this site has a 100yr discharge of 9.67cfs. The allowable discharge per Lowe's Drainage report is 9.88cfs. The analysis of the existing hydrology was performed in accordance with section 22.2 of the Development Process Manual.
- VII. CONCLUSION  
The total flow discharged from the site is 9.67cfs which is less than the allowable discharge of 9.88cfs. These flows were computed in accordance with section 22.2 of the Development Process Manual. This report has given a comprehensive drainage management plan for the proposed development that complies with the DPM and the drainage ordinance. It is recommended that Building Permit approval be granted with this submittal.



FLOOD INSURANCE RATE MAP  
FEMA- NUMBER 350002, PANEL 0137F  
LOMR ISSUED NOV. 20, 2003

WALGREENS										
Existing and Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 3										
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (inches)	V(100) (CF)
			A	B	C	D				
EXISTING CONDITIONS										
E3	4360	0.10	0.0%	5.0%	5.0%	90.0%	4.82	0.48	2.23	812
E4	79400	1.82	0.0%	5.0%	5.0%	90.0%	4.82	8.79	2.23	14785
E5	5510	0.13	0.0%	5.0%	5.0%	90.0%	4.82	0.61	2.23	1026
TOTAL		2.05						9.88	6.70	16623
PROPOSED CONDITIONS										
P1	51400	1.18	0.0%	0.0%	5.0%	95.0%	4.94	5.83	2.31	9880
P2	33890	0.78	0.0%	0.0%	5.0%	95.0%	4.94	3.84	2.31	6514
TOTAL		1.96						9.68	4.61	16623

DRAINAGE MANAGEMENT PLAN

SCALE: 1" = 30'-0"

- NOTES:
1. MAXIMUM CROSS SLOPE ON ALL SIDEWALKS IS 2%.
  2. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE IS 5%. MAXIMUM CROSS SLOPE IS 2%.
  3. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE WITH HANDRAILS IS 8%. MAXIMUM CROSS SLOPE IS 2%.
  4. MAXIMUM SLOPE ON ACCESSIBLE RAMPS IS 8%.
  5. MAXIMUM SLOPE IN HANDICAP PARKING IS 2% IN ALL DIRECTIONS.



FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
780-940-2900  
DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

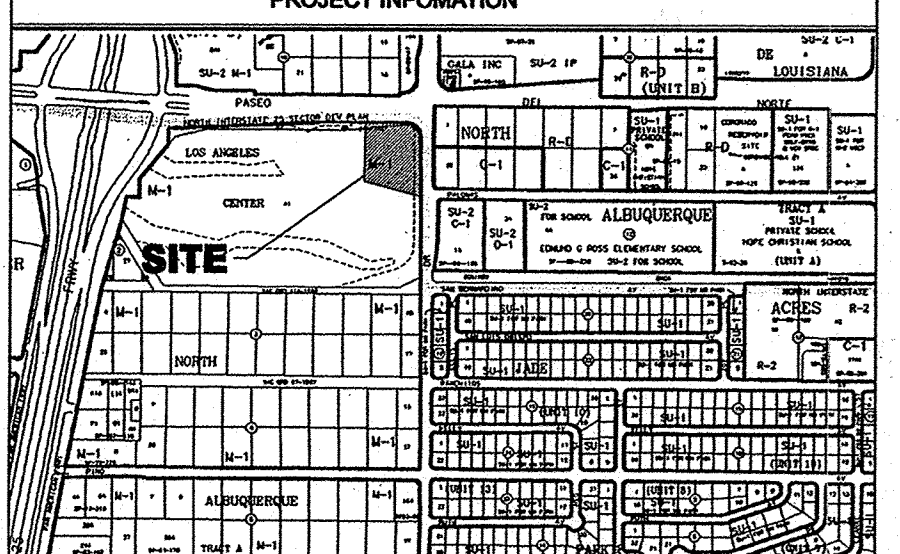
- ☐ WALGREENS' CONSULTANT  
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

- ☐ WALGREENS' CONTRACTOR  
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW.....	NEW.....
REMODELING.....	EXISTING.....
RELOCATION.....	NEW SHELL ONLY.....
OTHERS.....	

PROJECT INFORMATION



VICINITY MAP  
LOS ANGELES CENTER, TRACT A  
ZONE ATLAS D-18-2

LEGEND

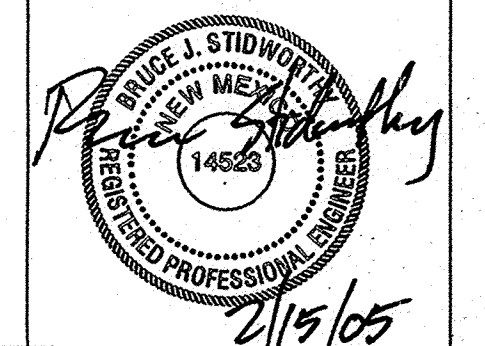
- PROPERTY LINE  
EXISTING CONTOURS  
PROPOSED SPOT ELEVATION  
TC=TOP OF CURB, FL=FLOW LINE  
FGH=GRADE AT TOP OF WALL  
FGL=GRADE AT BOTTOM OF WALL  
EX=EXISTING, TC=TOP OF GRADE  
PROPOSED DIRECTION OF FLOW  
PROPOSED RETAINING WALL  
PROPOSED CONTOURS

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3				
2				
1				

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME  
WALGREENS STORE (SWC) SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

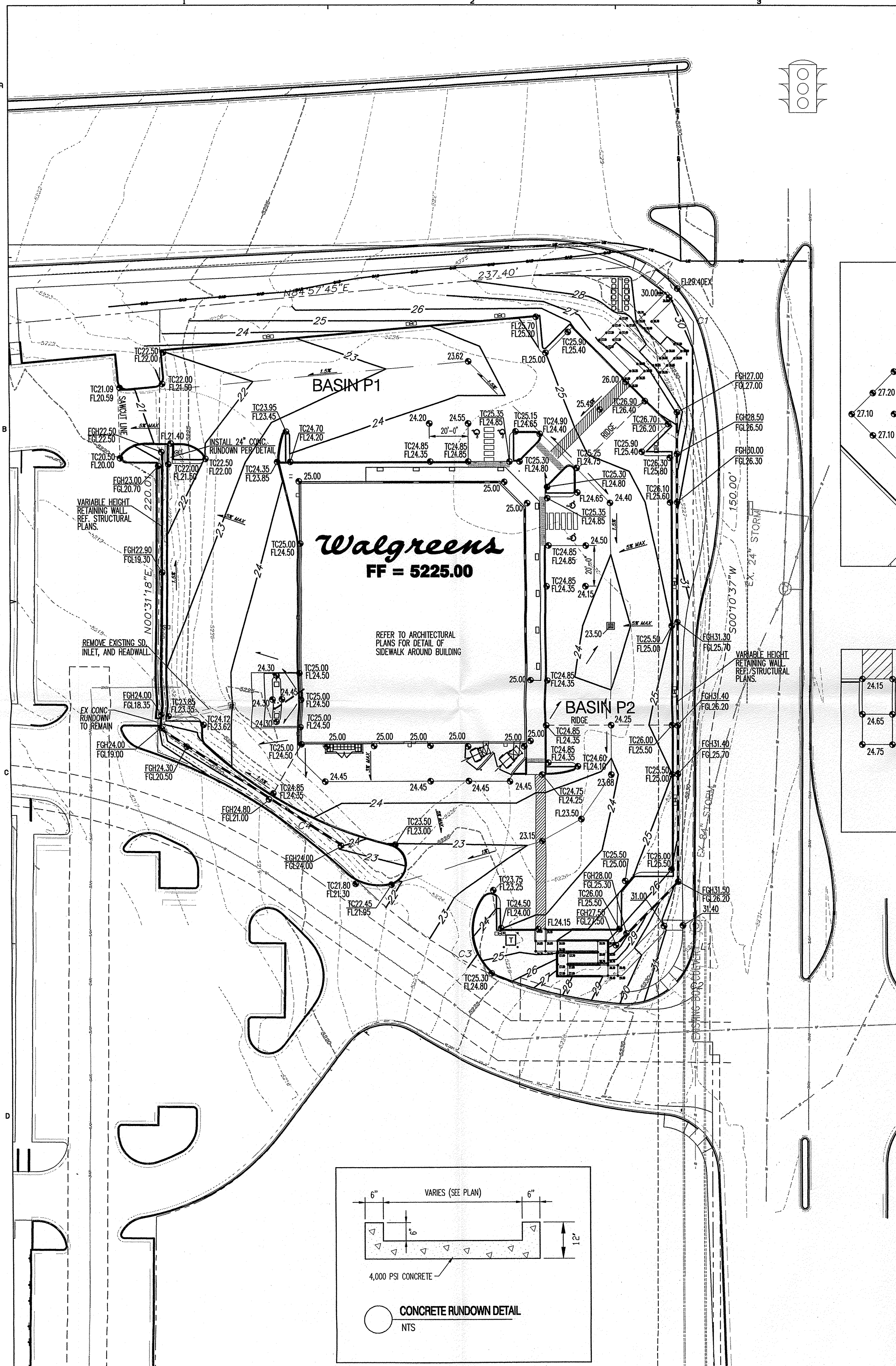
DRAWING TITLE

DRAINAGE MANAGEMENT PLAN

DATE	2-15-05	STORE NO.	9608	DRAWING NO.	C1.1
DRAWN BY:	JTW	SCALE:	1:30		
REVIEWED BY:		RELEASED TO CONSTRUCTION:			

**Bohannon & Huston**  
Courtney I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





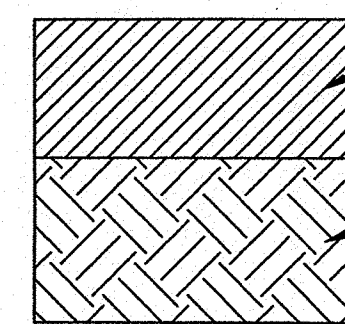
- NOTES:
1. MAXIMUM CROSS SLOPE ON ALL SIDEWALKS IS 2%.
  2. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE IS 5%. MAXIMUM CROSS SLOPE IS 2%.
  3. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE WITH HANDRAILS IS 8%. MAXIMUM CROSS SLOPE IS 2%.
  4. MAXIMUM SLOPE ON ACCESSIBLE RAMPS IS 8%.
  5. MAXIMUM SLOPE IN HANDICAP PARKING IS 2% IN ALL DIRECTIONS.

GENERAL NOTES

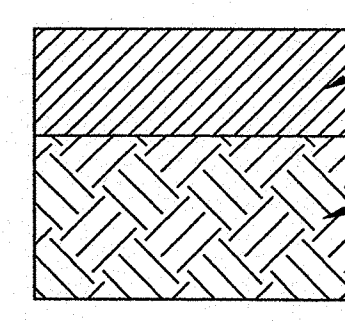
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- FGH=GRADE AT TOP OF WALL
- FL=GRADE AT BOTTOM OF WALL
- EX=EXISTING, TO=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- PROPOSED CONTOURS



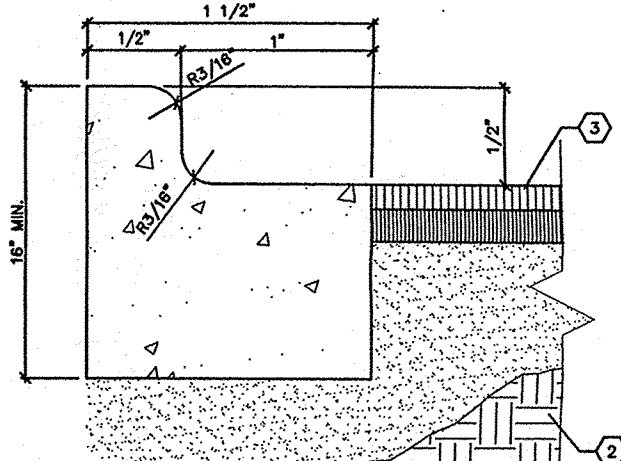
HEAVY-DUTY ASPHALT PAVEMENT SECTION  
SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.



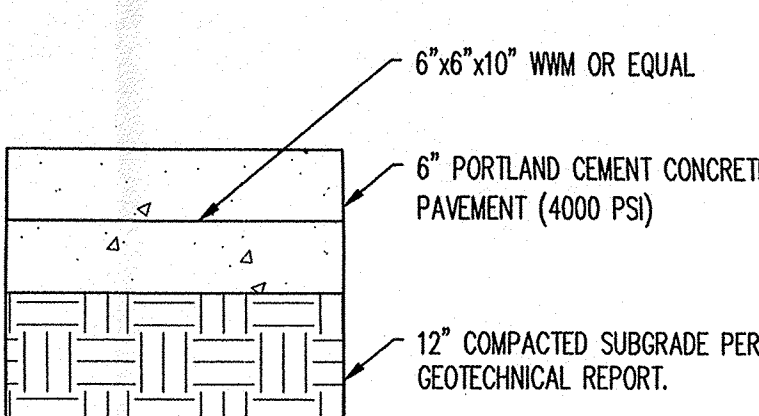
LIGHT-DUTY ASPHALT PAVEMENT SECTION  
SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.

GRADING NOTES

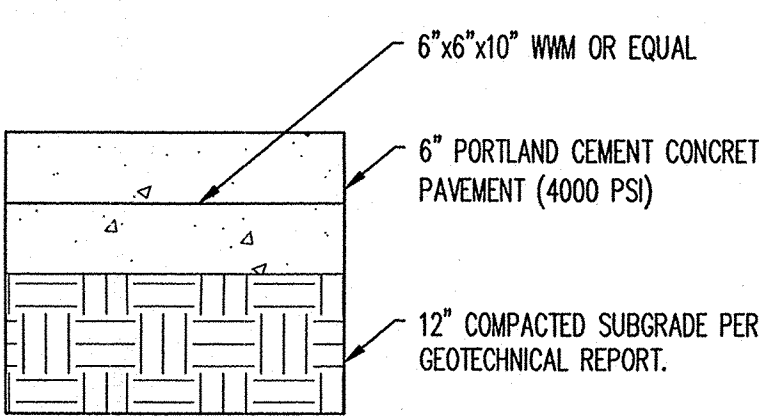
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



COMBINED CURB & GUTTER  
NOT TO SCALE



CONCRETE PAVEMENT SECTION  
NOT TO SCALE



SIDEWALK PAVEMENT SECTION  
NOT TO SCALE

NOTE: REFERENCE SITE PLAN FOR LIMITS OF PAVEMENT SECTIONS.

GRADING PLAN

**Bohannon & Huston**  
Engineering & Spatial Data & Advanced Technologies  
1700 Jefferson St. NE, Albuquerque, NM 87109-4395  
Phone (505) 884-9110 Fax (505) 837-9877  
www.gra-arch.com

**Walgreens**  
FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
708-840-2500  
DEERFIELD, IL 60015

**PROJECT TYPE**  
DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS' CONSULTANT  
☒ LANDLORD'S CONSULTANT

**ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:**  
☐ WALGREENS' CONTRACTOR  
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW .....	<input checked="" type="checkbox"/>
REMODELING.....	<input type="checkbox"/>
RELOCATION.....	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>

**PROJECT INFORMATION**

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4		BJS		
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	9/01/03	MPS	WIDEN DRIVE AISLE TO 40'	

**REVISIONS**

**CERTIFICATION AND SEAL**

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

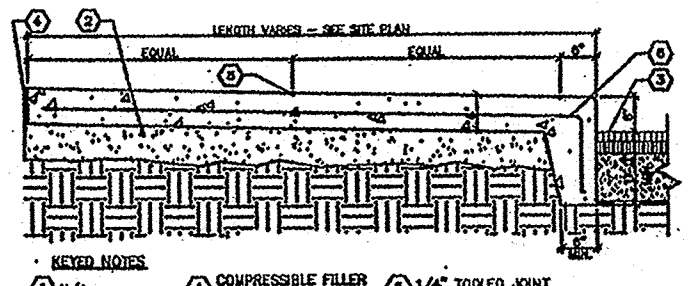
**PROJECT NAME**  
WALGREENS STORE  
(SWC) SAN PEDRO AND PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

**DRAWING TITLE**  
GRADING PLAN

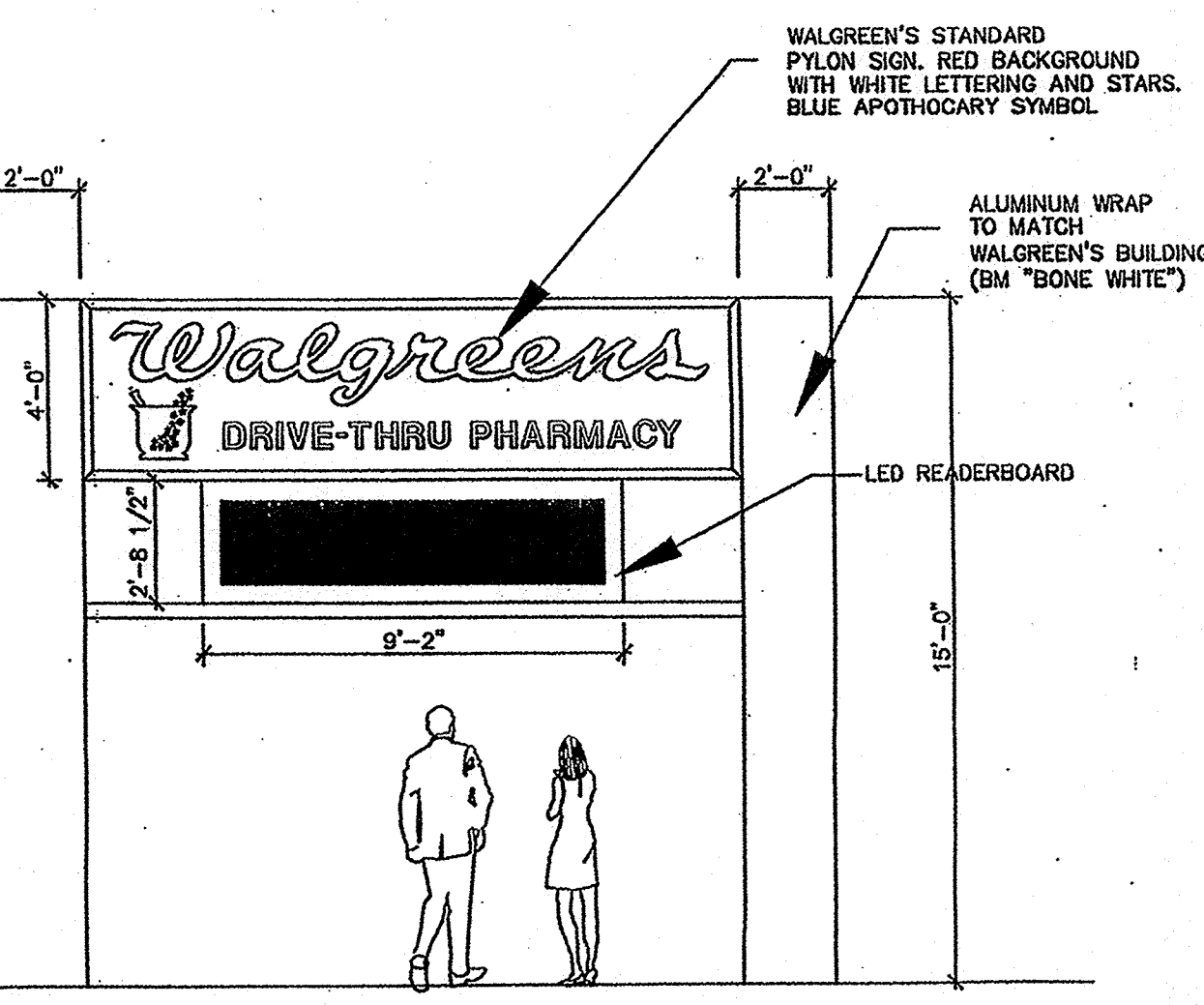
**DRAWING NO.**  
C1.0

**DWGS.**

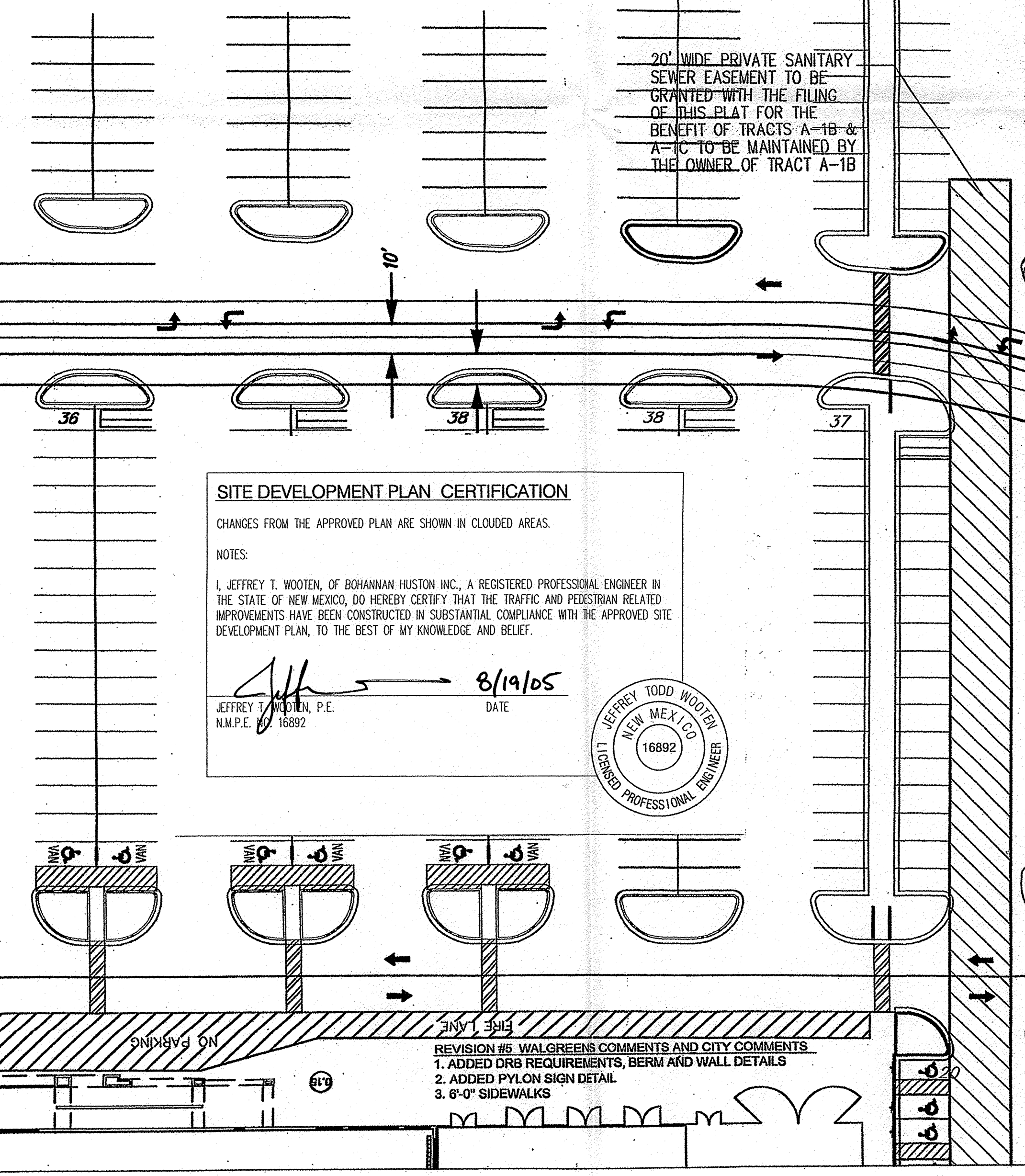




4 BLDG PER. SIDEWALK DETAIL  
3/8" = 1'



5 PYLON SIGN  
1/4" = 1'



**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	98.25	90.00	54.67	93.45	S31°05'53"E	62°32'59"
C2	53.05	33.48	33.94	47.67	S45°33'37"W	90°46'56"
C3	166.15	213.50	87.54	161.99	N66°45'02"W	44°35'19"
C4	119.43	269.50	60.71	118.48	N57°09'07"W	25°23'27"

**LINE TABLE**

LINE	BEARING	DISTANCE
LT	N89°57'17"W	5.38'

**RADIUS INFORMATION:**

① RADIUS = 2'-0"	⑦ RADIUS = 25'-0"
② RADIUS = 3'-0"	⑧ RADIUS = 30'-0"
③ RADIUS = 5'-0"	⑨ RADIUS = 40'-0"
④ RADIUS = 10'-0"	⑩ RADIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑪ RADIUS = 60'-0"
⑥ RADIUS = 20'-0"	⑫ RADIUS = 100'-0"

PROJECT NUMBER: 100 1976  
APPLICATION NUMBER: 05 DRB-00493

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

Is an Infrastructure List required? ( ) YES ( ) NO

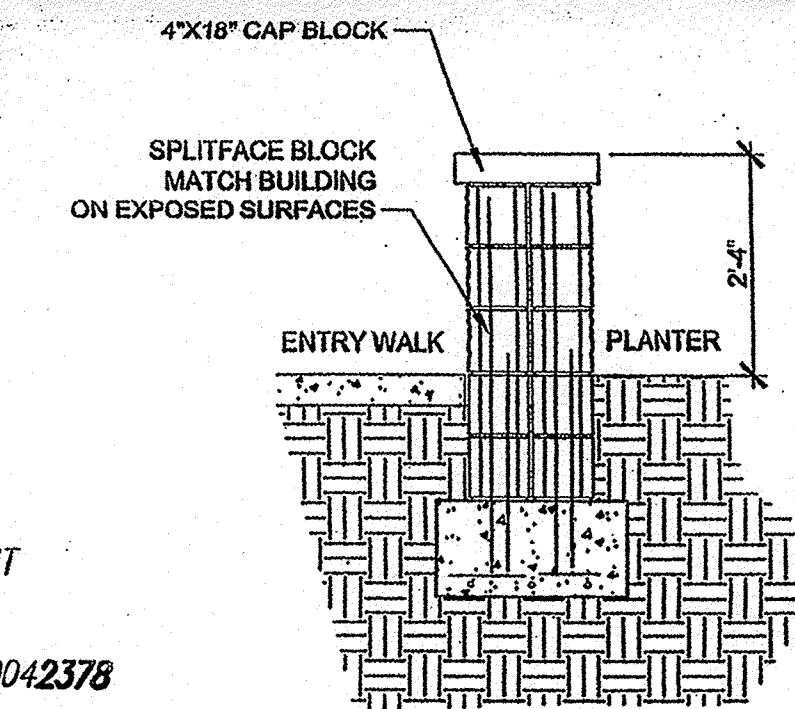
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SITE DEVELOPMENT PLAN**

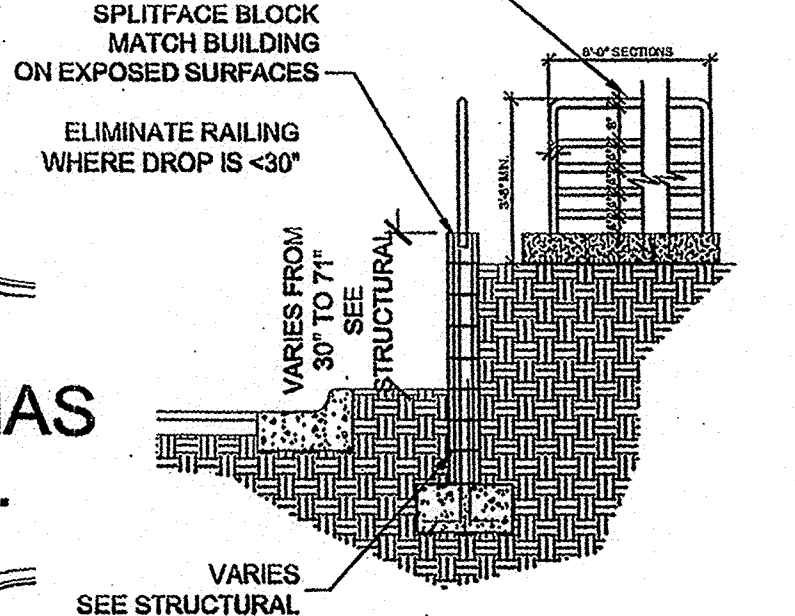
Traffic Engineer: [Signature] Date: 3/30/05  
Utilities Development: [Signature] Date: 3/30/05  
Parks and Recreation Department: [Signature] Date: 3/30/05  
City Engineer: [Signature] Date: 3/30/05  
Environmental Health Department (conditional): [Signature] Date: 4-1-05  
Solid Waste Management: [Signature] Date: 3/30/05  
DRB Chairperson, Planning Department: [Signature] Date: 3/30/05  
M.H. EPC Staff, 3/30/05  
\* Environmental Health, if necessary

**KEYED NOTES**

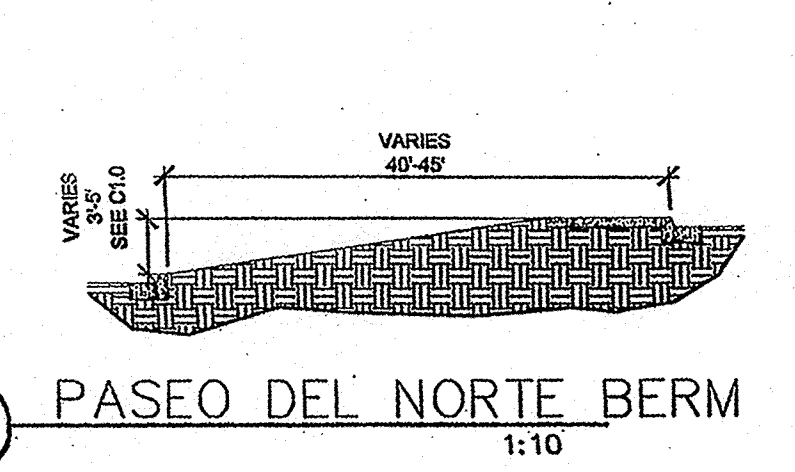
1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
2. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
3. TRANSFORMER
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATIONS - 4 BIKES
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. ACCESSIBLE SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
8. STANDARD PAVING. SEE GEOTECHNICAL REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. ACCESSIBLE RAMP. SEE A1.4
11. STRIPED ACCESSIBLE AISLE
12. HEAVY DUTY ASPHALTIC PAVING FOR TRUCK TRAFFIC. SEE GEOTECHNICAL REPORT
13. TRAFFIC SIGNAL BOXES
14. BENCH. SEE DETAIL 3 THIS SHEET
15. WALGREEN'S PYLONS SIGN. SEE SHEET A5.1 FOR DETAILS
16. "DO NOT ENTER" SIGN



3 SEATING DETAIL  
1/2" = 1'



2 SAN PEDRO WALL DETAIL  
1/4" = 1'



2A PASEO DEL NORTE BERM  
1:10

**Walgreens**

FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
708-940-2500

DEERFIELD, IL 60015

**PROJECT TYPE**

DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREEN'S CONSULTANT  
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:  
☐ WALGREEN'S CONTRACTOR  
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>

**PROJECT INFORMATION**

LOCATION: DEVELOPMENT IS LOCATED AT THE SOUTHWEST CORNER OF PASEO DEL NORTE AND SAN PEDRO NE ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110

ZONING: M-1

OCCUPANT LOAD: 413 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: 2 AC

CONSTRUCTION TYPE: II-B SPRINKLERED

TOTAL BUILDING AREA: 14,820 SQUARE FEET

**PARKING ANALYSIS**

REQUIRED: 1 SPACE PER 200 SF OF GROSS FLOOR AREA LESS 20% OF FLOOR AREA FOR STORAGE

16,510 SF x 0.005 = 11,855 SF SALES AREA  
11,855 SF/200 = 60 REQUIRED SPACES

PROVIDED: 97 SPACES INCLUDING 93 STANDARD SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5	3/29/05	AOB	CITY COMMENTS	
4	2/5/05	AOB	WALGREEN/CITY COMMENTS	
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	8/15/03	MPS	WIDEN DRIVE AISLE TO 40'	

**REVISIONS**

**CERTIFICATION AND SEAL**

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

**STATE OF NEW MEXICO**  
GEORGE R. RAINHART  
No. 580  
REGISTERED ARCHITECT

PROJECT NAME: WALGREENS STORE (SWC) SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

**DRAWING TITLE**  
SITE PLAN

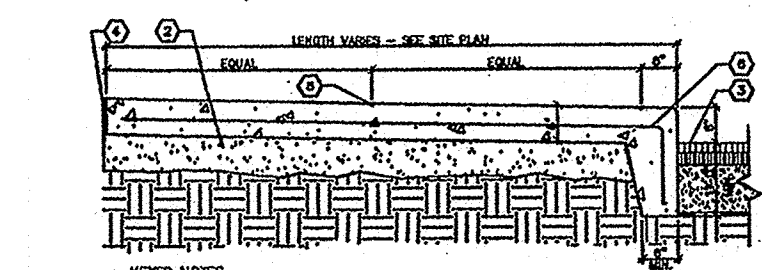
DATE	STORE NO.	DRAWING NO.
7-15-03	9808	

DRAWN BY: MPS  
REVIEWED BY:

SCALE: 1:30  
RELEASED TO CONSTRUCTION:

**A1.0**  
OF DWGS.





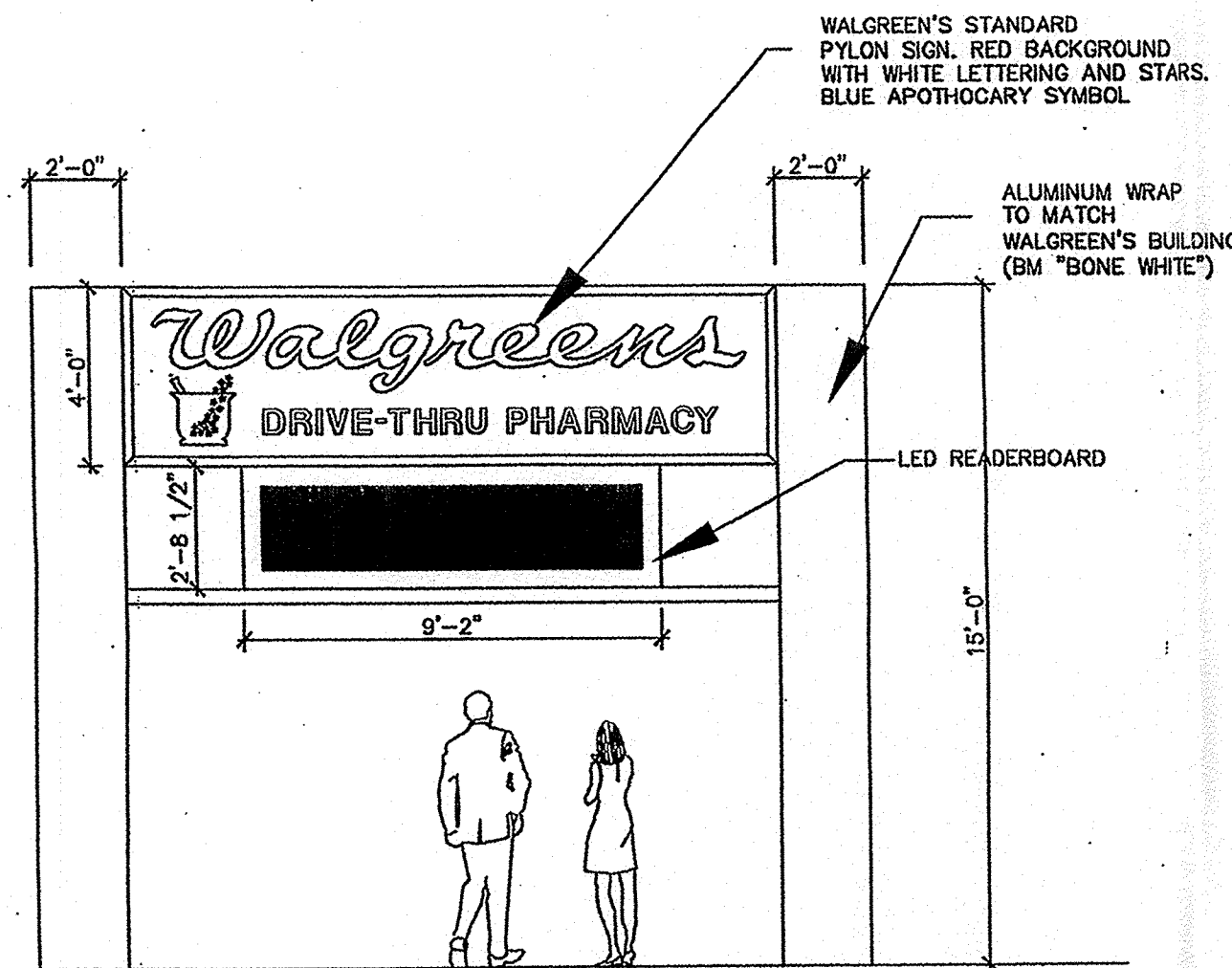
4 BLDG PER. SIDEWALK DETAIL  
3/8" = 1'

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	98.25	90.00	54.67	93.45	S31°05'53"E	62°32'59"
C2	53.05	33.48	33.94	47.67	S45°33'37"W	90°46'56"
C3	166.15	213.50	87.54	161.99	N66°45'02"W	44°35'19"
C4	119.43	269.50	60.71	118.46	N57°09'07"W	25°23'27"

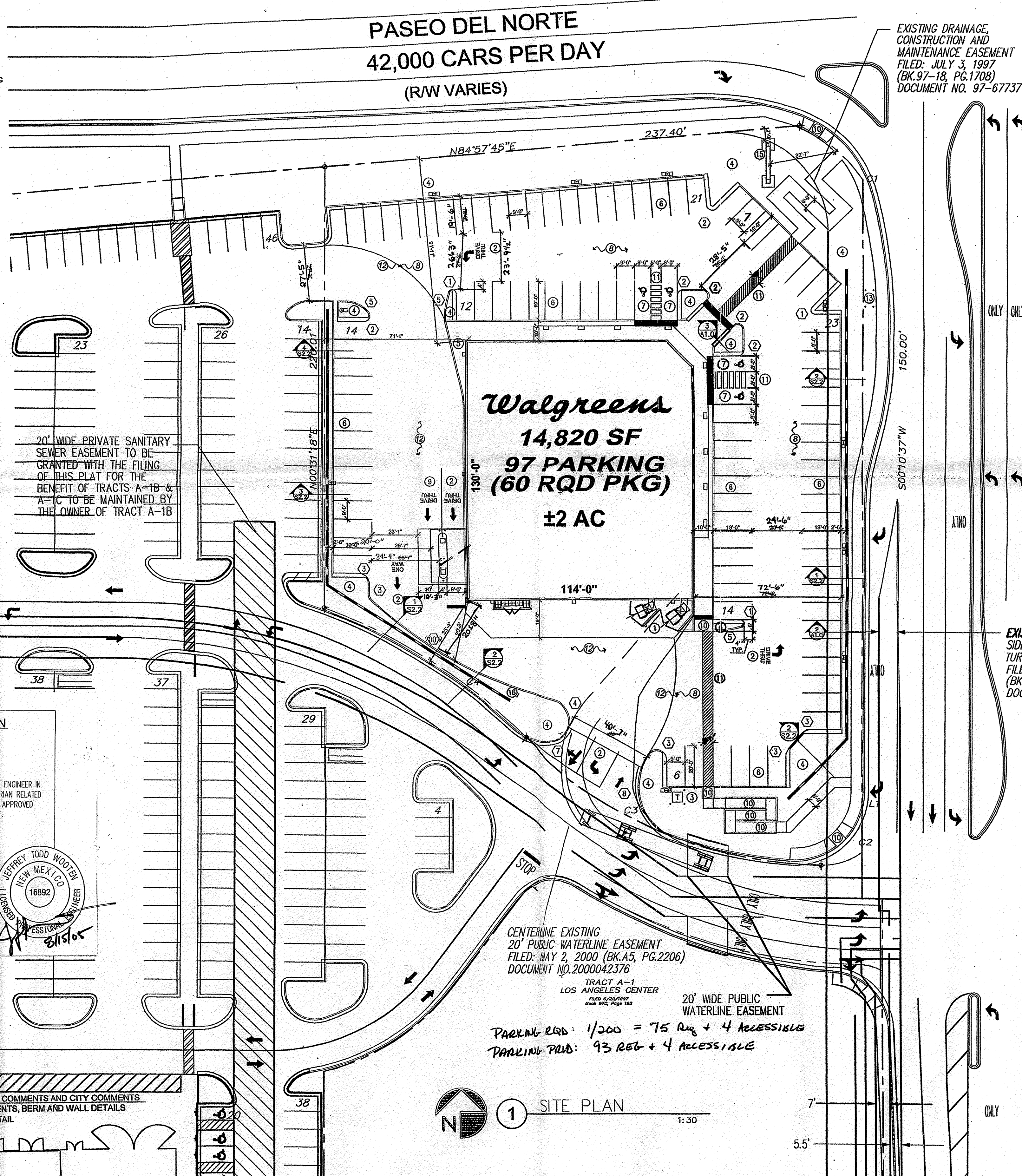
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N89°57'17"W	5.38'

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"



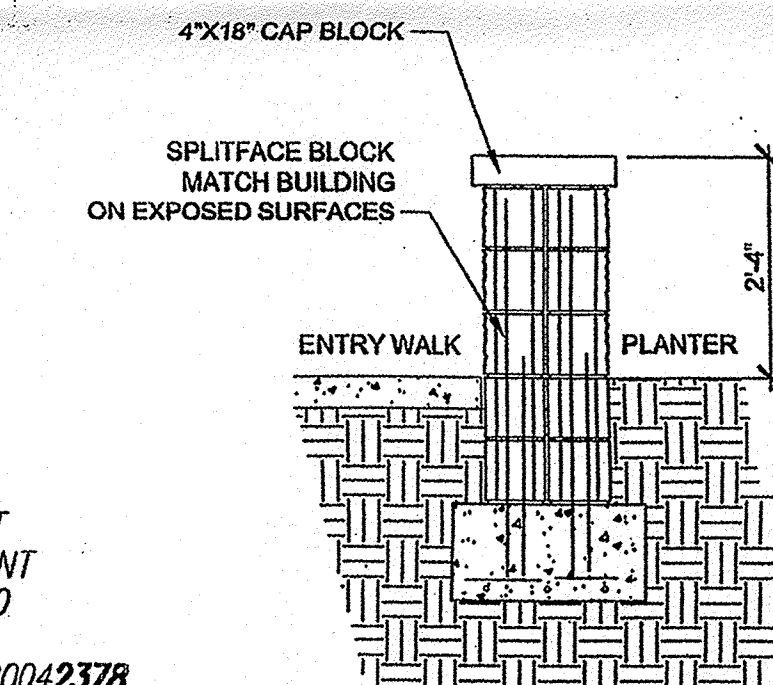
5 PYLON SIGN  
1/4" = 1'



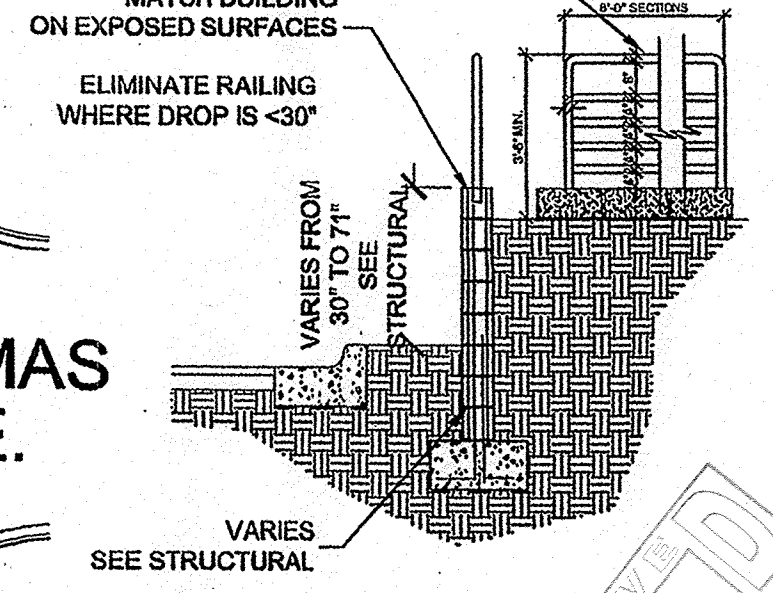
PROJECT NUMBER: 100 1976  
APPLICATION NUMBER: 05 DRB-00492  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:  
Is an Infrastructure List required? ( ) YES ( ) NO  
If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
SITE DEVELOPMENT PLAN  
Traffic Engineering: Transportation Division  
Utilities Development: Utilities Division  
Parks and Recreation Department: Parks and Recreation Department  
City Engineer: Engineering Division / AMAFCA  
Environmental Health Department \*(conditional): Environmental Health Department  
Solid Waste Management: Solid Waste Management  
DRB Chairperson: Planning Department  
M.A. ER 5/15/05  
\* Environmental Health, if necessary

KEYED NOTES

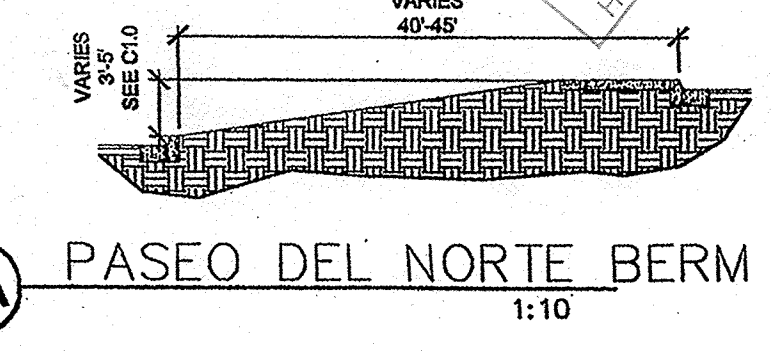
1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
2. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
3. TRANSFORMER
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATIONS - 4 BIKES
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. ACCESSIBLE SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
8. STANDARD PAVING, SEE GEOTECHNICAL REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. ACCESSIBLE RAMP, SEE A1.4
11. STRIPED ACCESSIBLE AISLE
12. HEAVY DUTY ASPHALTIC PAVING FOR TRUCK TRAFFIC, SEE GEOTECHNICAL REPORT
13. TRAFFIC SIGNAL BOXES
14. BENCH, SEE DETAIL 3 THIS SHEET
15. WALGREEN'S PYLONS SIGN, SEE SHEET A5.1 FOR DETAILS
16. "DO NOT ENTER" SIGN



3 SEATING DETAIL  
1/2" = 1'



2 SAN PEDRO WALL DETAIL  
1/4" = 1'



2A PASEO DEL NORTE BERM  
1:10

**Walgreens**  
FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
708-940-2500  
DEERFIELD, IL 60015

PROJECT TYPE  
DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS CONSULTANT  
☒ LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:  
☐ WALGREENS CONTRACTOR  
☒ LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

PROJECT INFORMATION  
LOCATION: DEVELOPMENT IS LOCATED AT THE SOUTHWEST CORNER OF PASEO DEL NORTE AND SAN PEDRO NE ALBUQUERQUE, NEW MEXICO  
LEGAL DESCRIPTION:  
ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
ZONING: M-1  
OCCUPANT LOAD: 413 OCCUPANTS  
OCCUPANCY GROUP: M (MERCANTILE)  
TOTAL ACREAGE: 2 AC  
CONSTRUCTION TYPE: II-B SPRINKLERED  
TOTAL BUILDING AREA: 14,820 SQUARE FEET

PARKING ANALYSIS  
REQUIRED: 1 SPACE PER 200 SF OF GROSS FLOOR AREA LESS 20% OF FLOOR AREA FOR STORAGE  
16,510 SF X 80% = 11,855 SF SALES AREA  
11,855 SF / 200 = 59.275 REQUIRED SPACES  
PROVIDED: 97 SPACES  
INCLUDING 93 STANDARD SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
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7				
6				
5	3/28/05	AOB	CITY COMMENTS	
4	2/5/05	AOB	WALGREEN/CITY COMMENTS	
3	10/25/04	ACB	UPDATED SITE/FORMAT	
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DWGS.