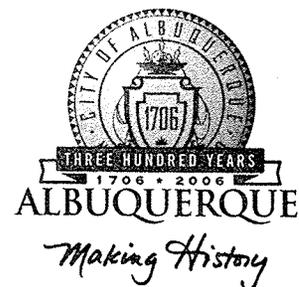


# CITY OF ALBUQUERQUE



August 18, 2005

Mr. Jeffery Wooten, P.E.  
**BOHANNAN-HUSTON, INC.**  
7500 Jefferson St. NE, Courtyard I  
Albuquerque, NM 87109

**Re: WALGREENS @ SAN PEDRO & PASEO DEL NORTE**  
**6200 Paseo Del Norte NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 02/15/2005 (D-18/D14A)**  
**Certification dated 08/17/2005**

Dear Jeff:

P.O. Box 1293

Based upon the information provided in your submittal received 08/18/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

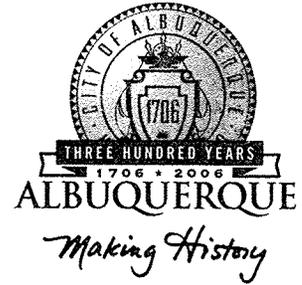
Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
File

# CITY OF ALBUQUERQUE



April 1, 2005

Bruce J. Stidworthy, P.E.  
Bohannan Huston, Inc.  
7500 Jefferson St. NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Walgreens – SWC of San Pedro & Paseo Del Norte, 6200 Paseo Del Norte  
Grading & Drainage Plan - Engineer Stamp dated 02-15-05 (D18-D14A)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 03-24-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology and prior to release of Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

Additionally, this project requires a National Pollutant Discharge Elimination System (NPDES) Permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

If you have any other questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I.

Associate Engineer, Planning Department  
Development and Building Services

C: Chuck Caruso, DMD  
file

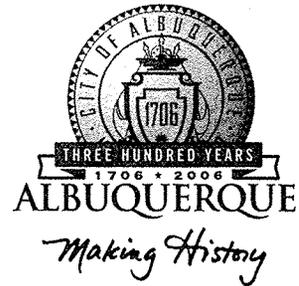
P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



March 17, 2005

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard I  
Albuquerque, NM 87109

**Re: Walgreens (SWC) San Pedro & Paseo del Norte, 6200 Paseo Del Norte NE  
Drainage and Grading Plan - Engineer's Stamp dated 02-15-05 (D18-D14A)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 01-04-05, the above referenced report is approved for Rough Grading. Prior to Building Permit approval, please address the following comments:

P.O. Box 1293

Albuquerque

New Mexico 87103

- Clarify where the new storm drain inlet located in Basin P2 will discharge. The Drainage Management Plan states that it will discharge into the existing storm drain located at the southwest corner of the site, which is in conflict with the note that states to remove the existing storm drain, inlet and headwall.
- Verify that the proposed retaining wall at the southeast corner of the site does not conflict with the existing storm drain trench prism.

If you have any questions, you can contact me at 924-3986.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 6, 2003

David Thompson, PE  
Thompson Engineering Consultants, Inc.  
PO Box 15954  
Rio Rancho, NM 87174

**RE: McDonald's / Conway Oil Site Grading and Drainage Plan (D-18/D14A)  
Engineer's Stamp Dated January 6, 2003**

Dear Mr. Thompson:

The above referenced grading and drainage plan received January 6, 2003 is approved for Grading Permit, Paving Permit, and Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, please include information about the type, size, and outfall pipe of the inlet along with the required Engineer's Certification per the Development Process Manual.

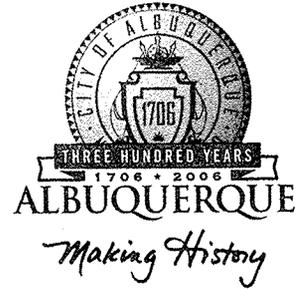
If you have any questions, please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 19, 2005

Jeffrey T. Wooten, P.E.  
7500 Jefferson NE, Courtyard I  
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Walgreens SWC , [D-18 / D14A]  
6200 Paseo Del Norte NE  
Engineer's Stamp Dated 08/19/05

Dear Mr. Wooten:

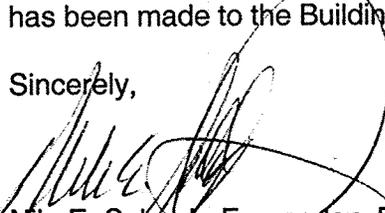
P.O. Box 1293

The TCL / Letter of Certification submitted on August 19, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

www.cabq.gov

c: Engineer  
Hydrology file  
CO Clerk

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

www.bhinc.com

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

*Also,  
See Page 2 of 3.*

October 14, 2004

Mr. George Rainhart  
George Rainhart Architect & Associates  
2325 San Pedro NE  
Suite 2B  
Albuquerque, NM 87110

Re: Proposal for Civil Engineering Services – Walgreen's at San Pedro & Paseo Del Norte

Dear Mr. Rainhart:

We are pleased to offer this proposal for civil engineering services for the referenced project. The project consists of the Walgreen's pharmacy and associated sitework. The site is located on the southwest corner of San Pedro and Paseo Del Norte.

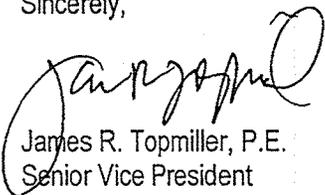
This proposal represents our best effort to anticipate the civil engineering requirements for the project at this time. If conditions during the design effort vary from the assumptions contained in this proposal, we reserve the right to renegotiate the appropriate portions of this proposal.

If you have questions, please call me or Bruce Stidworthy.

If this proposal is acceptable, please sign in the space provided below and in the General Provisions agreement. This contract letter, the General Provisions, the Scope of Services and Fees, and the fee schedule constitute the contract.

Please return the signed original to this office and keep the enclosed copy for your records. This proposal is subject to renegotiation if not accepted within thirty (30) days. If any portion of this scope extends in duration for more than one year from the date of acceptance, the contract is subject to renegotiation. Time and materials items indicated, if any, will be computed in accordance with the Fee Schedule attached. New Mexico Gross Receipts Tax will be added to all invoices.

Sincerely,



James R. Topmiller, P.E.  
Senior Vice President  
Community Development and Planning Group

ACCEPTED

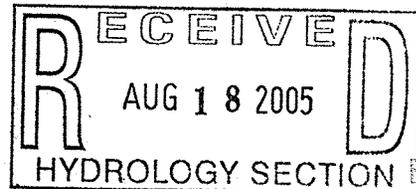
BY 

TITLE PRESIDENT

DATE 10/18/04

JRT/cc  
Enclosure

cc: Bruce Stidworthy, Bohannon Huston, Inc.



*Received*  
10/15/04