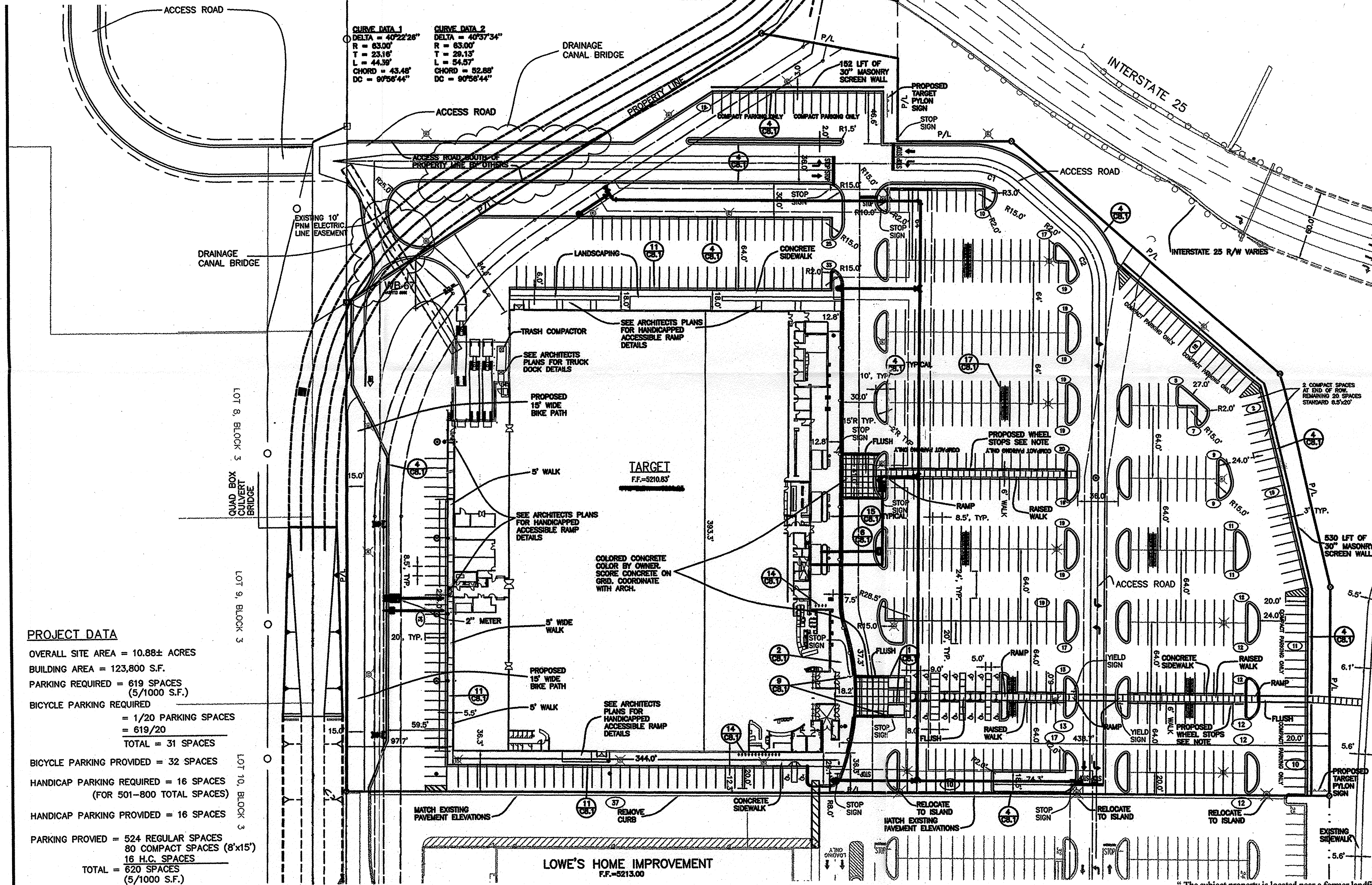


I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08/20/2018 (HEREINAFTER REFERRED TO AS "THE PLAN"). I, BRUCE J. STIDWORTHY, PERSONALLY VISITED THE PROJECT SITE ON 02-05-2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED FOR THE RECORD OF THE PROJECT AND FOR THE RECORD OF THE CITY OF TAMPA. THE FOLLOWING DEFICIENCIES SHALL BE CORRECTED PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY.

- Bruce J. Stidworthy 9/2/05
BRUCE J. STIDWORTHY, NMPE 14523 DATE



OVERALL SITE AREA = 10.88± ACRES
BUILDING AREA = 123,800 S.F.
PARKING REQUIRED = 619 SPACES
(5/1000 S.F.)
BICYCLE PARKING REQUIRED
= 1/20 PARKING SPACES
= 619/20
TOTAL = 31 SPACES
BICYCLE PARKING PROVIDED = 32 SPACES
HANDICAP PARKING REQUIRED = 16 SPACES
(FOR 501-800 TOTAL SPACES)
HANDICAP PARKING PROVIDED = 16 SPACES
PARKING PROVIDED = 524 REGULAR SPACES
80 COMPACT SPACES (8'x
16 H.C. SPACES
TOTAL = 620 SPACES
(5/1000 S.F.)

WADE--TRIM (THE "CONSULTANT") REPRESENTS AND CERTIFIES TO TARGET THAT, IN THE CONSULTANT'S PROFESSIONAL OPINION, THE ATTACHED PLANS COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG STANDARDS), AS AMENDED, AND WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.

* Environmental Health, if necessary

1. ALL DIMENSIONS SHOWN TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL PAVEMENT MARKINGS 4" WHITE, U.N.O. EXCEPT HANDICAPPED PARKING.
3. MARKINGS FOR COMPACT PARKING SPACES SHALL BE LABELED AS SHOWN ON PLANS.
4. FOR DIMENSIONS OF THE BUILDING SEE ARCHITECTURAL PLANS.
5. THE CONTRACTOR SHALL PLACE WHEEL STOPS WITHIN EACH PARKING SPACE ALONG THE SIDEWALK WHICH ACCESSES PASEO DEL NORTE.
6. STOP SIGNS PER NMDOT SPECS.
7. LIGHT POLES AND FIXTURES SHALL BE 30ft MAXIMUM HEIGHT AND WITH FULL CUTOFF FIXTURES. SEE LIGHTING PLAN, SHEET C10.0 FOR ADDITIONAL DETAILS.
8. A CROSS ACCESS AGREEMENT BETWEEN THE TRACTS WILL BE PROVIDED. THIS CROSS ACCESS AGREEMENT WILL BE IN THE FORM OF AN OPERATION AND EASEMENT AGREEMENT (OEA) BETWEEN LOWE'S AND TARGET. THIS DOCUMENT WILL, IN PART, ALLOW CROSS ACCESS AND IT WILL BE RECORDED AT THE COUNTY. THIS DOCUMENT IS TYPICALLY NOT EXECUTED BY BOTH PARTIES UNTIL THE LAND TRANSACTION TAKES PLACE. UNTIL THAT TIME, TARGET WOULD HAVE NO NEED TO EXECUTE SUCH A DOCUMENT.
9. REFER TO UTILITY PLAN, ARCHITECTURAL DRAWINGS AND ENVIRONMENTAL DRAWINGS PREPARED BY KLEINFELDER ON THE METHANE VENTING SYSTEM.
10. REFER TO SHEET 4.1 FOR SEDIMENT AND EROSION CONTROL DETAILS.

REVIEWED BY:

Development Manager _____ /
 ___ Revise and Resubmit ___ Not Reviewed ___ Approved as Noted ___ Approved

Project Architect _____ /
 ___ Revise and Resubmit ___ Not Reviewed ___ Approved as Noted ___ Approved


Project Engineer (M) _____ /
 ___ Revise and Resubmit ___ Not Reviewed ___ Approved as Noted ___ Approved

Project Engineer (E) _____ /
 ___ Revise and Resubmit ___ Not Reviewed ___ Approved as Noted ___ Approved

Project Engineer (S) _____ /
 ___ Revise and Resubmit ___ Not Reviewed ___ Approved as Noted ___ Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

ALBUQUERQUE
BLDG & SAFETY
FEB - 8 2005
U.B.C.
PLAN CHECK
SECTION



Wade-Trim
 1100 Superior Avenue, Suite 1410
 Cleveland, OH 44114
 216.393.0300
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TARGET — NE ALBUQUERQUE
SITE PLAN FOR BUILDING PERMIT
PROJECT # 1001946

| | | | | |
|----------------------------|------------------------|-----------------------|--------------|-----------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | LAST DESIGN UPDATE | MO/DAY/YR | MO/DAY/YR |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| CITY PROJECT NO. XXXXXX | MAP NO. D-18 | SHEET | OF 8.0 17 | |

“The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the *Interim Guidelines for Development within City Designated Landfill Buffer Zones*) shall be consulted prior to development of the site”

AEHD Engineer Approval.  10/26/04 FRA AEHD 04-22-05

[illegible]

DRAINAGE CERTIFICATION

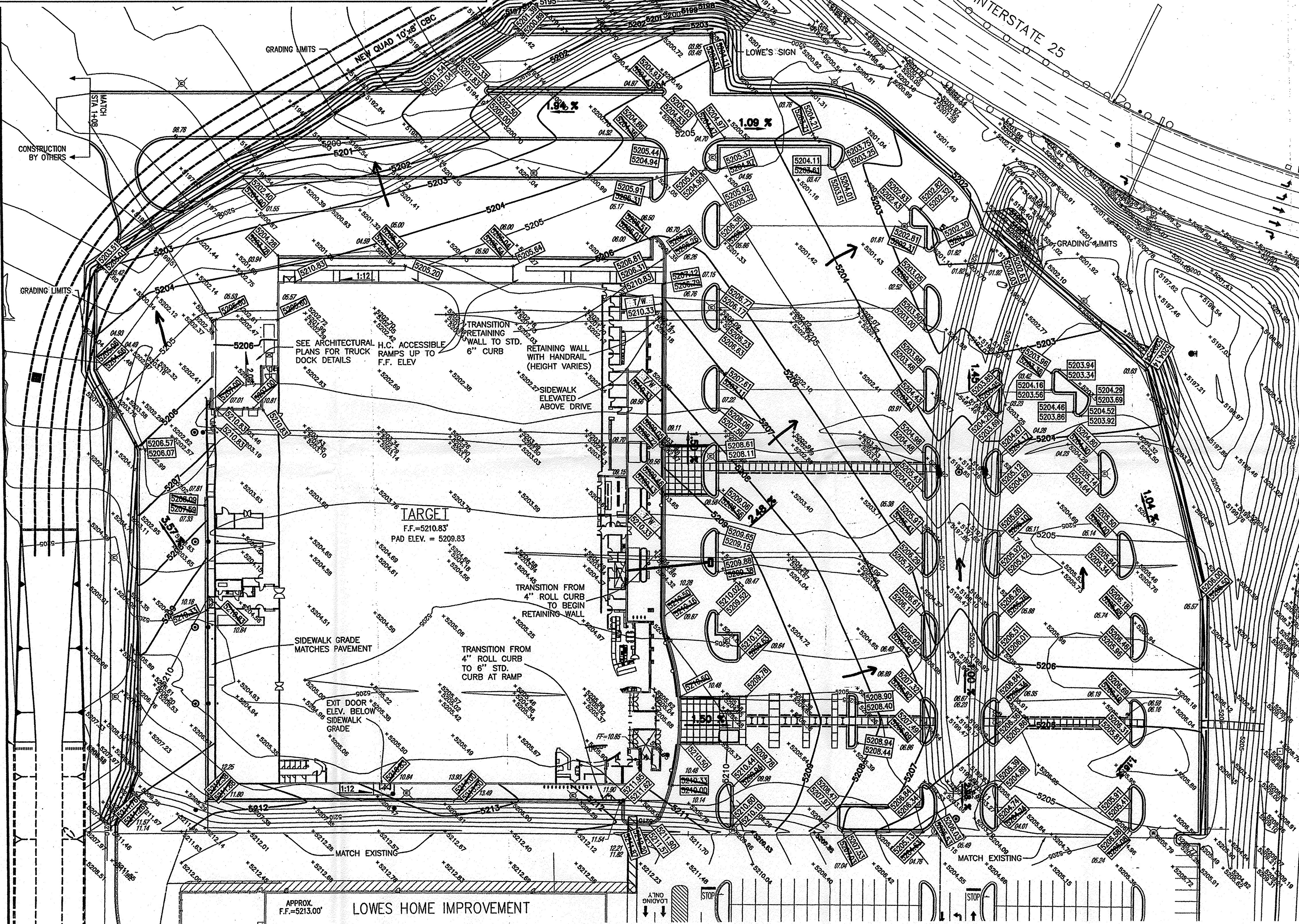
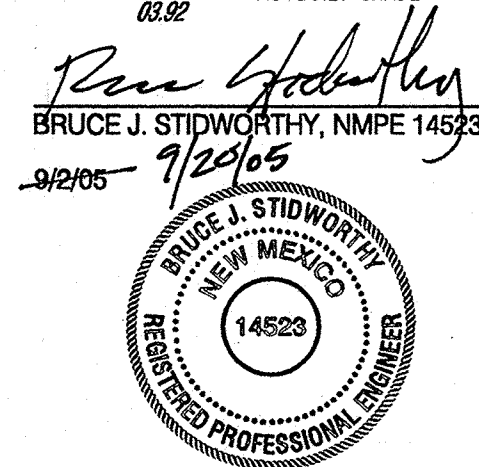
I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/23/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/20/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

LEGEND

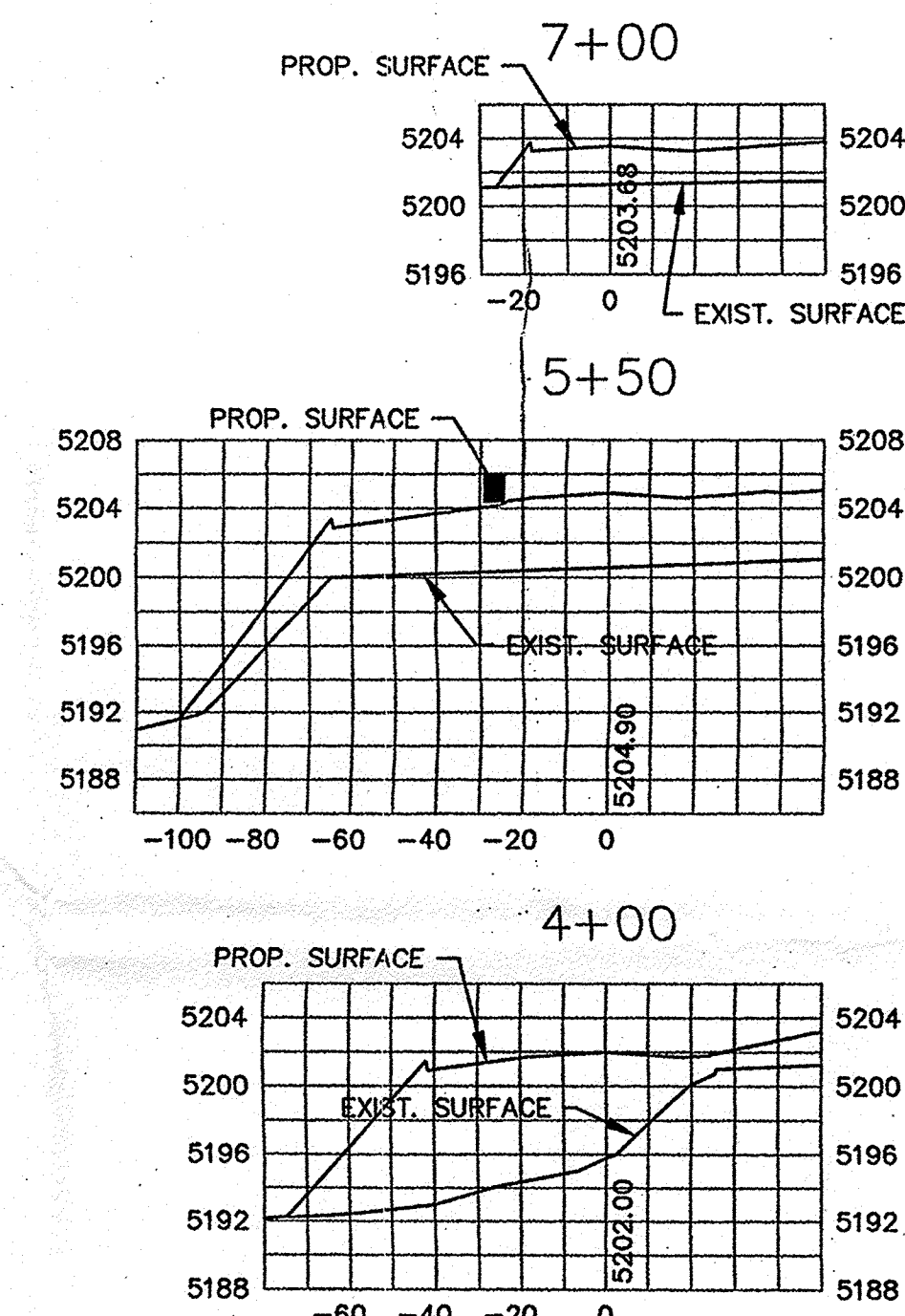
5203.95 DESIGN GRADE

5204.05 AS-BUILT GRADE



LEGEND

| DISCRPTION | EXISTING | PROPOSED |
|------------------------|-----------|----------|
| STORM MANHOLE | | ⊙ |
| SPOT ELEVATIONS | x 1234.56 | 1234.56 |
| 1' INTERVAL CONTOUR | 1064 | 1064 |
| 5' INTERVAL CONTOUR | 1064 | 1065 |
| LIMITS OF CONSTRUCTION | | --- |
| LIMITS OF GRADING | | --- |
| CONCRETE CURB | | U |
| LIGHTPOLE | ⊗ | ⊗ |
| BUILDING | ▢ | ▢ |
| BENCH MARK | ⊕ | ⊕ |

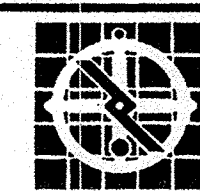


TARGET

REVIEWED BY:

| | | | | |
|----------------------|---------------------|--------------|-------------------|----------|
| Development Manager | Revise and Resubmit | Not Reviewed | Approved as Noted | Approved |
| Project Architect | Revise and Resubmit | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (M) | Revise and Resubmit | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (E) | Revise and Resubmit | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (S) | Revise and Resubmit | Not Reviewed | Approved as Noted | Approved |

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CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT GROUP

TARGET - NE ALBUQUERQUE

GRADING PLAN

| | | | |
|-------------------------|------------------------|-----------|-----------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | MO/DAY/YR | MO/DAY/YR |
| CITY PROJECT NO. XXXXXX | MAP NO. D-18 | SHEET 3.0 | OF 17 |

NOTE:
LOCATE LOWES ELECTRIC LINE THAT IS SERVICING THEIR SIGN ALONG TARGET'S WEST PROPERTY LINE AND RELOCATE AS NECESSARY.

FOR GRADING AND COMPACTION SPECIFICATIONS SEE DRAFT GEOTECHNICAL REPORT PREPARED BY KLEINFELDER AND DATED SEPTEMBER 29, 2003, WHICH SUPERSEDES THE CITY OF ALBUQUERQUE.

EXISTING TOPOGRAPHY CONDITIONS

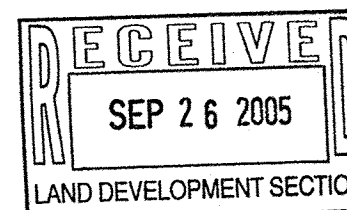
THE EXISTING TOPOGRAPHY CONSISTS OF A SITE THAT IS GRADED AT ABOUT A 1% SLOPE FROM EAST TO WEST. THERE IS A 6 FOOT DIFFERENCE IN ELEVATION BETWEEN THE LOWES AND TARGET SITE AT THE EAST PROPERTY LINE. A PAVED DRAINAGE SWALE CURRENTLY SERVES THE STORM RUNOFF FROM LOWES AND RUNS ACROSS TARGET'S PROPERTY FROM EAST TO WEST.

PROPOSED GRADING

THE PROPOSED GRADING PLAN CONSISTS OF ELEVATING THE SITE BY IMPORTING FILL. THE MAXIMUM GRADES ACROSS THE PARKING LOT ARE 3% AND THE MINIMUM GRADES ARE 1%. HOWEVER, IN ORDER TO MATCH LOWES SITE ALONG THE EAST PROPERTY LINE A 4% MAXIMUM GRADE IS USED. THE DRAINAGE SWALE IN THE NORTH PART OF THE SITE WILL BE ENCLOSED AND A 36" CONDUIT WILL BE INSTALLED TO HANDLE THE STORM RUNOFF FROM LOWES AND TARGET. ALL OF THE LOW POINTS OF THE PARKING AREA DRAIN TO CATCH BASINS THAT DRAIN TO EITHER THE CULVERT TO THE NORTHWEST OF THE SITE OR THE LARGE BOX CULVERT TO THE SOUTH OF THE SITE.

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING THE WESTERLY PORTION OF TRACT A-1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1 AND A-2, LOS ANGELES CENTER RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 20, 1997 IN VOLUME 97C, FOLIO 198, AS DOCUMENT NUMBER 97062853 AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO GRID BEARINGS (CENTRAL ZONE NAD 1927) AND GROUND DISTANCES AS FOLLOWS:



DRAINAGE CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/23/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/20/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY, OCCUPANCY.

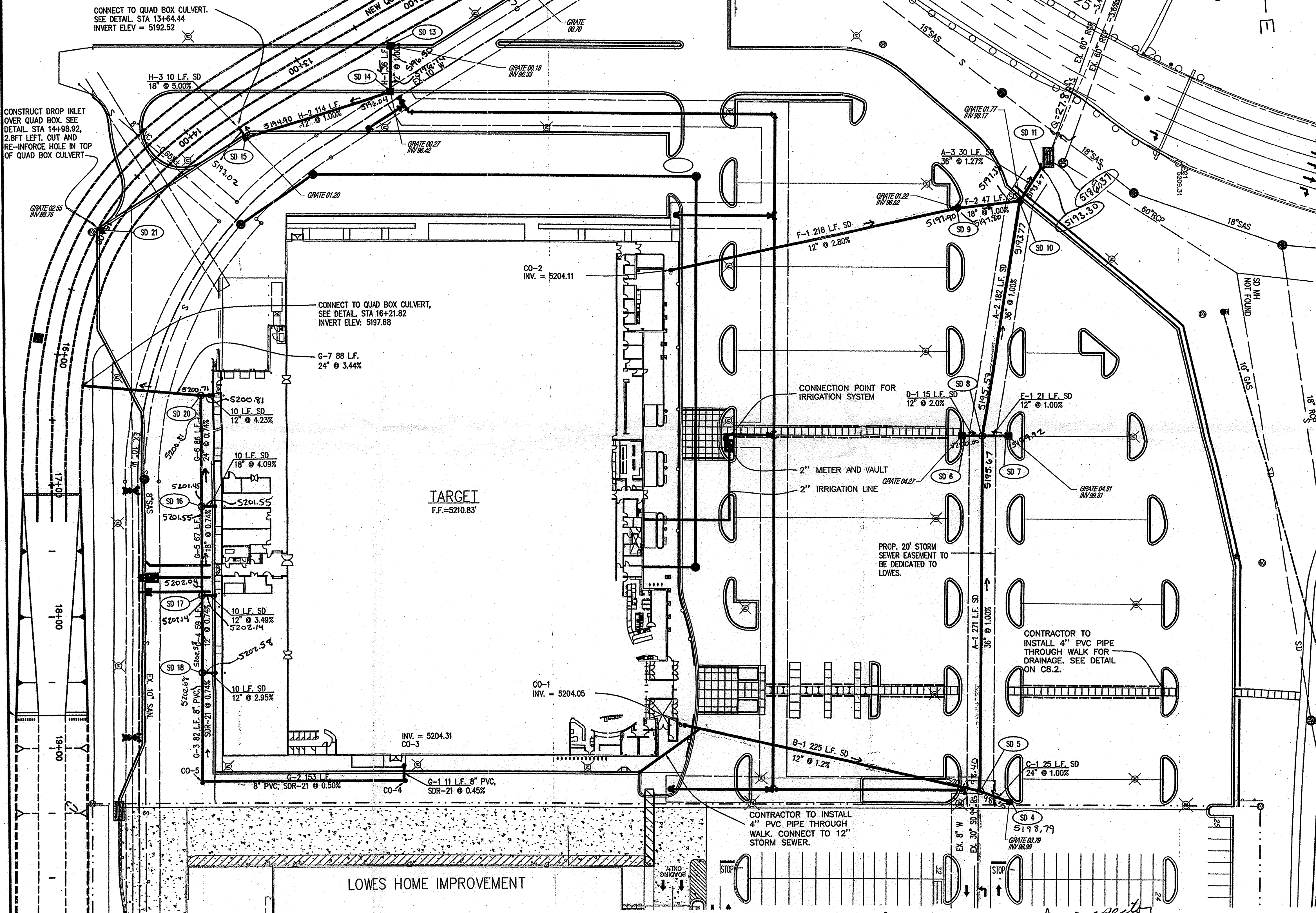
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LEGEND

5203.95 DESIGN GRADE

5206.95 AS-BUILT GRADE

BRUCE J. STIDWORTHY, NMPE 14523
9/20/05



STORM DRAIN STRUCTURE TABLE

| | | |
|---|--|--|
| SD 4 SD INLET DOUBLE "D" RIM = 5204.10 24" INV. S. = 5198.79 | SD 10 SD INLET DOUBLE "C" RIM = 5201.90 36" INV. E. = 5193.77 18" INV. S. = 5197.34 36" INV. NW. = 5193.67 | SD 16 SD MANHOLE RIM = 5207.75 24" INV. W. = 5201.45 18" INV. E. = 5201.55 18" INV. NW. = 5201.55 |
| SD 5 SD MANHOLE RIM = 5205.00 30" INV. E. = 5199.83 36" INV. W. = 5198.40 12" INV. S. = 5201.30 24" INV. N. = 5198.55 | SD 11 END SECTION EX 60" INV NW = 5186.37 36" INV. SE. = 5193.30 | SD 17 SD MANHOLE RIM = 5210.00 18" INV. W. = 5202.04 12" INV. E. = 5202.14 12" INV. N. = 5202.14 |
| SD 6 SD INLET DOUBLE "C" RIM = 5204.50 12" INV. N. = 5200.00 | SD 12 SD INLET SINGLE "C" RIM = 5200.89 12" INV. SW. = 5188.70 | SD 18 SD MANHOLE RIM = 5210.25 12" INV. W. = 5202.58 8" INV. E. = 5202.68 12" INV. S. = 5202.58 |
| SD 7 SD INLET SINGLE "C" RIM = 5204.50 12" INV. S. = 5199.92 | SD 13 SD INLET SINGLE "C" RIM = 5200.50 12" INV. E. = 5196.50 | SD 20 SD MANHOLE RIM = 5206.50 12" INV. N. = 5200.81 24" INV. E. = 5200.81 24" INV. S. = 5200.71 |
| SD 8 SD MANHOLE RIM = 5204.70 36" INV. E. = 5195.69 36" INV. W. = 5195.59 12" INV. S. = 5199.68 12" INV. N. = 5199.72 | SD 14 SD INLET SINGLE "C" RIM = 5200.90 12" INV. W. = 5196.14 12" INV. SE. = 5196.04 | SD 21 SD INLET SINGLE "C" RIM = 5203.00 |
| SD 9 SD INLET SINGLE "C" RIM = 5201.70 18" INV. N. = 5197.80 12" INV. S. = 5197.90 | SD 15 SD INLET DOUBLE "C" RIM = 5201.90 12" INV. NW. = 5194.90 18" INV. SW. = 5193.02 | |

LEGEND

| DISCUPTION | EXISTING | PROPOSED |
|------------------------|----------|----------|
| LIMITS OF CONSTRUCTION | | |
| SANITARY | | 8" SAN |
| SANITARY CLEANOUT | | |
| SANITARY MANHOLE | | 18" STM |
| STORM SEWER | | |
| ROOF DRAIN CLEANOUT | | |
| STORM MANHOLE | | |
| GRATE INLET | | |
| LIGHTPOLE | | |
| CURB GRATE | | |
| WATER/GAS VALVE | | |
| HYDRANT | | |
| METER PIT | | |
| UNDERGROUND WATER LINE | | EX 8" WM |
| BUILDING | | |
| CONCRETE CURB | | |
| CURB STOP | | |

TARGET

REVIEWED BY:

| | | | |
|----------------------|--------------|-------------------|----------|
| Development Manager | Not Reviewed | Approved as Noted | Approved |
| Project Architect | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (M) | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (E) | Not Reviewed | Approved as Noted | Approved |
| Project Engineer (S) | Not Reviewed | Approved as Noted | Approved |

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TARGET - NE ALBUQUERQUE
STORM WATER DRAINAGE PLAN

| | | | |
|----------------------------|------------------------|--------------|-----------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | MO/DAY/YR | MO/DAY/YR |
| | | | |
| | | | |
| | | | |
| | | | |
| CITY PROJECT NO. XXXXXX | MAP NO. D-18 | SHEET 7.0 | OF 17 |

Approve for SD 19
Need another set of plans for inspection
Need inspector's approval before PO
Need both of these sheets
in BP set

NOTE:
1. THIS PLAN FOR STORM DRAINAGE ONLY.
2. ALL STORM SEWER PIPE SHALL BE RCP, CLASS II, WALL B, EXCEPT WHERE NOTED.
3. ALL STRUCTURES 6" U.N.O.