

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 15, 1997

Roni G. Booth
Huitt-Zollars Inc.
6501 Americas Parkway NE Suite #550
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR AN ADDITION TO THE AMBERLY SUITE HOTEL
(D18-D17) ENGINEER'S STAMP DATED 12/8/97

Dear Mr. Booth:

Based on the information provided on your December 8, 1997 submittal, the above referenced site is approved for Building permit.

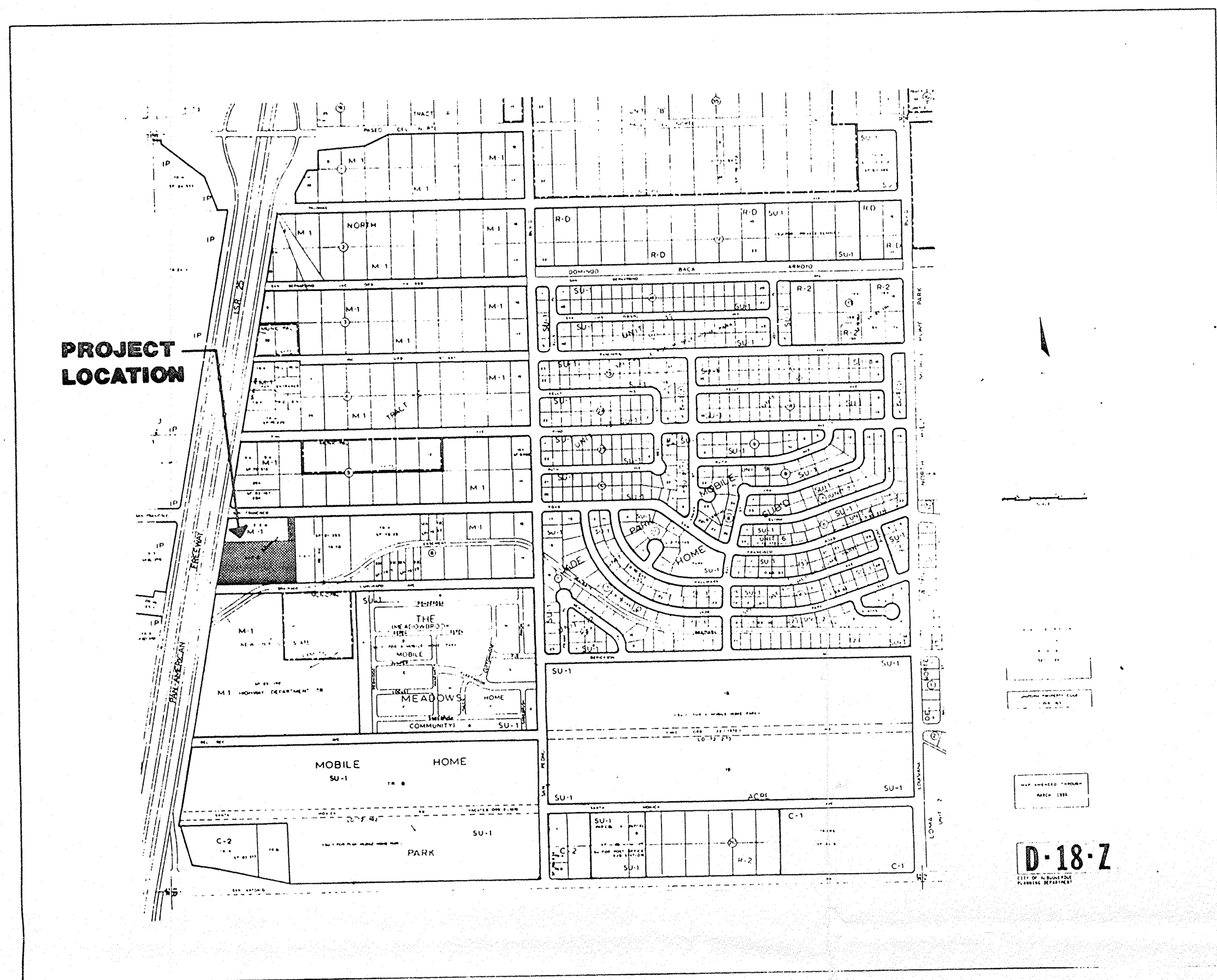
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 924-3986.

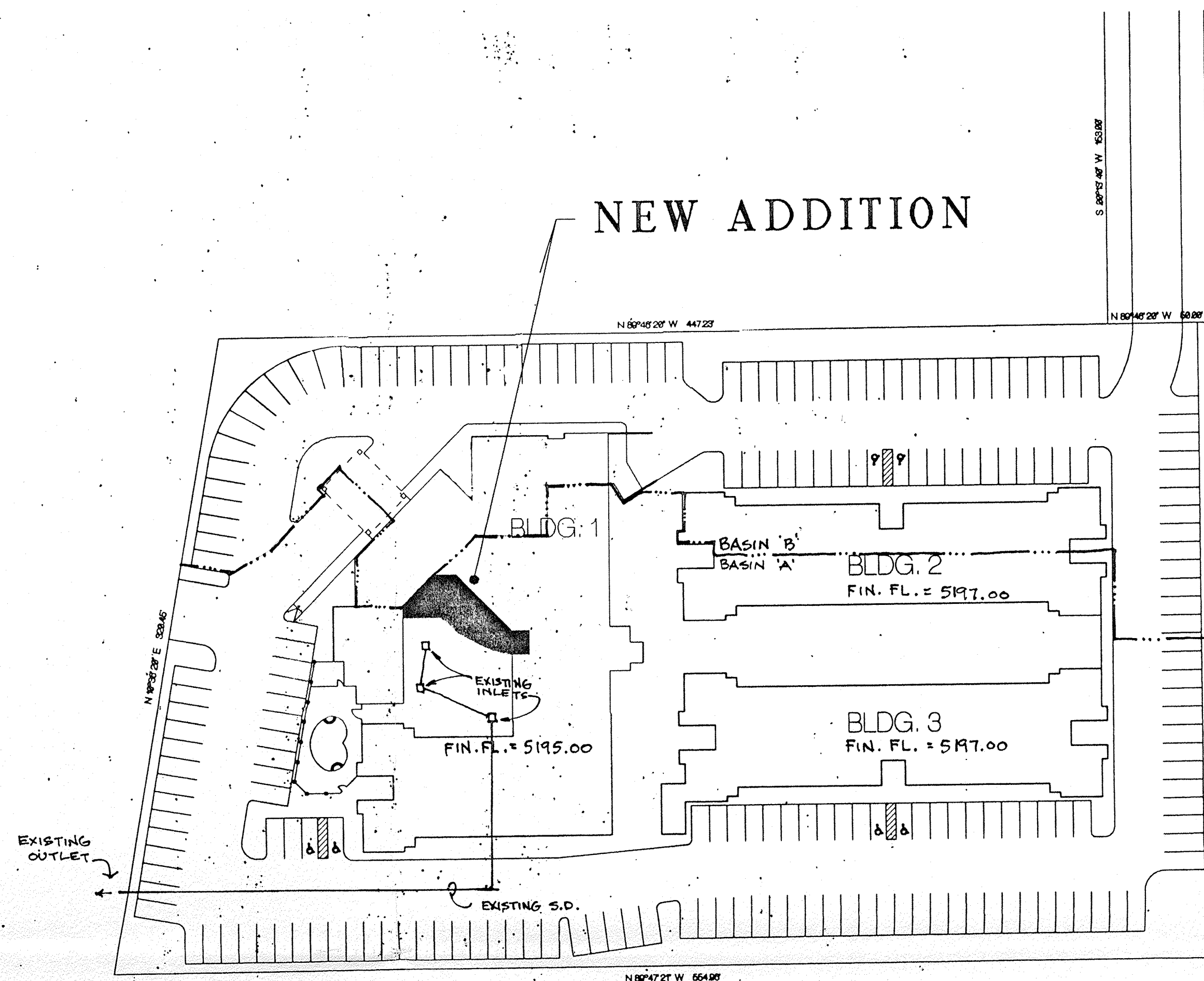
C: Andrew Garcia
File

Sincerely

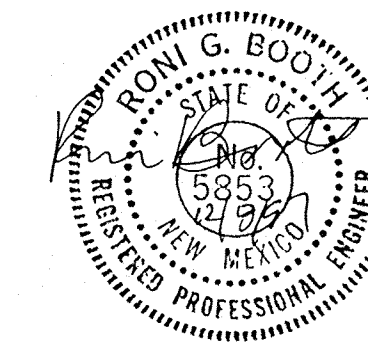
Bernie J. Montoya CE
Associate Engineer



PROJECT LOCATION



0 50 100 200 SITE PLAN
1" = 50' - 0"



FIRE PROTECTION

SUITE IDENTIFICATION
Suite identification shall be installed prior to final inspection.

EXIT LIGHTS
Exit lights and emergency lighting shall be tied into a emergency generator or a battery backup system.

SPRINKLER MODIFICATION
If the number of sprinklers to be modified exceeds 10, the Contractor shall submit to the Fire Department a shop drawing showing modifications.

FIRE EXTINGUISHERS
Fire extinguishers shall be tagged by a licensed distributor.

GENERAL NOTES

DEMOLITION PLAN:
The demolition drawings are provided for general reference only. It is the responsibility of the contractor to visit the site and familiarize himself with the existing conditions under which the work shall be performed. In addition, these drawings may not indicate all construction and equipment which may need to be demolished to satisfy the new construction requirements.

ADA DISCLAIMER

WARNING/DISCLAIMER
Architects, Contractors, and Building Owners must comply with the Americans with Disabilities Act (ADA) and the Americans with Disabilities Architectural Guidelines (ADAAG). The Code Administration Division for the City of Albuquerque does not review whether plans and specifications comply with the ADA. The issuance of a building permit and compliance with the codes does not insure compliance with the ADA or ADAAG. The Designer, Building Owner, and Contractor may want to consult a lawyer concerning the ADA or ADAAG. I am the Owner, Agent or Representative of the Building Owner or Contractor. I have read and understand this warning/disclaimer.

DATE 9/15/97

CODE DATA

	Existing	Addition	Total
Construction Type	V-1	V-1	
Occupancy Group	R-1	R-1	
Allowable			10,500
Over one story			10,500
Separation three sides			
55' to North property line			
= 35X 2.5% = 87.5%			18,375
Total Allowable Area			39,375
Actual Area North of			
Area Separation Wall	26,475	1,350	27,825
Actual Area South of			
Area Separation Wall	15,838	0	15,838

DESIGN DATA

PROPERTY ADDRESS:

Amberly Suite Hotel
7620 Pan American NE
Albuquerque, NM 87109

EXISTING ZONE M-1 ----- NO CHANGE

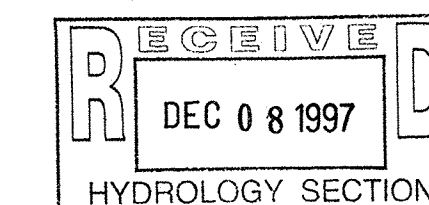
SOIL BEARING PRESSURE:	1500 PSF
CONCRETE:	3000 PSI
REINFORCING BARS:	GRADE 60
WOOD FRAMING:	#2 WW
ROOF DECK:	GRADE MW

DRAINAGE CALCULATION FOR
AMBERLY SUITE HOTEL
7620 PAN AMERICAN N.E.
ALBUQUERQUE, NEW MEXICO 87109

Precipitation Zone = 3	Existing	Proposed
100-yr Storm Depth, P360 = 2.60 in.	Area, Ac	Area, Ac
Land Treatment		
Basin A (courtyard)		
A	0.0000	0.0000
B	0.0136	0.0000
C	0.0000	0.0000
D	0.01200	0.0256
Total	0.0256	0.0256
Excess Precipitation, E:	0.92(0.0136/0.0256) +2.36(0.0120/0.0256) = 1.60 in.	2.36 in
V100	No on-site ponds per original drainage report by Espey, Huston & Assoc., Inc. December 12, 1984 (D18/D17)	
Q100	0.0136(2.6)+0.012(5.02) = 0.0956 CFS	0.0256(5.02) = 0.1285 CFS
Q10, 0.667(Q100)	0.0638 CFS	0.0857 CFS
Increase Q100	0.0329 CFS	
Increase Q10	0.0220 CFS	

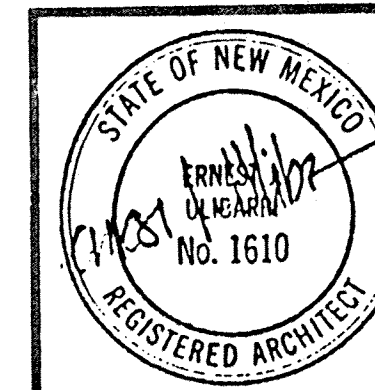
As can be seen, the increase is very small. Also per the Espey, Huston, & Assoc., Inc. drainage report, the drainage structures are capable of handling the small increase in the runoff.

Roni G. Booth, PE
#5853



INDEX OF DRAWINGS

T1: TITLE SHEET
S1: FRAMING PLAN
A1: DEMOLITION PLAN
A2: FLOOR PLAN
A3: REFLECTED CEILING PLAN
A4: ELEVATIONS / SECTIONS
A5: ELEVATIONS / SECTIONS
A6: FINISH PLAN
A7: DETAILS
A8: DETAILS
FS1: KITCHEN EQUIPMENT PLAN
FS2: KITCHEN MECHANICAL PLAN
FS3: KITCHEN ELEVATIONS & DETAILS
FS4: KITCHEN/BAR ELECTRICAL PLAN
E1: ELECTRICAL PLAN
H1: HANDICAP DETAILS



consultant

LAKS ENTERPRISES
Amberly Suite Hotel

HUITT-ZOLIARS
Huitt-Zoliars, Inc.

architecture / engineering / planning

121 Tijeras ave. n.e.
suite 2000
albuquerque
new mexico
87102

505-242-1552

file no. 9724T1FCD
plot scale: 1" = 50'-0"

date 9/15/97

project no. 9724

sheet no.

C • 1

REVISED: 9/25/97