

# CITY OF ALBUQUERQUE



December 15, 2008

Scott McGee, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

**Re: Security Self Storage PH II, 6801 Palomas Ave. NE**  
**Request of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 1/08/08 (D18/D023)**  
**Certification dated 12-12-08**

Mr. McGee,

PO Box 1293

Based upon the information provided in your submittal received 12-12-08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: file  
CO Clerk



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 6, 1992

Christopher L. Weiss, P.E.  
Weiss-Hines Engineering, Inc.  
1100 Alvarado, NE  
Albuquerque, New Mexico 87110

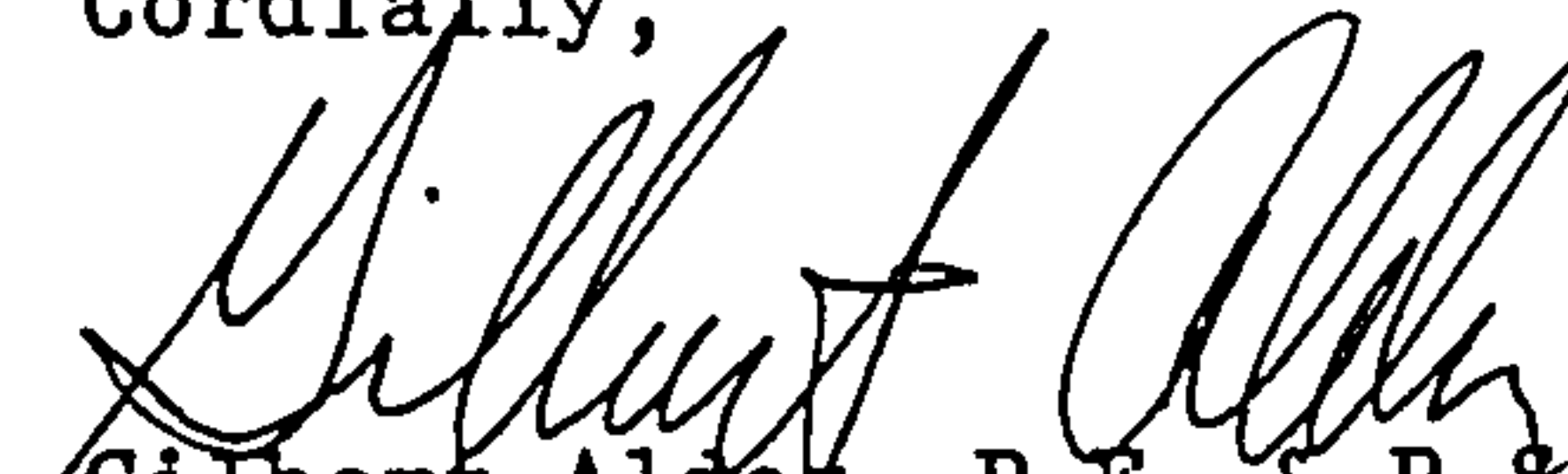
RE: DRAINAGE PLAN FOR SECURITY SELF STORAGE COMPLEX  
(D-18/D23) ENGINEER'S STAMP DATED NOVEMBER 20, 1991

Dear Mr. Weiss:

Based on the information provided on the referenced submittal received December 16, 1991, the plan is approved for Certificate of Occupancy Release.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,

  
Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

GA  
wp+1977

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 1990

Christopher L. Weiss  
Weiss-Hines Engineering, Inc.  
1100 Alvarado, NE  
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR SECURITY SELF STORAGE COMPLEX,  
(D-18/D23), ENGINEER'S STAMP DATED SEPTEMBER 26, 1990

Dear Mr. Weiss:

Based on the information received September 17, 1990 the referenced plan is approved by Hydrology Development for Building Permit, Preliminary and Final Plat.

Please be advised that prior to Building Permit release, the work order drawings must be approved by DRC.

Prior to signing of the Final Plat, your financial guarantees must be in place for the work order items.

Prior to Certificate of Occupancy Release, a Engineer's Certification will be required.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially

Gilbert Aldaz, P.E. & L.S.  
City/County Floodplain Administrator

xc: Dave Carlson

GA  
(WP+1977)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

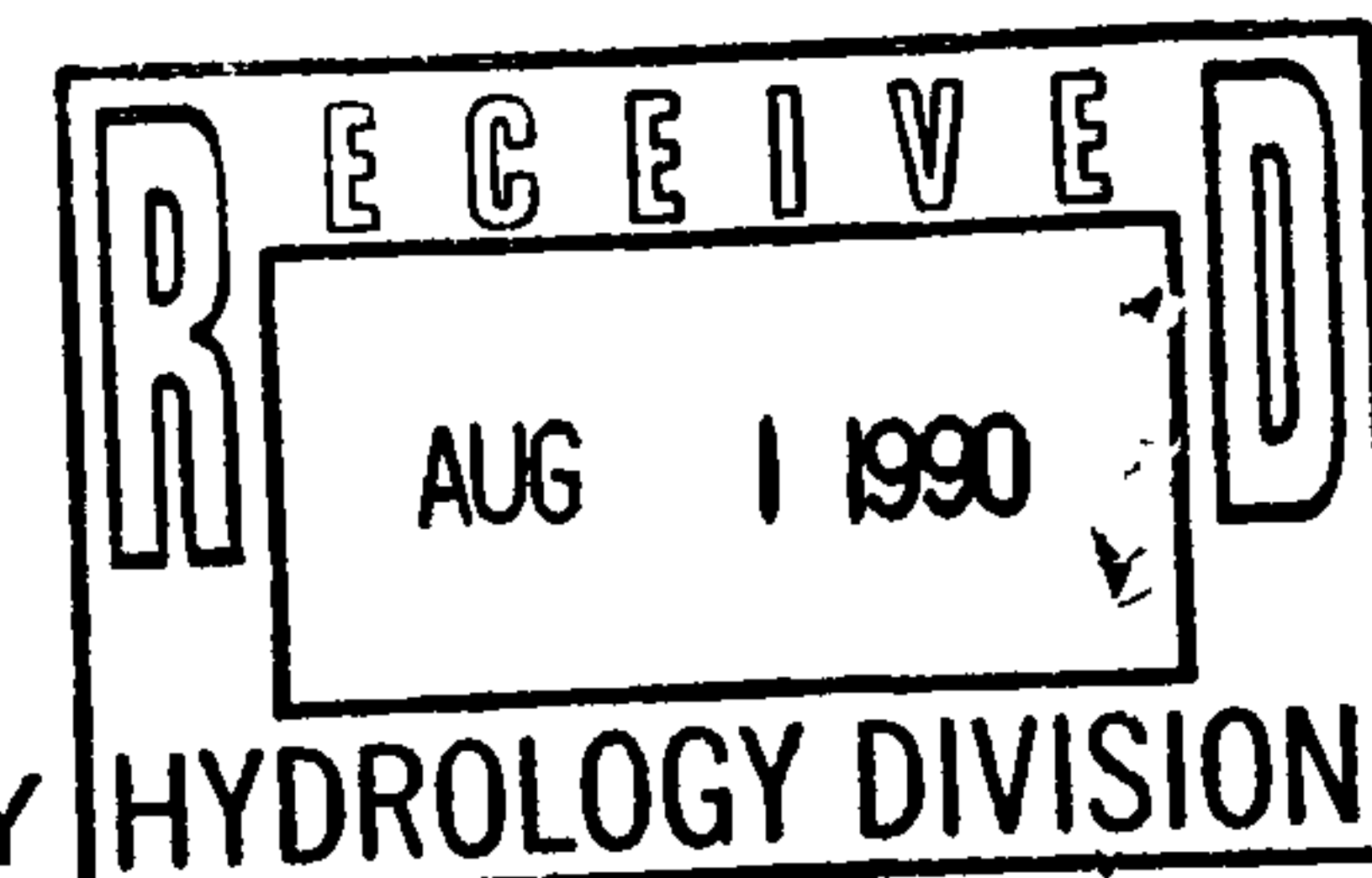
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## PALOMAS AVENUE N.E. FLOW ANALYSIS

## DRAINAGE BASIN AREA

Area of Basin  $= (1900)(500) + (250)(350) + (200)(400) + (200)(400)(0.5) =$   
 $= 1,157,500 \text{ sq. ft.} = 26.5 \text{ Acre}$

## PALOMAS CURB &amp; GUTTER CARRYING CAPACITY



Q (1/2 Street Section) = 20 cfs (see Conceptual Drainage/Grading Plan)

## DOWNSTREAM ANALYSIS

CAPACITY OF BAR DITCH BETWEEN END OF PALOMAS AVE C&G AND SAN PEDRO AVE.

Using Manning's Equation for a triangular section with  $S = 2\%$ ,  $N = 0.030$ ,  $W = 20'$ , and  $D = 1.5'$  :  
 $Q = 130 \text{ cfs}$  at  $V = 6'/\text{sec.}$

CAPACITY OF ARROYO BETWEEN SAN PEDRO AVE. AND EXISTING FLOOD ZONE

Using Manning's for a trapezoidal section with  $S = 4\%$ ,  $N = 0.025$ ,  $W = 30'$ ,  $SS = 5:1$ , and  $D = 1'$  :  
 $Q = 380 \text{ cfs}$  at  $V = 11'/\text{sec.}$

DISCUSSION

Flows in the bar ditch accumulate in a low point adjacent to the Southeast corner of the intersection of Palomas Ave. and San Pedro Ave. N.E., and then run across San Pedro Ave. in a westerly direction. There are no improvements in place (e.g. dip section) to direct these flows across San Pedro. After crossing San Pedro, the flows continue westerly, falling approximately 3' off the San Pedro Ave. shoulder and into an arroyo located in the Palomas Ave. ROW. There is evidence of existing erosion problems at the point where the flows drop into the arroyo - the arroyo has cut back to a vertical face adjacent to the San Pedro shoulder. Flows continue in the arroyo westerly until they enter the existing Flood Zone east of Interstate 25. This arroyo generally follows the Palomas Ave. ROW, but leaves the ROW and crosses into Lots 8-12 of Block 1, Tract A, Unit A. of the North Albuquerque Acres Subdivision.

## CONCLUSIONS

Development of the Security Self Storage site proposes to discharge a peak flow rate of <sup>To High</sup> 2.6 cfs into the existing curb & gutter located in Palomas Ave. (see Conceptual Drainage & Grading Plan). Existing downstream capacity is sufficient to carry these flows (see calculations above). While it is true that the existing conditions downstream of the curb & gutter are not ideal (see Discussion above), it is also true that the 2.6 cfs flows represent a 50% decrease in peak flow rate to the curb & gutter from the existing undeveloped flows (1/2 of 11.1 cfs that flows to San Pedro Ave). The net result of this development is to reduce the peak flow rate downstream of the site by 50% and to maintain this flow rate for approximately 40 minutes.





# City of Albuquerque

P.O. BOX 1293 : ALBUQUERQUE, NEW MEXICO 87103

FEB 27 1992

February 24, 1992

## CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. John E. Mechenbier  
P.O. Box 90938  
Albuquerque, NM 87199-0938

RE: PROJECT NO. 4204.90, SECURITY SELF STORAGE, (MAP NO. D-18)

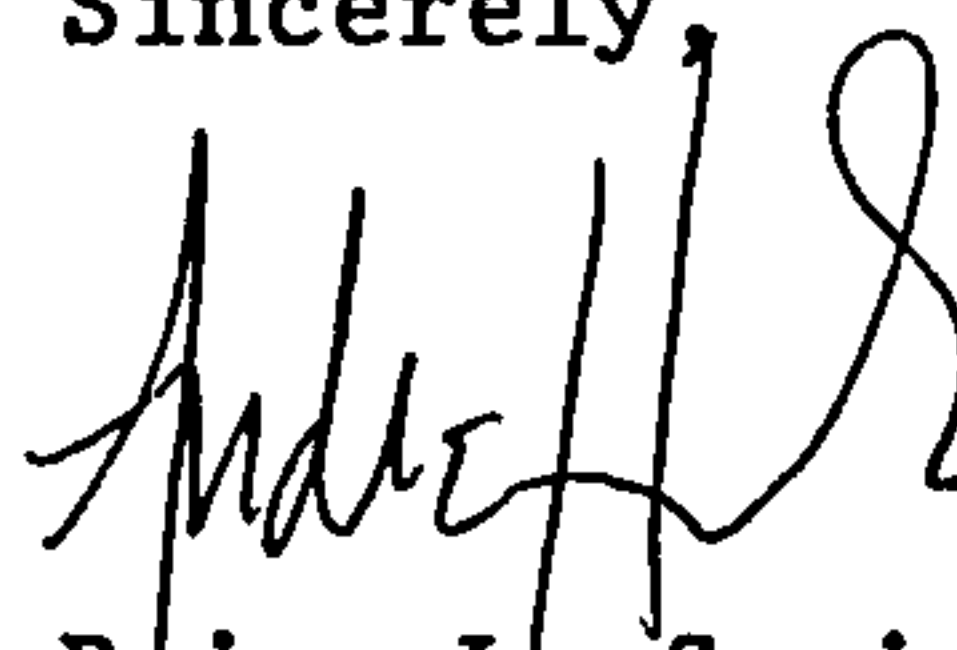
Dear Mr. Mechenbier:

This is to certify that the City of Albuquerque accepts Project No. 4204.90 as being completed according to approved plans and construction specifications. The City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 4204.90.

The project is described as follows:

- Construction of north half section of paving, curb and gutter and walk in Palomas Avenue N.E. Also installed fire line to north property line.
- The contractor's correction period began November 8, 1991 and will be effective for a period of one (1) year.

Sincerely,

*for* 

Brian L. Speicher, P.E.  
Chief Construction Engineer  
Design/Construction Division  
Public Works Department

BLS:kj

# CITY OF ALBUQUERQUE



January 28, 2008

Scott McGee, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

Re: Security Self-Storage Phase II, 6801 Palomas Ave. NE, Grading and Drainage Plan,  
Engineer's Stamp dated 01-08-08 (D-18/D023)

Mr. McGee:

Based upon the information provided in your submittal received 1-08-08, the above referenced plan is approved for Building Permit and SO-19. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Be advised that no Certificate of Occupancy, Temporary or Permanent, will be issued prior to an inspection and approval of the sidewalk culvert by Storm Drain Maintenance Department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please, send a copy of the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development  
Storm Drainage Division  
P.O. Box 1293, One Civic Plaza, Rm. 301  
Attn: Kathy Verhage  
Albuquerque, NM 87103

If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 or 768-3645.

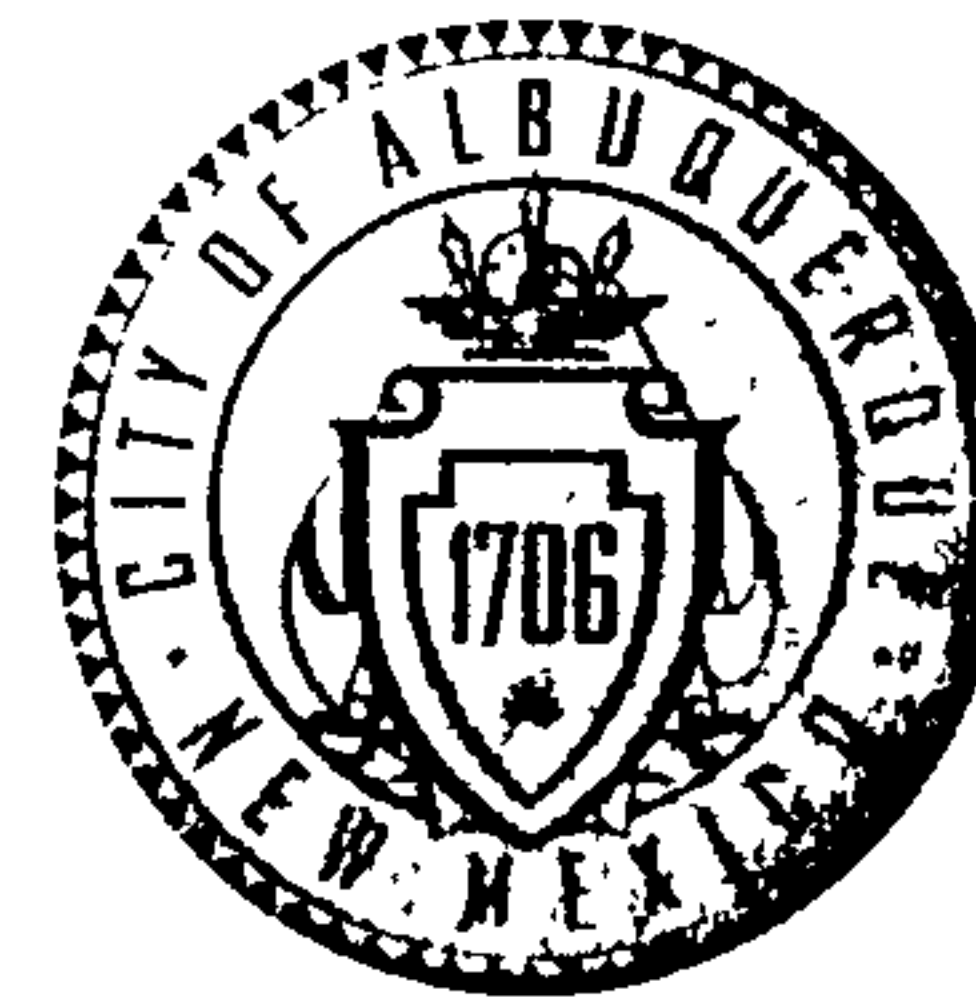
If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims  
Plan Checker - Hydrology, Planning Dept.  
Development and Building Services

Cc: Bradley Bingham  
Duane Schmitz, DMD Street / Storm Maintenance  
Antoinette Baldonado, Construction Services  
File

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 12, 2009

Kent Trauernicht, Registered Architect  
PO BOX 3366  
Albuquerque, NM 87190

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Security Self Storage, [D-18 / D023]  
6801 Palomas NE  
Architect's Stamp Dated 01/12/09

Dear Mr. Trauernicht:

The TCL / Letter of Certification submitted on January 12, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



P. O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281 - 9560  
F: (505) 286 - 1055  
C: (505) 259 - 7919  
aktarch@earthlink.net

January 12, 2009

City of Albuquerque  
Public Works Department  
Transportation Development Services  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

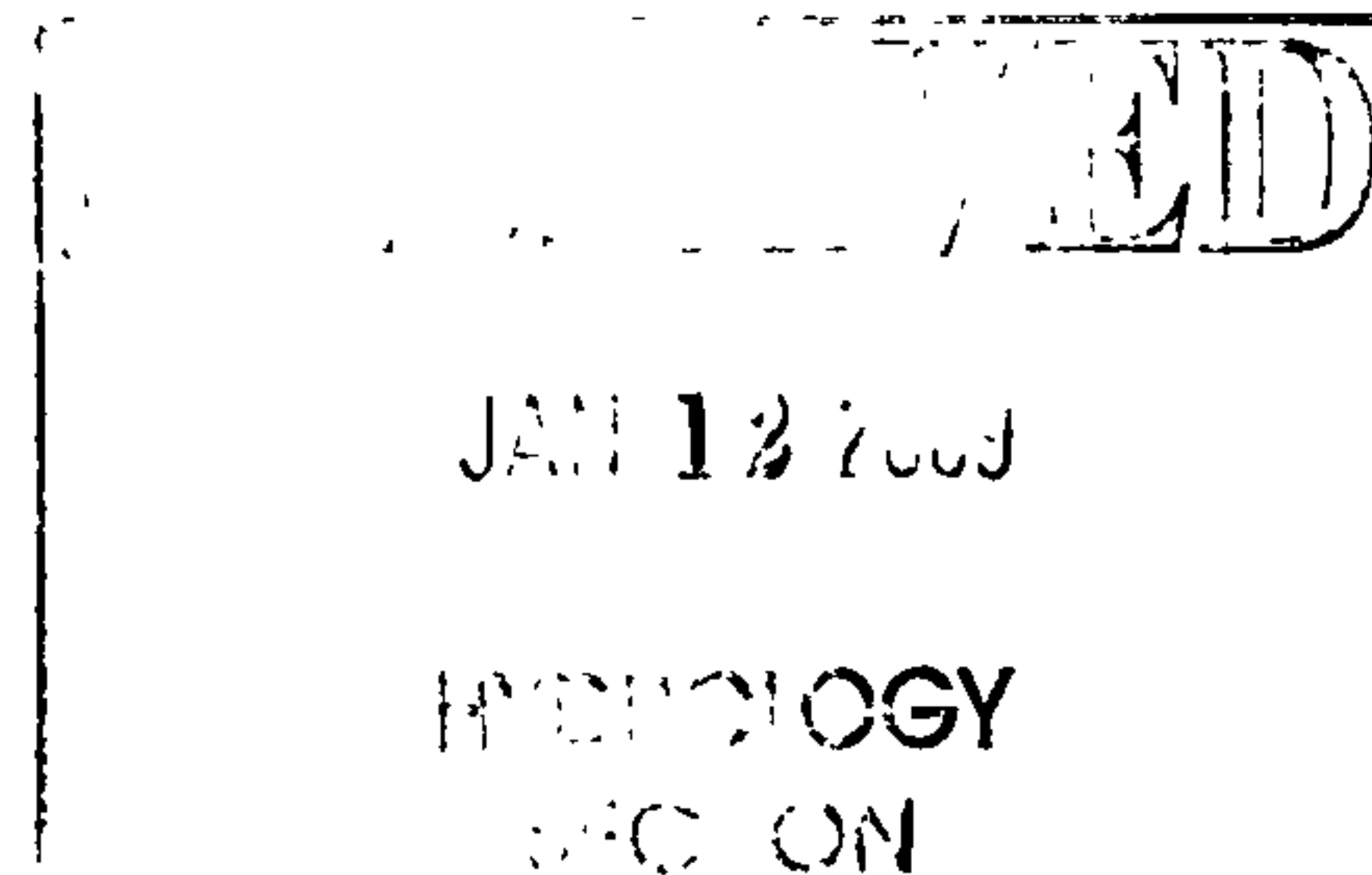
RE: Traffic Circulation Layout – Certification  
COA BP# 0800805  
Security Self Storage  
6801 Palomas Av. NE  
Albuquerque, NM 87109

I, Kent Trauernicht, NMRA #1285, of AKT Architects hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated January 8, 2008. I have personally visited the project site at 6801 Palomas Av. NE and have determined by visual inspection that the site data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for "Certificate of Occupancy".

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose. This document neither expresses nor implies a warranty.



January 12, 2009







P. O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281 - 9560  
F: (505) 286 - 1055  
C: (505) 259 - 7919  
aktarch@earthlink.net

December 31, 2008

City of Albuquerque  
Public Works Department  
Transportation Development Services  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification  
COA BP# 0800805  
Security Self Storage  
6801 Palomas Av. NE  
Albuquerque, NM 87109

I have visited the completed project and to the best of my knowledge and information it appears to be in substantial compliance with the intent of the design concepts and the "Traffic Circulation Layout", as approved by the City. Minor site changes may have occurred during the construction of this project but have no adverse impact to the site and its ability to comply with the approved plan. Those relying upon this record are advised to obtain independent verification of its accuracy before using it for any other purpose.

This document neither expresses nor implies a warranty.



12/31/08

