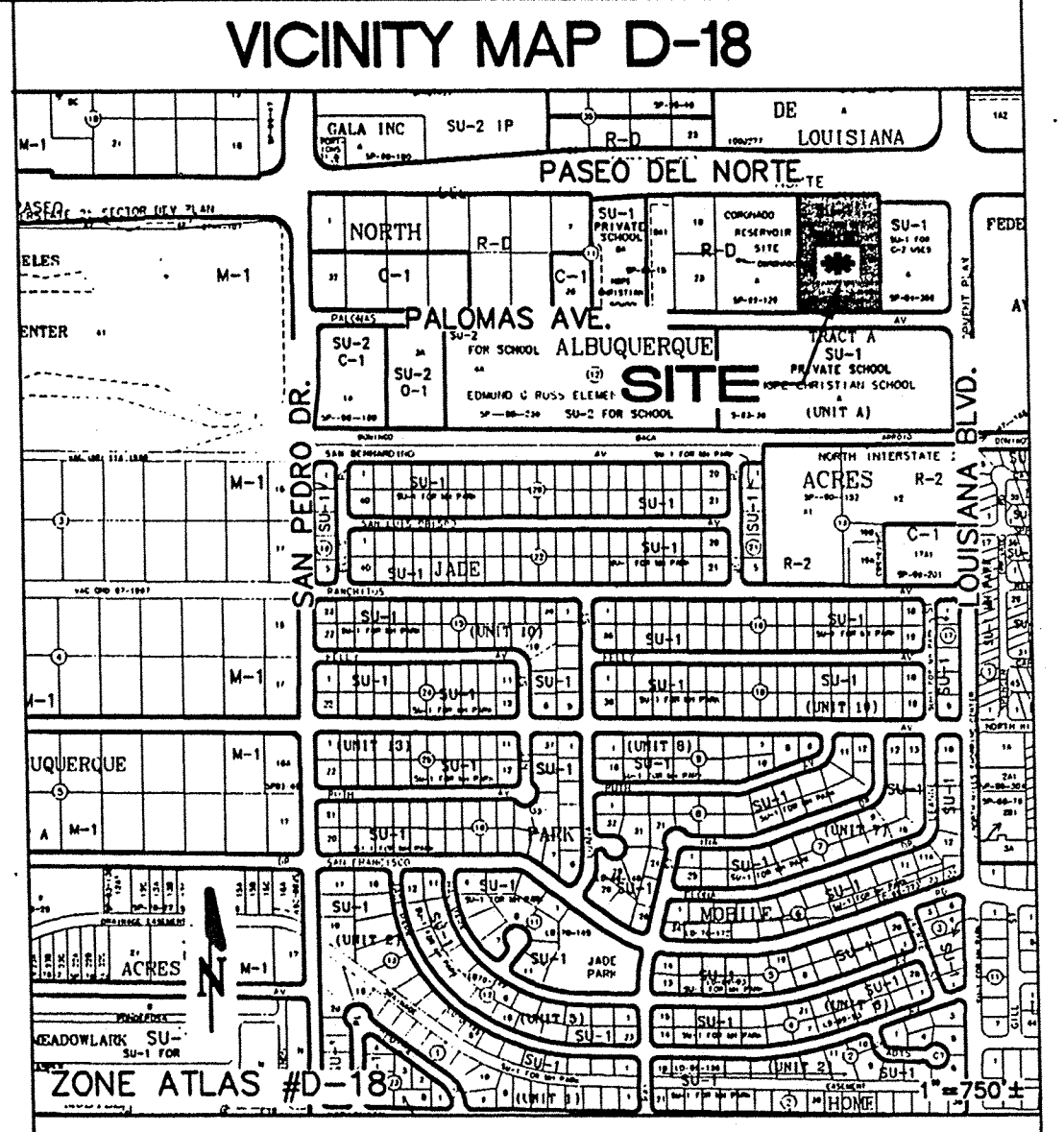
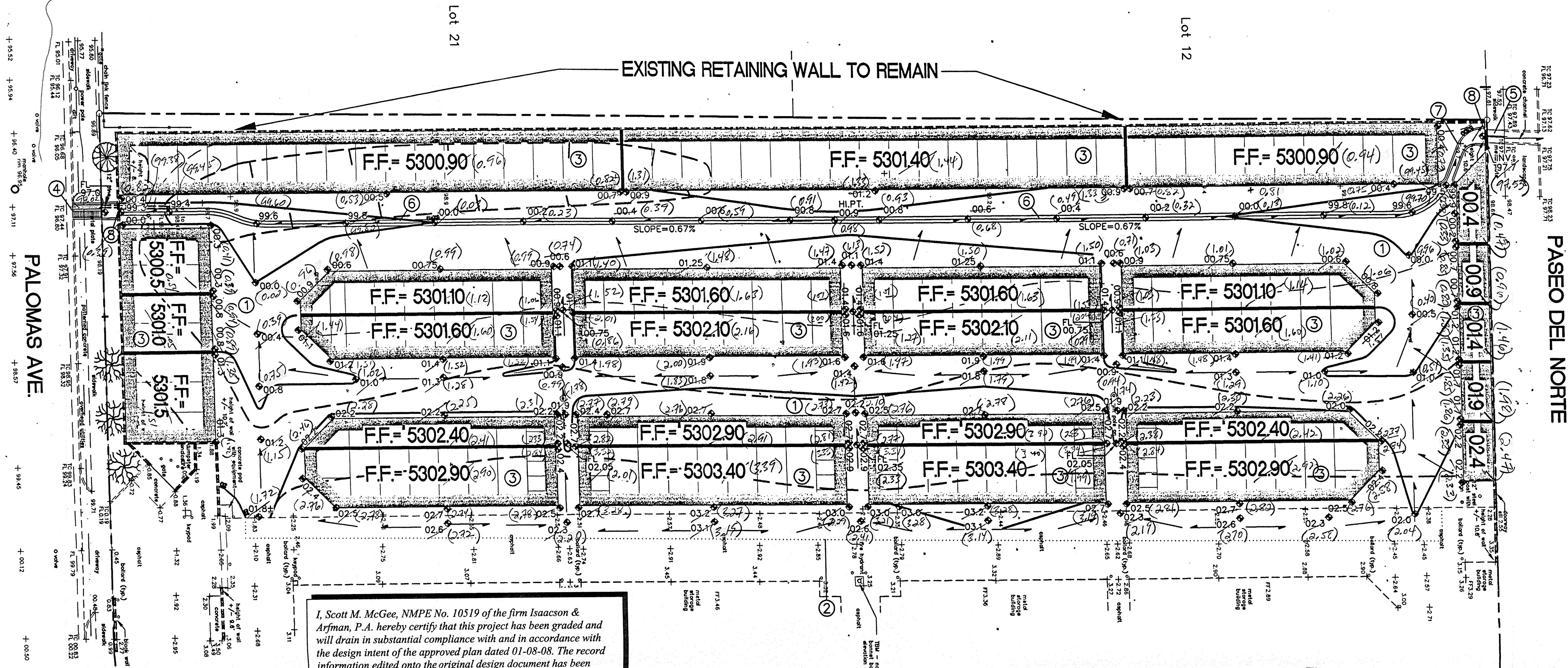




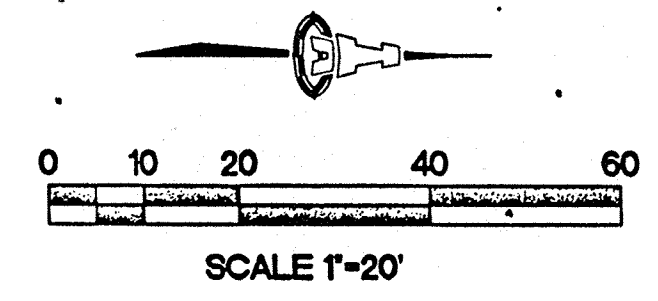
- ### KEYED NOTES
- CONSTRUCT ASPHALT PAVING OVER COMPACTED SUBGRADE AT ELEVATIONS SHOWN.
 - SAWTOOTH EXISTING ASPHALT THIS AREA TO PROVIDE SMOOTH BONDING EDGE WITH NEW ASPHALT AND POSITIVE DRAINAGE AS SHOWN.
 - ALL BUILDING ROOF DISCHARGE WILL BE DIRECTED TO THE INTERIOR ASPHALT.
 - CONSTRUCT ONE 24" DIA. COVERED SIDEWALK CULVERT (PER C.O.A. STD. DWG. 2236) ADJACENT TO EXISTING 12" WIDE COVERED SIDEWALK CULVERT. SEE S.O.19 INFORMATION THIS SHEET FOR CONSTRUCTION WITHIN THE R.O.W.
 - CONTRACTOR TO CLEAN EXISTING SIDEWALK CULVERTS TO REESTABLISH FULL FUNCTION.
 - CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN.
 - CONSTRUCT 'U' SHAPED CONCRETE CHANNEL FROM END OF ALLEY GUTTER (2' BOTTOM WIDTH) TO DRAIN OPENINGS IN PERIMETER WALL (4' BOTTOM WIDTH).
 - PROVIDE TWO 2' WIDE X 8" HIGH OPENINGS IN PERIMETER WALL AT FLOWLINE TO PASS FLOW TO SIDEWALK CULVERTS.

I, Scott M. McGee, NMPE No. 10519 of the firm Isaacson & Arfman, P.A. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 01-08-08. The record information edited onto the original design document has been obtained by Ron Forstbauer, NMPS #6126 of Forstbauer Surveying, Inc. I further certify that I or a member of my firm under my direct supervision have visited the project site on 12-12-08 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee 12/12/08
SCOTT M. MCGEE NMPE #10519 DATE

EXISTING STORAGE BUILDINGS



LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
0.001	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF - 530240 (2.82)	FINISH FLOOR ELEVATION AS-BUILT SPOT ELEVATION PROVIDED BY FORSTBAUER SURVEYING 12/11/08

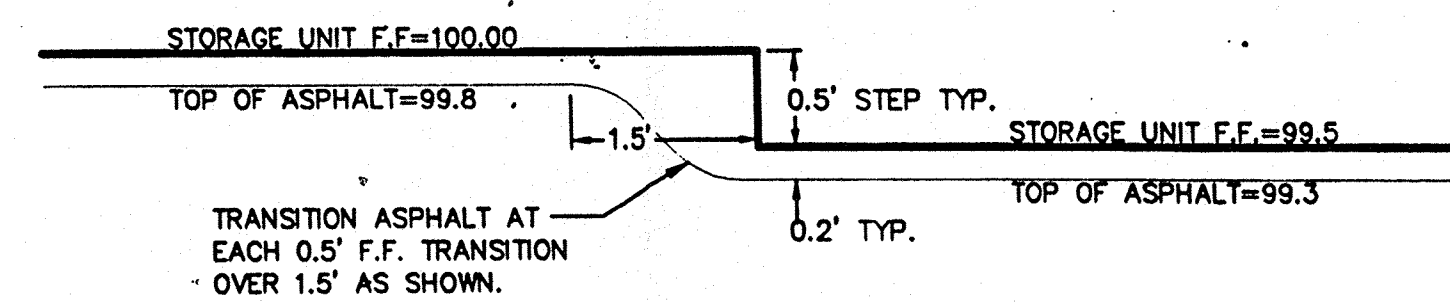
CALCULATIONS

S.O.19 : NOTICE TO CONTRACTORS

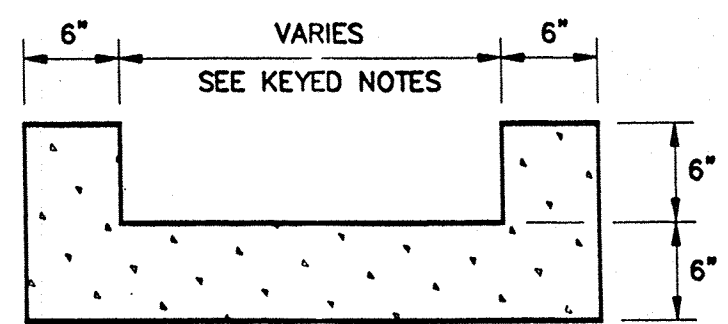
1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
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5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

AS-BUILT 12/11/2008
FORSTBAUER SURVEYING, INC.
TRAFFIC

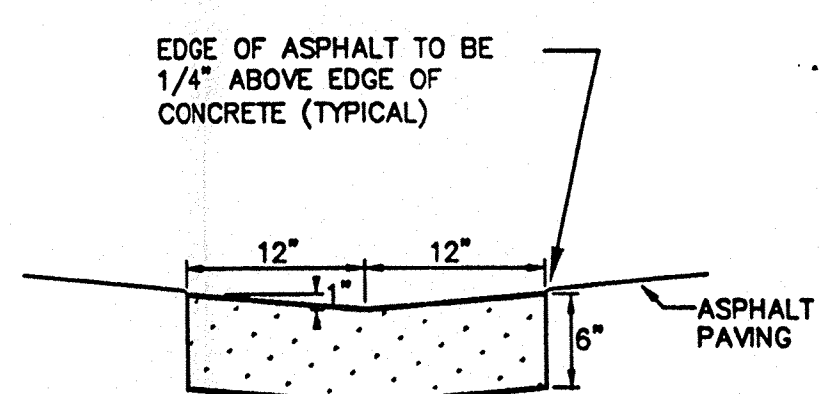


ASPHALT TRANSITION AT BLDG. STEPS
N.T.S.



- ### GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 6' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL
N.T.S.



- ### GENERAL NOTES
- PROVIDE CONST CONTROL JOINTS @ 6' O.C. MAX.
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

CONCRETE ALLEY GUTTER
N.T.S.

GENERAL INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED PORTION OF AN EXISTING SELF-STORAGE FACILITY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE NORTH BY PASEO DEL NORTE N.E., TO THE SOUTH BY PALOMAS AVE. N.E. AND TO THE EAST AND WEST BY DEVELOPED PROPERTIES.

EXISTING CONDITIONS: AT THE TIME OF THE ORIGINAL DEVELOPMENT (1990), PAVING AND STORM DRAIN IMPROVEMENTS TO PALOMAS AVE. AND PASEO DEL NORTE HAD NOT BEEN CONSTRUCTED SO THE SITE WAS REQUIRED TO PROVIDE A TEMPORARY DETENTION POND TO LIMIT THE DISCHARGE TO A PRO-RATED PORTION OF THE CARRYING CAPACITY OF PALOMAS AVE. SINCE THAT TIME, PUBLIC PAVING AND STORM DRAIN IMPROVEMENTS HAVE BEEN COMPLETED TO BOTH STREETS AND THE SITE IS NO LONGER REQUIRED TO DETAIN FLOW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF 11 ADDITIONAL STORAGE BUILDINGS AND ASSOCIATED ASPHALT PAVEMENT UTILIZING THE AREA PREVIOUSLY DESIGNATED AS A TEMPORARY DETENTION POND. DRAINAGE WILL BE SPLIT WITH APPROXIMATELY 60% (9.8 CFS) DIRECTED TO THE NORTHWEST CORNER OF THE PROPERTY TO ENTER PASEO DEL NORTE VIA TWO EXISTING SIDEWALK CULVERTS (2' WIDE EACH) CONSTRUCTED FOR THE PROPERTY DURING THE PASEO DEL NORTE IMPROVEMENTS. THE REMAINING DISCHARGE (6.6 CFS) WILL BE DIRECTED TO THE SOUTHWEST CORNER OF THE PROPERTY TO ENTER PALOMAS AVE. VIA ONE EXISTING (12" WIDE) AND ONE PROPOSED (24" WIDE) SIDEWALK CULVERT. THIS DISCHARGE WILL SURFACE FLOW WEST TO ENTER THE SAN PEDRO BLVD. STORM DRAIN SYSTEM.

LEGAL: LOT 13A, BLOCK 11, NORTH ALBUQ. ACRES, TR.A, UNIT A
ADDRESS: 6801 PALOMAS AVE. N.E.

BENCHMARK: CITY OF ALBUQUERQUE 10-D18, AN ACS BRASS TABLET AT THE NW QUADRANT OF LOUISIANA BLVD. NE & JADE PARK AVE. NE. ELEVATION: 5319.15 NGVD29

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES. EPA REQUIRED SWPPP SHALL BE PREPARED AND UPDATED DURING CONSTRUCTION.

CALCULATIONS

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993	
ON-SITE	
AREA OF ENTIRE SITE:	154743 SF = 3.6 Ac.
DEVELOPED FLOWS:	
On-Site Developed Land Condition	Precip. Zone 3
Area a = 0 SF	Ea = 0.66
Area b = 0 SF	Eb = 0.92
Area c = 15474 SF	Ec = 1.29
Area d = 131532 SF	Ed = 2.36
Total Area = 147006 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E =	$EaAa + EbAb + EcAc + EdAd$
	$Aa + Ab + Ac + Ad$
Developed E =	2.25 in.
On-Site Volume of Runoff: V360 =	
	$E \cdot A / 12$
Developed V360 =	27531 CF
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$	
For Precipitation Zone 3	
Qpa = 1.87	Qpc = 3.45
Qpb = 2.60	Qpd = 5.02
Developed Qp =	16.4 CFS

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1611 CG-101.dwg Jan 08, 2008

SECURITY SELF STORAGE
PHASE II
MECHENBIER CONSTRUCTION

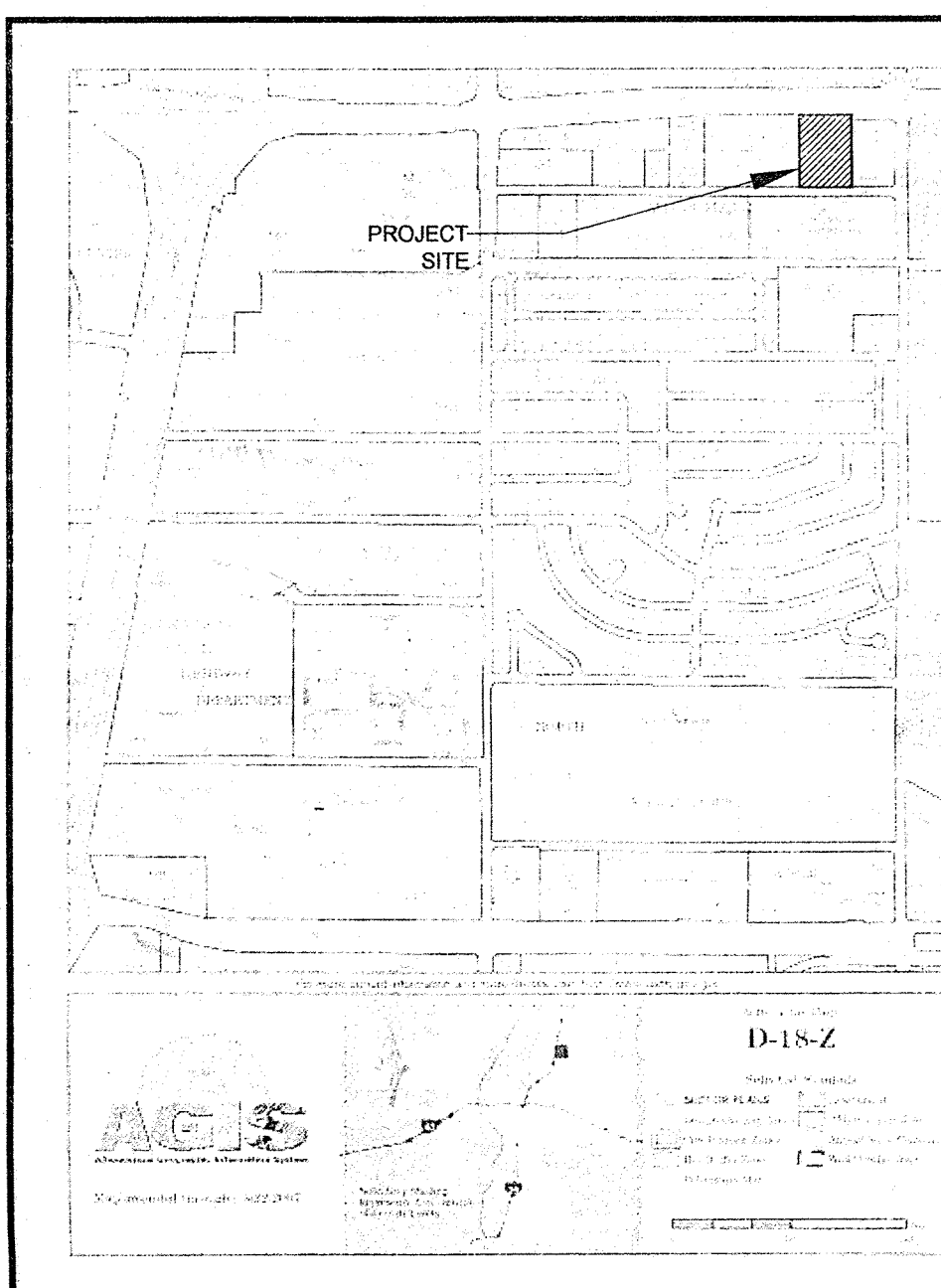
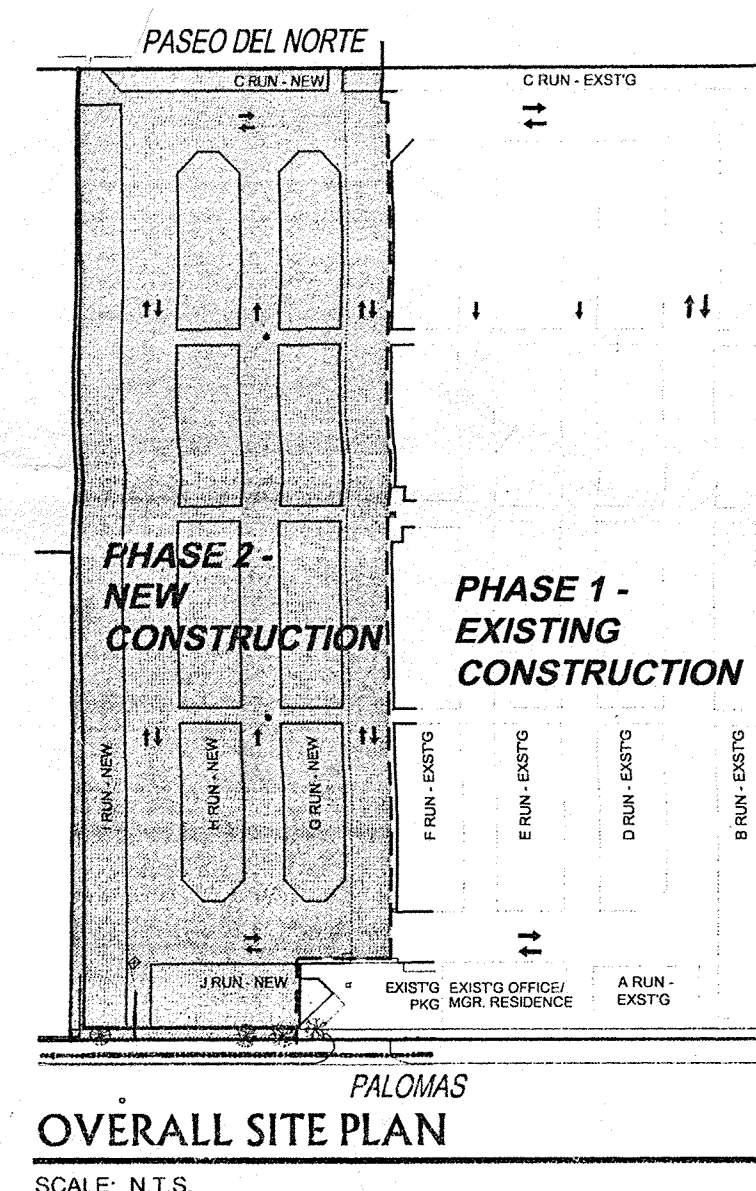
GRADING AND DRAINAGE PLAN

Date:	No. Revisions	Date	Job No.
12-28-07			1611
Drawn By:			CG-101
Check By:			SH OF
Scale:			

KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING FIRE HYDRANT.
3. EXISTING 6" CITY SIDEWALK.
4. EXISTING REFUSE PAD, APRON AND ENCLOSURE PER COA STANDARDS. PART OF PHASE 1.
5. EXISTING PARKING. REFER TO PHASE 1 PLANS.
6. EXISTING HANDICAP PARKING STALL W/ PAINTED HANDICAP SYMBOL. REFER TO PHASE 1 PLANS.
7. EXISTING HANDICAP PARKING SIGN. REFER TO PHASE 1 DRAWINGS.
8. EXISTING SIGN.
9. NOT USED.
10. EXISTING LANDSCAPING, PART OF PHASE 1.
11. NOT USED.
12. EXISTING HANDICAP RAMP.
13. NEW 6" STEEL BOLLARD, FILLED WITH CONCRETE, TYP. REFER TO A/A1.
14. EXISTING 6" STEEL BOLLARD.
15. EXISTING KEYPAD.
16. EXISTING PEDESTRIAN GATE.
17. EXISTING DRAINAGE/SIDEWALK CULVERT.
18. EXISTING LIGHT POLE TO BE REMOVED. SEE KEYNOTE 27 FOR NEW LIGHTING.
19. EXISTING ENTRY DRIVE.
20. EXISTING FLAGPOLE BASE TO BE REMOVED.
21. EXISTING CMU BLOCK WALL. WALL HEIGHT IS 10.7' ALONG SOUTH EDGE OF PROPERTY (PALOMAS) AND 10.6' ALONG NORTH EDGE OF PROPERTY (PASEO DEL NORTE).
22. EXISTING ROLLING GATE.
23. EXISTING CONCRETE PAD AND GATE EQUIPMENT.
24. EXISTING ASPHALT PAVING.
25. EXISTING GRAVEL TO BE REPLACED WITH 3" DEPTH ASPHALT PAVING.
26. NOT USED.
27. WALL PACK. SEE LIGHT SCHEDULE.
- 28) New FH
- 29) x11 FE

PASEO DEL NORTE

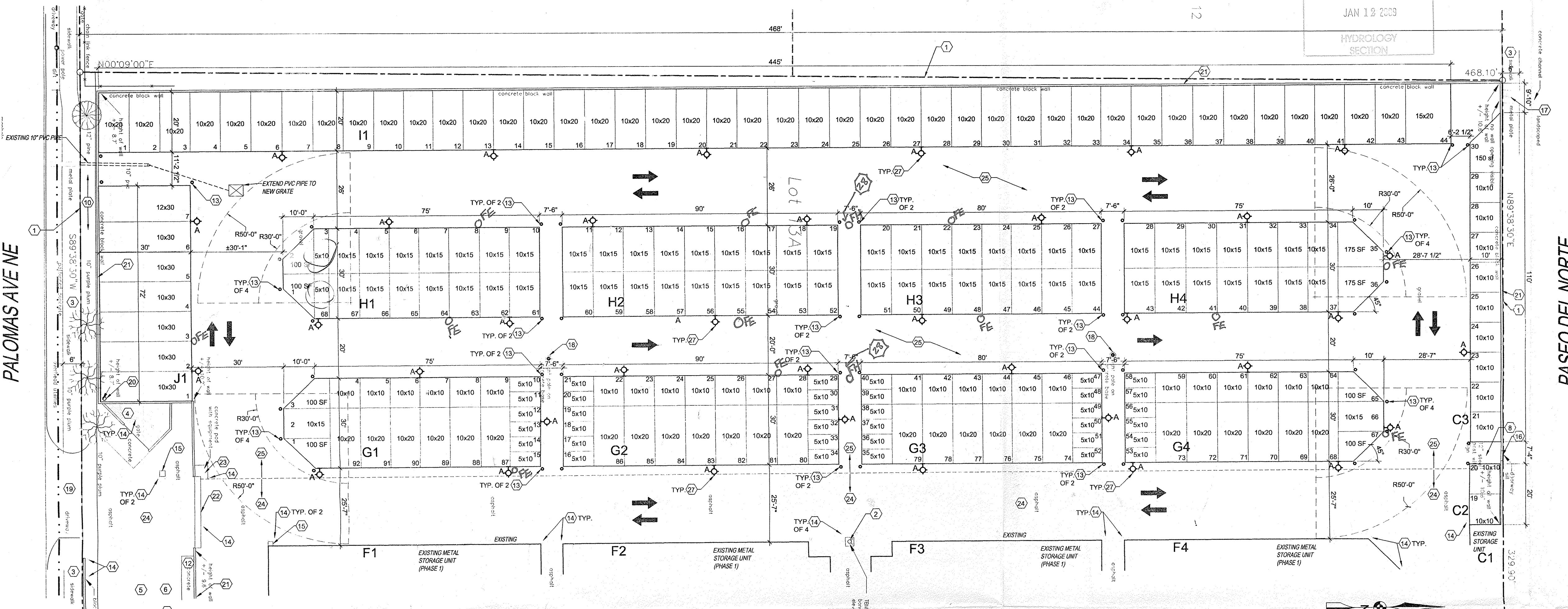


VICINITY MAP: D-18-Z

SCALE: N.T.S.

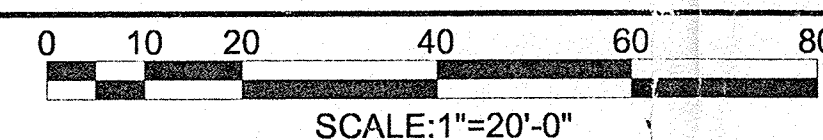
PRELIMINARY SET

RECEIVED
JAN 12 2008
HYDROLOGY
SECTION



SITE PLAN - PHASE 2

SCALE: 1" = 20'-0"



PROJECT DESCRIPTION:

ADDRESS: 6801 PALOMAS AVE NE
ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: LOT 13A, BLOCK 11, TRACT A, UNIT A, NORTH
ALBUQUERQUE ACRES
ZONE MAP: D-18-Z
ZONING: SU-1

CONSTRUCTION TYPE: V-B NON-SPRINKLERED
OCCUPANCY GROUPS: S-2 LOW HAZARD STORAGE

TOTAL SITE AREA: 154,440 SF
PHASE 1 BUILDING AREA (EXISTING): 44,450 SF
STORAGE UNITS:
OFFICE & MANAGER RESIDENCE: 2,500 SF
PHASE 2 BUILDING AREA (THIS PROJECT): 32,310 SF
STORAGE UNITS:

NET FLOOR AREA: 79,260 SF
NET LOT AREA (154,440 - 79,260): 75,180 SF

LANDSCAPING IS EXISTING ALONG PALOMAS AVENUE FRONTAGE.
REMAINDER OF SITE IS BEHIND AN EXISTING CONCRETE BLOCK
WALL AND NO ADDITIONAL LANDSCAPING IS REQUIRED.

BUILDING USAGE & OCCUPANCY AREAS:
PHASE 2 SHALL REPLACE EXISTING 158 RV PARKING
SPACES WITH METAL STRUCTURE SELF-STORAGE RENTAL
UNITS (S2 OCCUPANCY). THE STORAGE UNIT BUILDINGS
SHALL BE SIMILAR TO EXISTING METAL STORAGE
BUILDINGS CONSTRUCTED DURING PHASE 1.

TRAFFIC CIRCULATION:
TRAFFIC ENTRY TO THE PROPERTY (EXISTING) IS VIA
PALOMAS AVENUE NE. ONE AND TWO-WAY DRIVE AISLES
SHALL BE AS MARKED ON PLAN. TRAFFIC CIRCULATION
SHALL BE DIRECTED ON-SITE VIA DIRECTIONAL SIGNAGE.

PARKING:
ALL PARKING IS EXISTING, PART OF PHASE 1, AND
CONSISTS OF 2 STANDARD AND 1 HANDICAP PARKING
STALL, PER C.O.A. STANDARDS

ORIGINAL FILE NUMBER
(PHASE 1): Z-90-22

DESIGN CRITERIA - PHASE 2

C RUN - NEW UNITS

UNIT C2	UNIT C3
10x10	10x10
2	9
TOTAL UNITS	TOTAL UNITS
2	10
TOTAL S.F.	TOTAL S.F.
200 SF	1060 SF

G RUN

UNIT G1	UNIT G2	UNIT G3	UNIT G4
5x10	5x10	5x10	5x10
6	12	12	6
10x10	10x10	10x10	10x10
6	7	6	6
10x15	10x15	10x15	10x15
6	7	6	6
OTHER	OTHER	OTHER	OTHER
2	2	2	2
TOTAL UNITS	TOTAL UNITS	TOTAL UNITS	TOTAL UNITS
21	26	24	21
TOTAL S.F.	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.
2450 SF	2700 SF	2400 SF	2450 SF

H RUN

UNIT H1	UNIT H2	UNIT H3	UNIT H4
5x10	5x10	5x10	5x10
2	18	16	14
10x10	10x10	10x10	10x10
14	7	6	2
10x15	10x15	10x15	10x15
18	7	6	2
OTHER	OTHER	OTHER	OTHER
2	2	2	2
TOTAL UNITS	TOTAL UNITS	TOTAL UNITS	TOTAL UNITS
21	26	24	21
TOTAL S.F.	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.
2450 SF	2700 SF	2400 SF	2450 SF

I RUN

UNIT I1	UNIT I2	UNIT I3	UNIT I4
10x20	10x20	10x20	10x20
43	1	1	1
15x20	1	1	1
TOTAL UNITS	TOTAL UNITS	TOTAL UNITS	TOTAL UNITS
44	2	2	2
TOTAL S.F.	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.
8900 SF	2160 SF	2160 SF	2160 SF

J RUN

UNIT J1	UNIT J2	UNIT J3	UNIT J4
10x10	10x10	10x10	10x10
38	38	38	38
10x15	10x15	10x15	10x15
64	64	64	64
10x20	10x20	10x20	10x20
68	68	68	68
15x20	1	1	1
10x20	1	1	1
12x30	1	1	1
OTHER	OTHER	OTHER	OTHER
2	2	2	2
TOTAL UNITS	TOTAL UNITS	TOTAL UNITS	TOTAL UNITS
223	223	223	223
TOTAL S.F.	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.
32,310 SF	32,310 SF	32,310 SF	32,310 SF

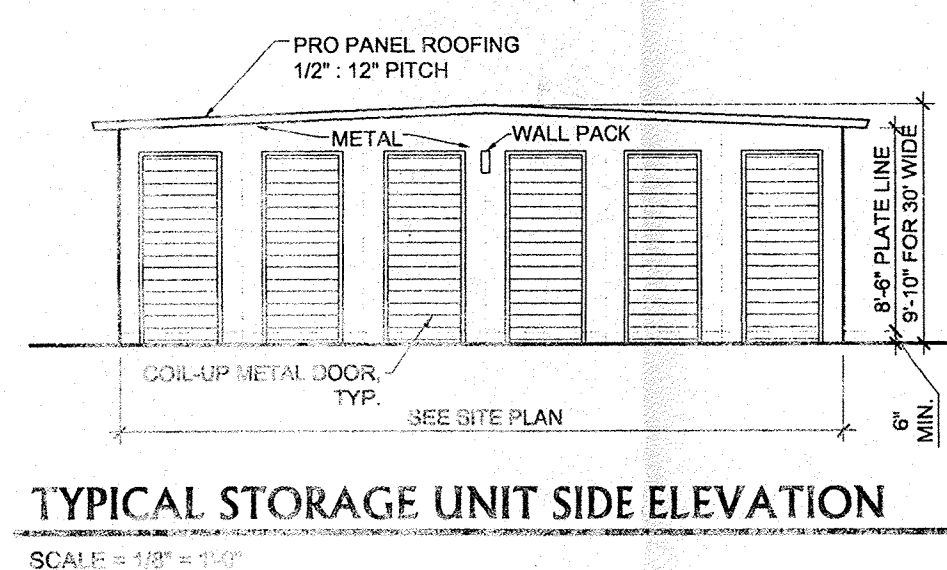
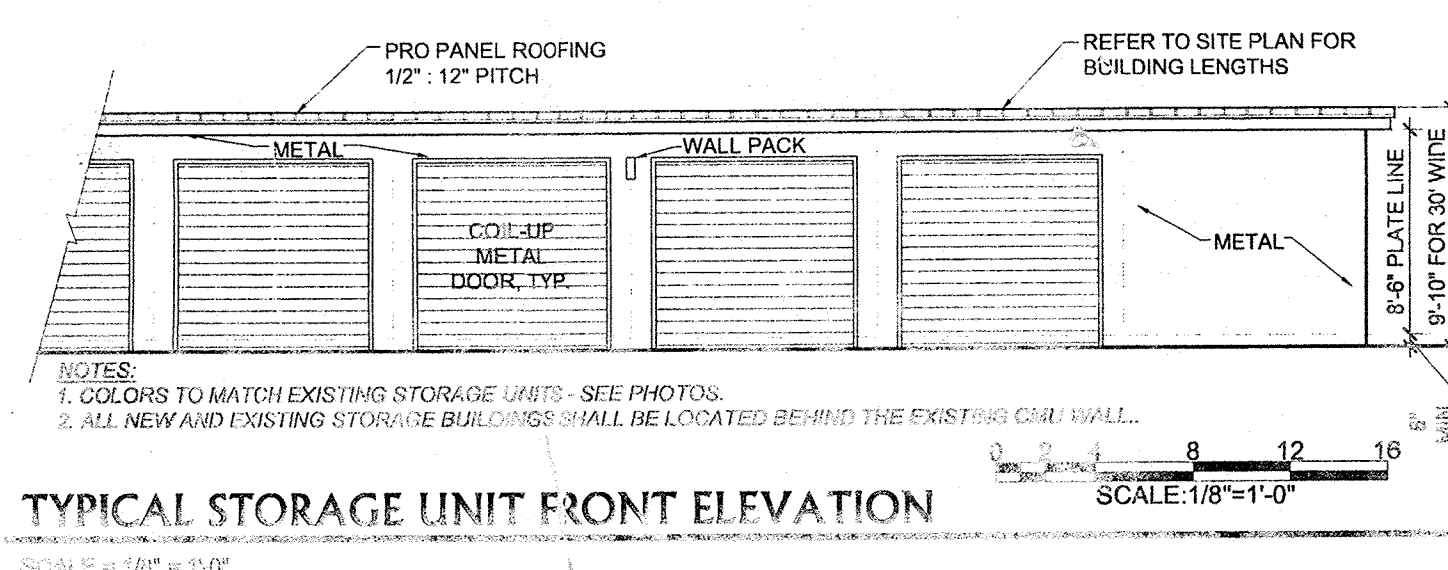
TOTAL UNITS PHASES 1 & 2: 223 NEW (PHASE 2) + 363 EXIST'G (PHASE 1) = 586 TOTAL UNITS

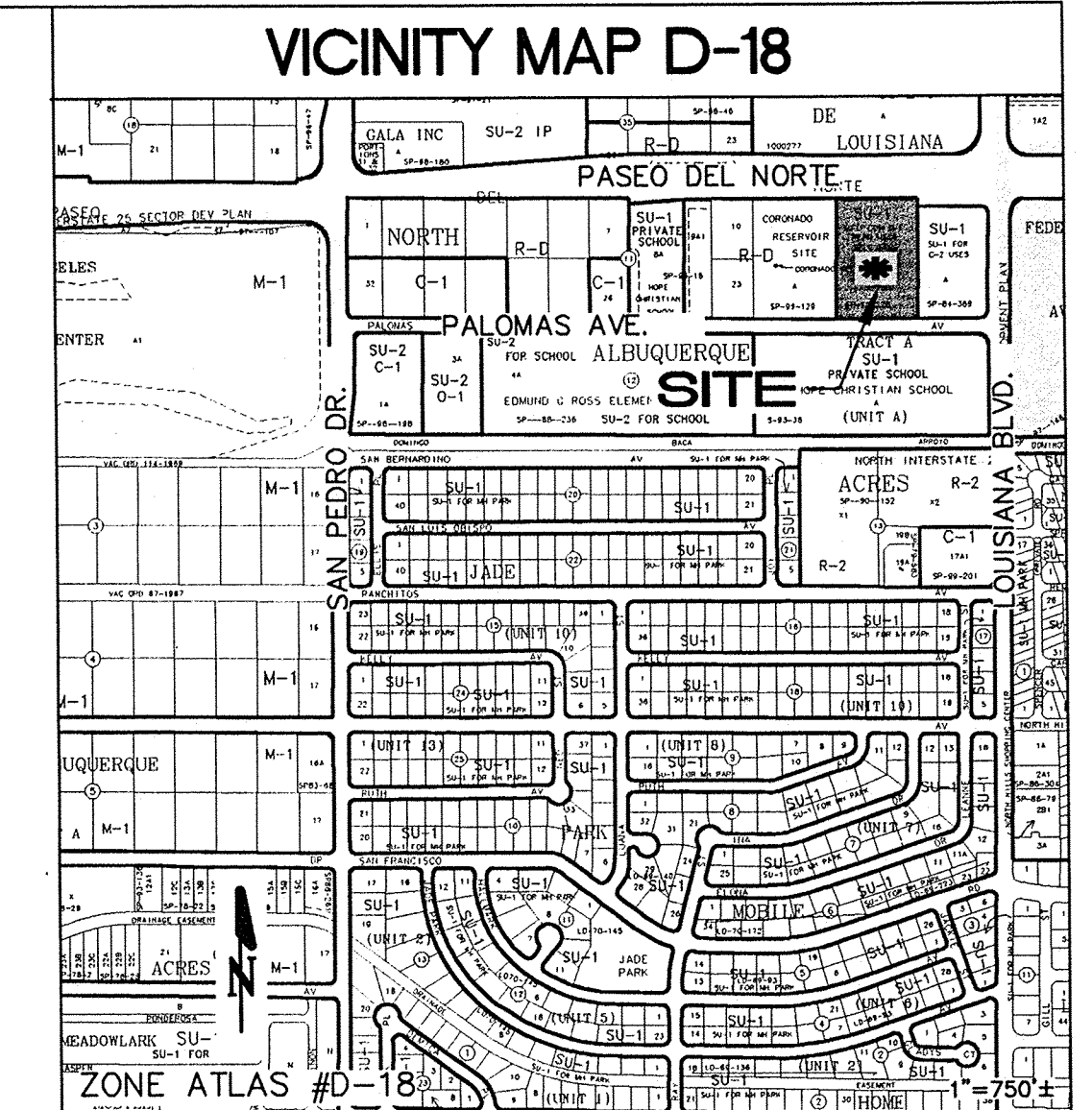
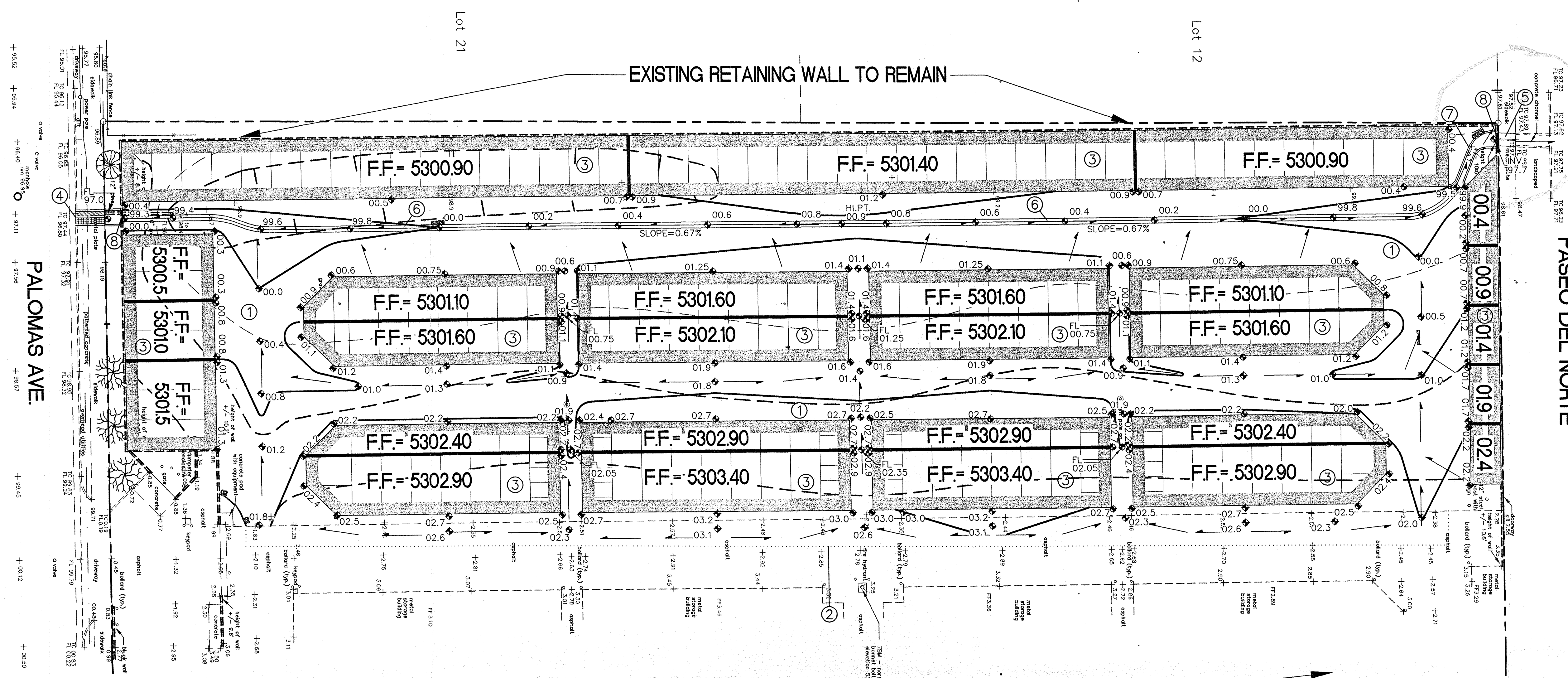
TOTAL UNIT S.F. PHASES 1 & 2: 32,310 SF NEW (PHASE 2) + 44,450 SF EXIST'G (PHASE 1) = 76,760 SF

ADMINISTRATIVE AMENDMENT
File # 07-10131 Project # 1006964
replace RV parking w/ self-storage units
APPROVED BY [Signature] DATE 1/8/08

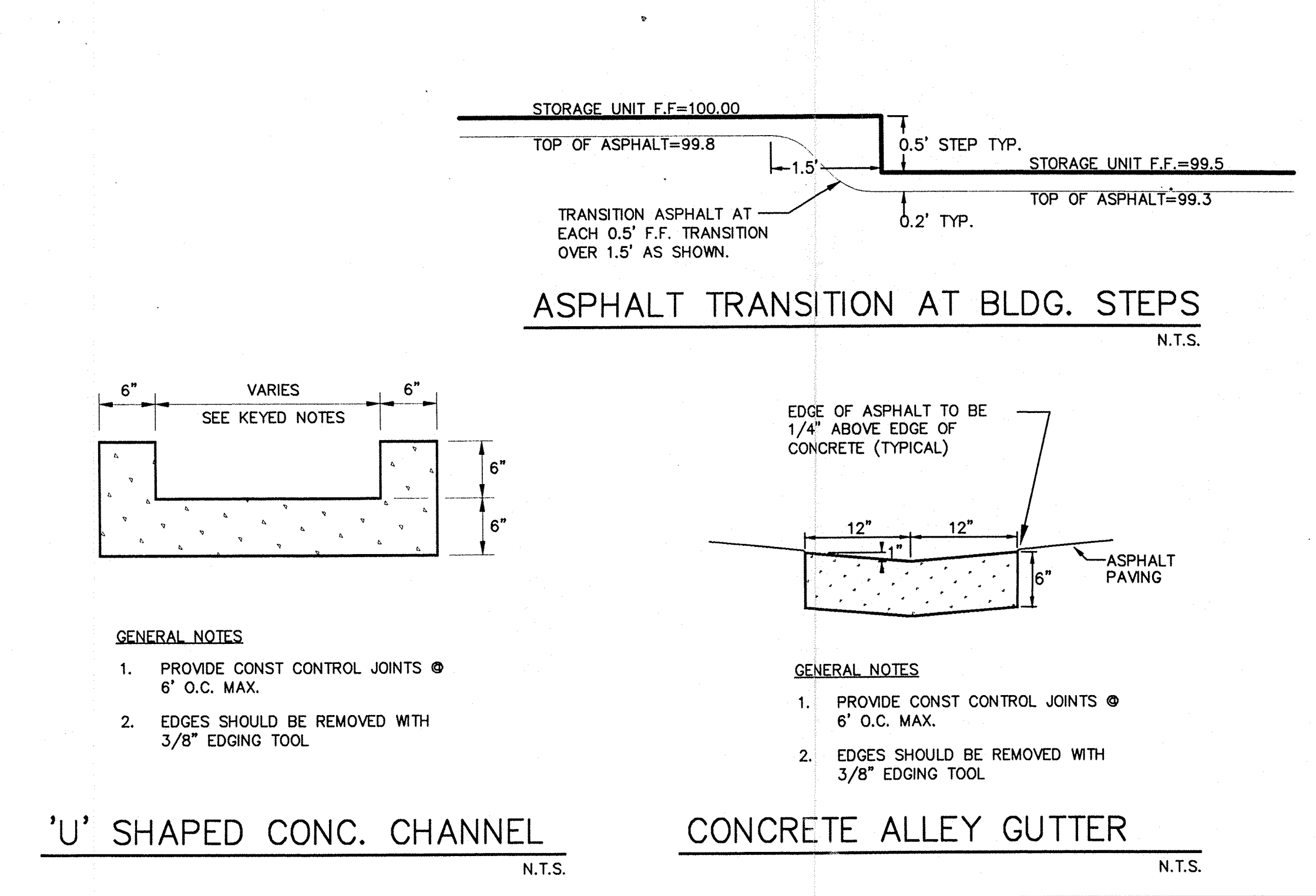
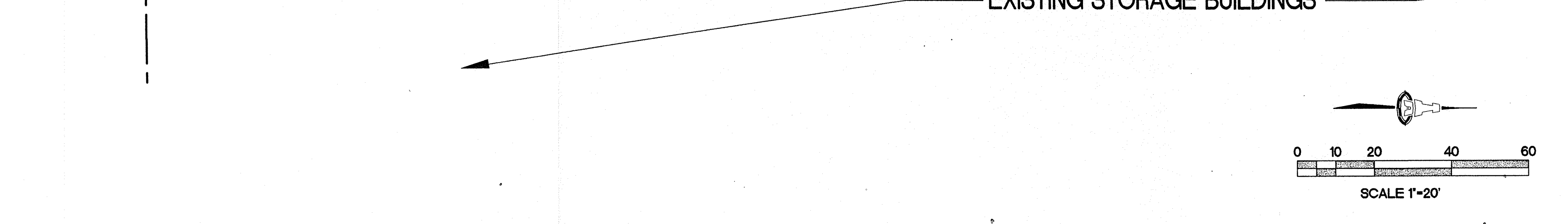
Albuquerque Building & Safety
FEB 11 2008
I.B.C.
Plan Check Section

PHASE 2 SITE PLAN FOR BUILDING PERMIT





- ### KEYED NOTES
- CONSTRUCT ASPHALT PAVING OVER COMPACTED SUBGRADE AT ELEVATIONS SHOWN.
 - SAWCUT EXISTING ASPHALT THIS AREA TO PROVIDE SMOOTH BONDING EDGE WITH NEW ASPHALT AND POSITIVE DRAINAGE AS SHOWN.
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 - CONTRACTOR TO CLEAN EXISTING SIDEWALK CULVERTS TO REESTABLISH FULL FUNCTION.
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GENERAL INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED PORTION OF AN EXISTING SELF-STORAGE FACILITY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE NORTH BY PASEO DEL NORTE N.E., TO THE SOUTH BY PALOMAS AVE. N.E. AND TO THE EAST AND WEST BY DEVELOPED PROPERTIES.

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LEGAL: LOT 13A, BLOCK 11, NORTH ALBUQ. ACRES, TR.A, UNIT A

ADDRESS: 6801 PALOMAS AVE. N.E.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES. EPA REQUIRED SWPPP SHALL BE PREPARED AND UPDATED DURING CONSTRUCTION.

LEGEND

--- EXISTING CONTOUR
--- PROPOSED CONTOUR
● 00.1 PROPOSED SPOT ELEVATION
→ FLOW ARROW
FF = 5302.40 FINISH FLOOR ELEVATION

NOTICE TO CONTRACTORS

S.O.19 : NOTICE TO CONTRACTORS

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- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

CALCULATIONS

CALCULATIONS: 1611 - Security Self Storage : October 29, 2007
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE
AREA OF ENTIRE SITE: 154743 SF = 3.6 Ac.

DEVELOPED FLOWS:
On-Site Developed Land Condition
Area a = 0 SF
Area b = 0 SF
Area c = 15474 SF
Area d = 131532 SF
Total Area = 147006 SF

EXCESS PRECIP:
Precip. Zone 3
Ea = 0.66
Eb = 0.92
Ec = 1.29
Ed = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$
Developed E = 2.25 in.

On-Site Volume of Runoff: V360 = $\frac{E^*A}{12}$
Developed V360 = 27531 CF

On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$
For Precipitation Zone 3
Qpa = 1.87
Qpb = 2.60
Qpc = 3.45
Qpd = 5.02
Developed Qp = 16.4 CFS

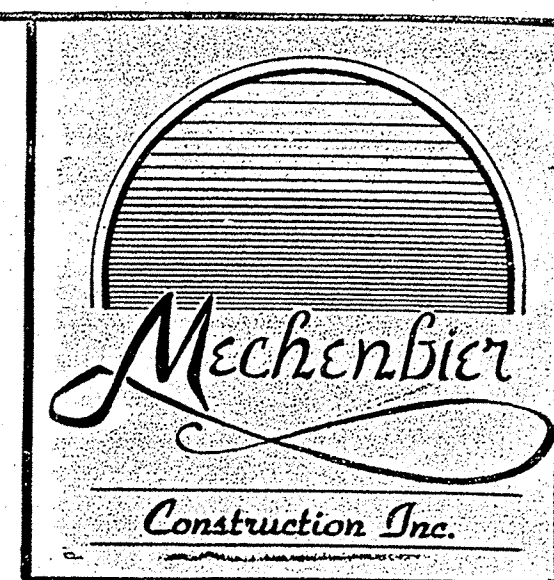
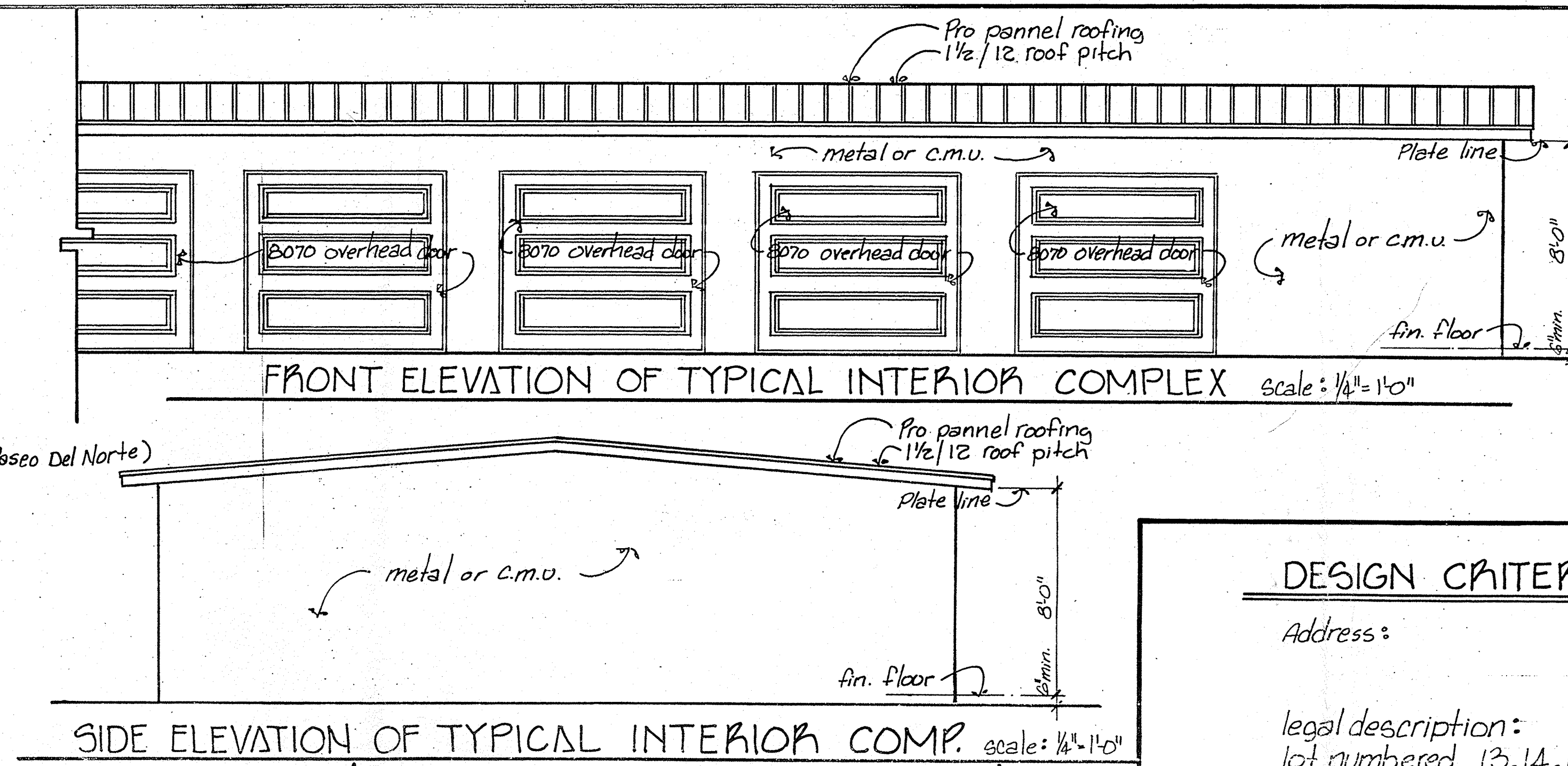
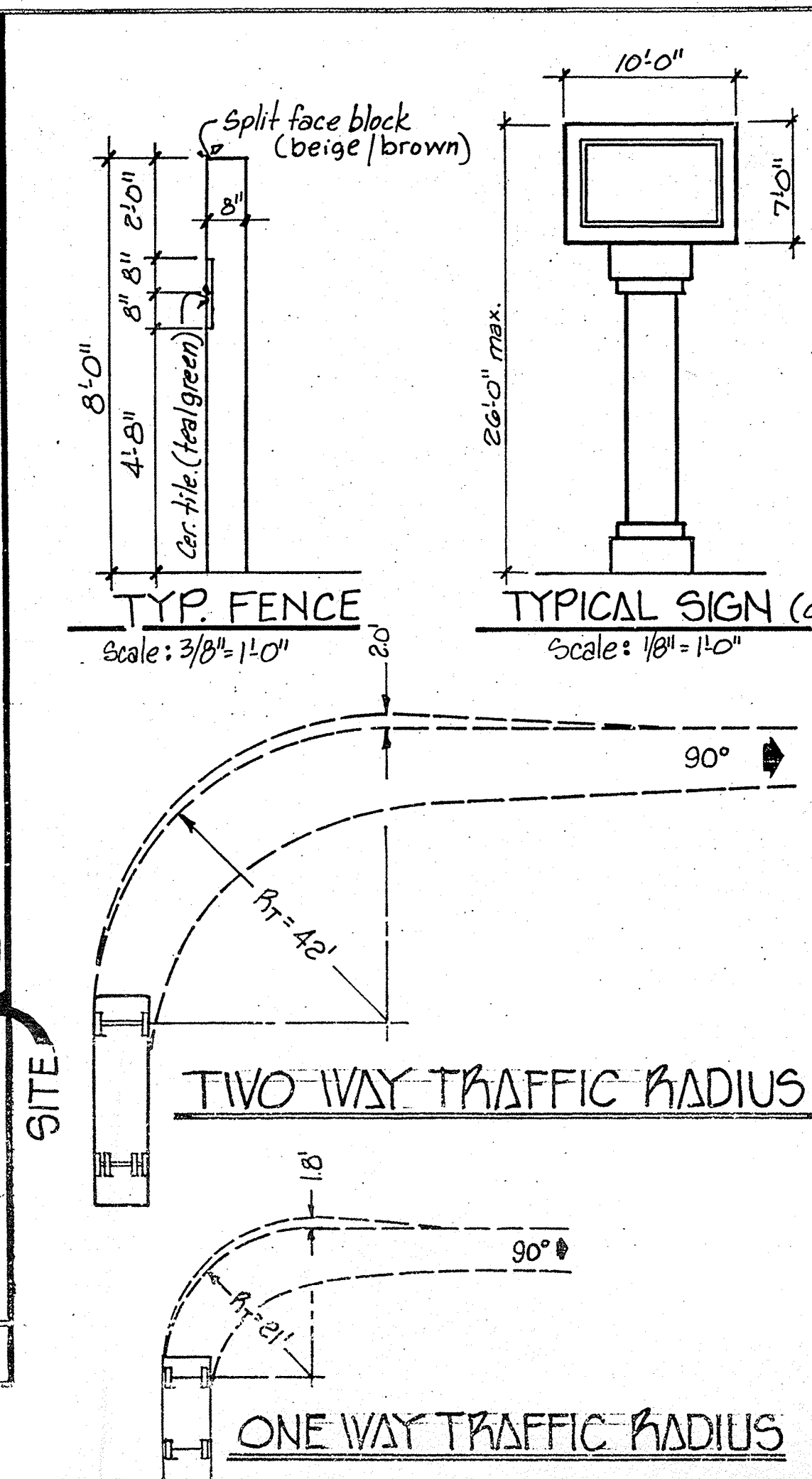
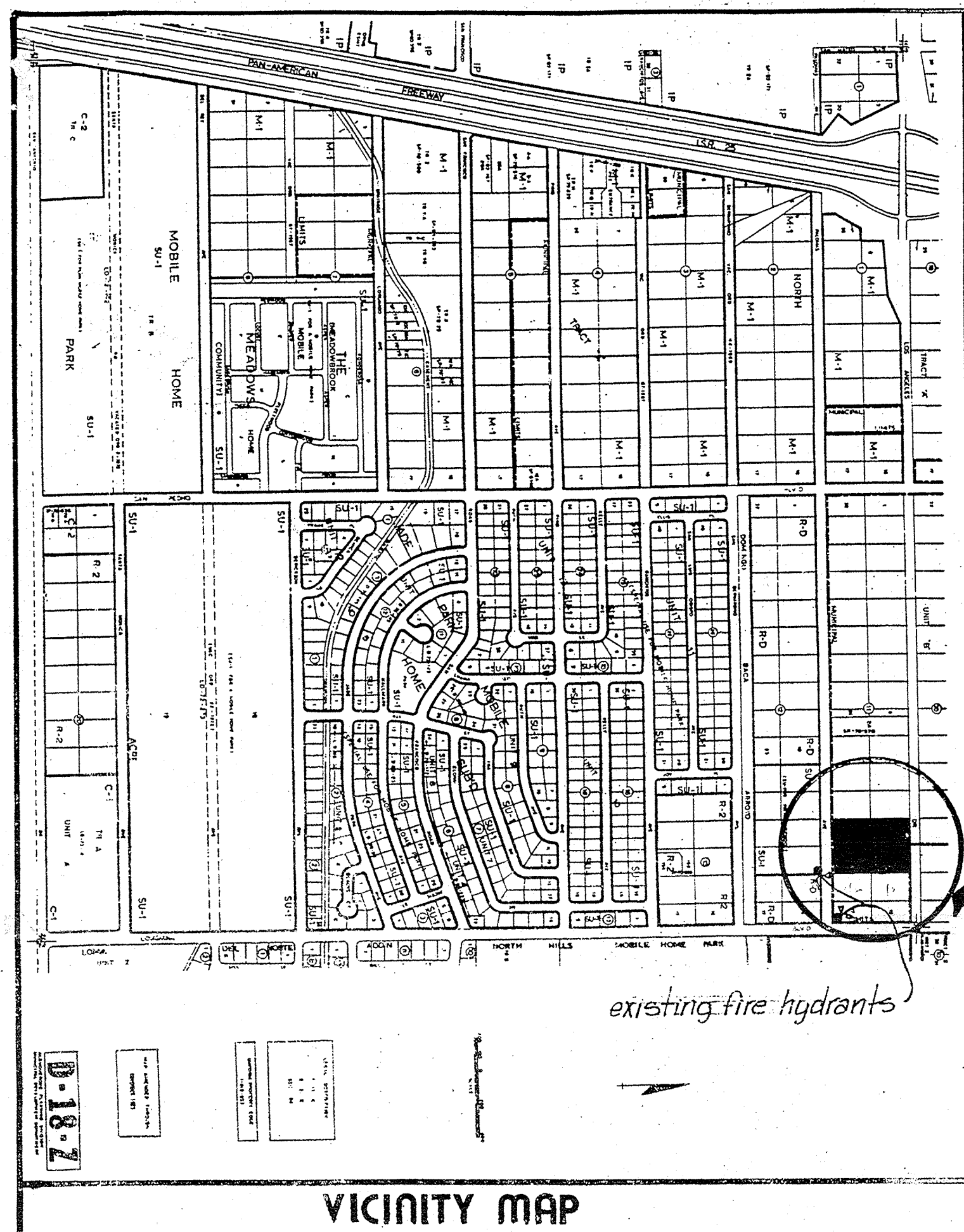
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1611 CG-101.dwg Jan 08, 2008

SECURITY SELF STORAGE PHASE II

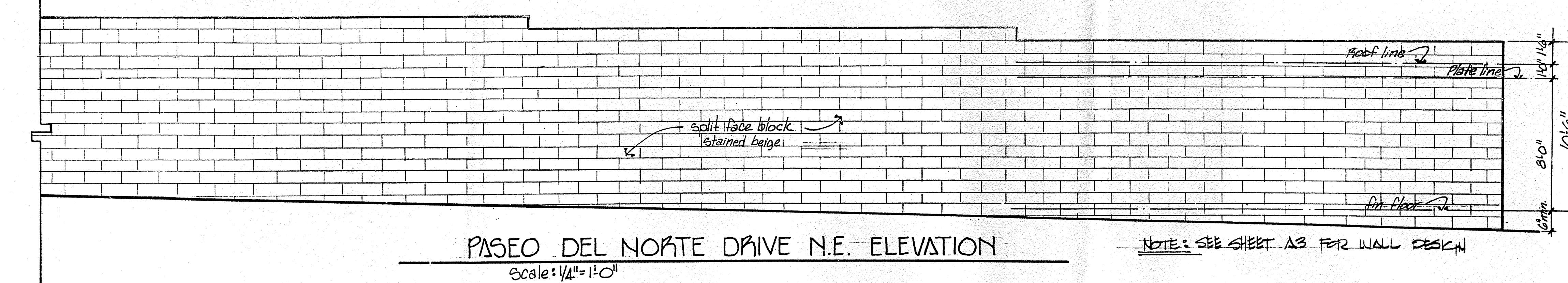
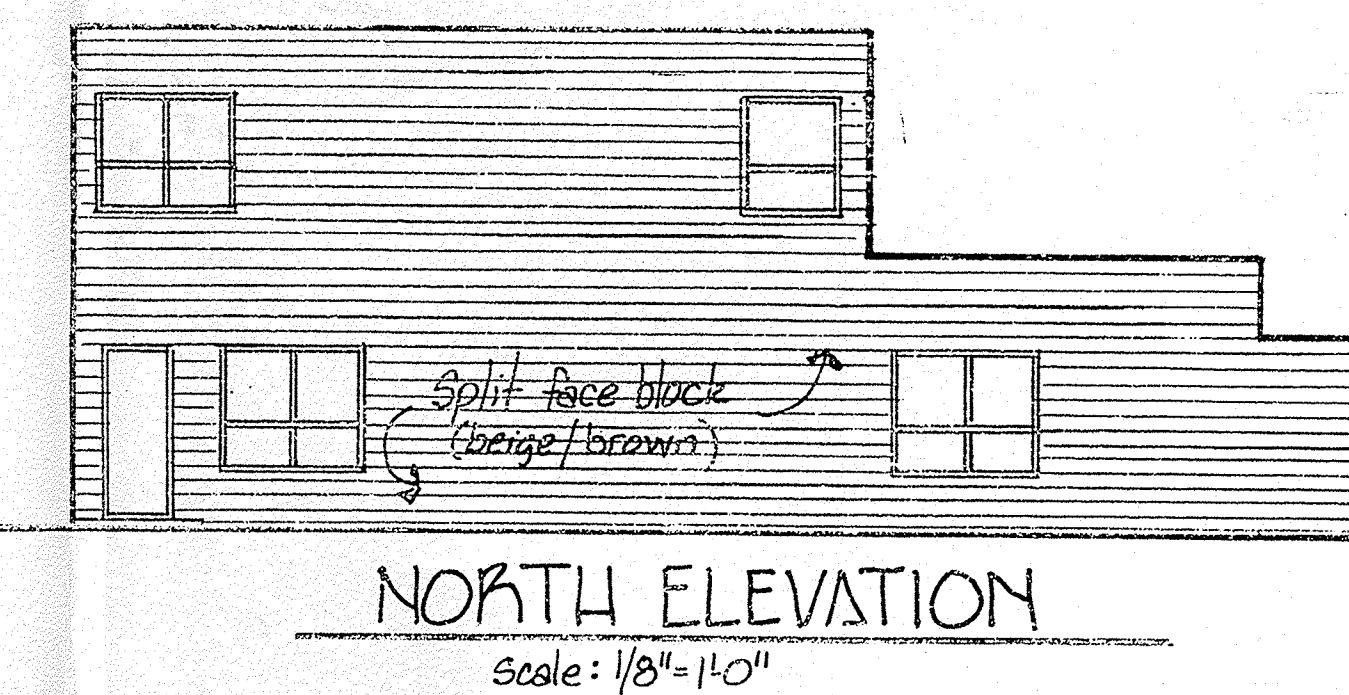
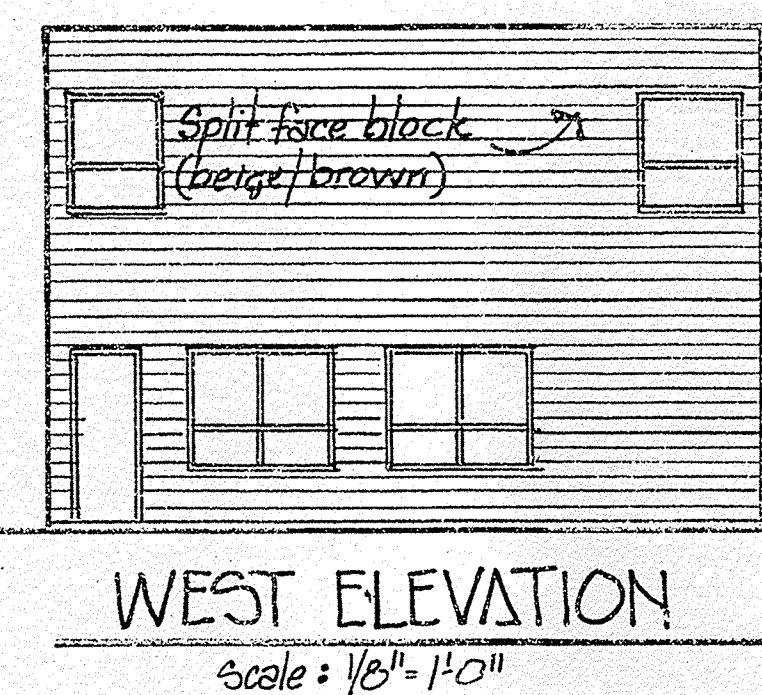
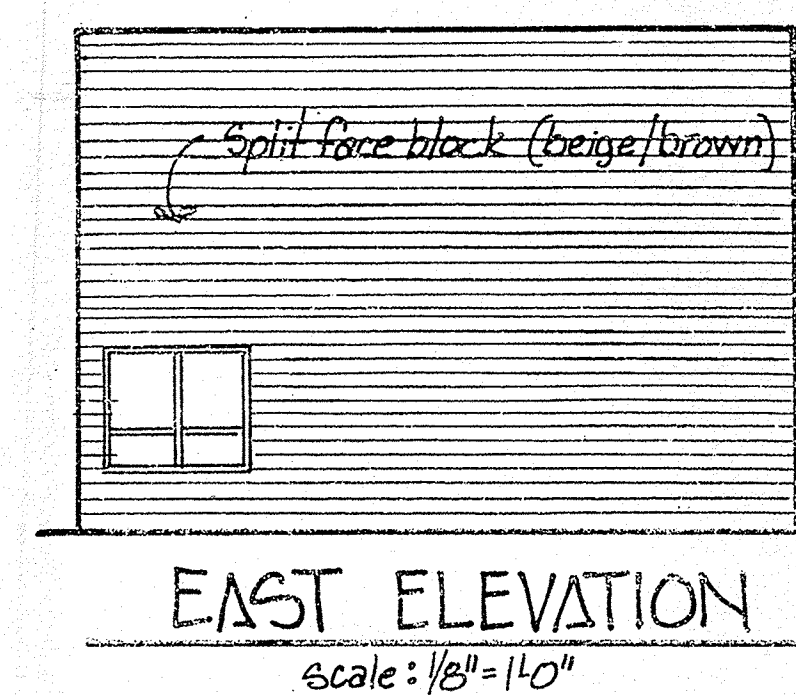
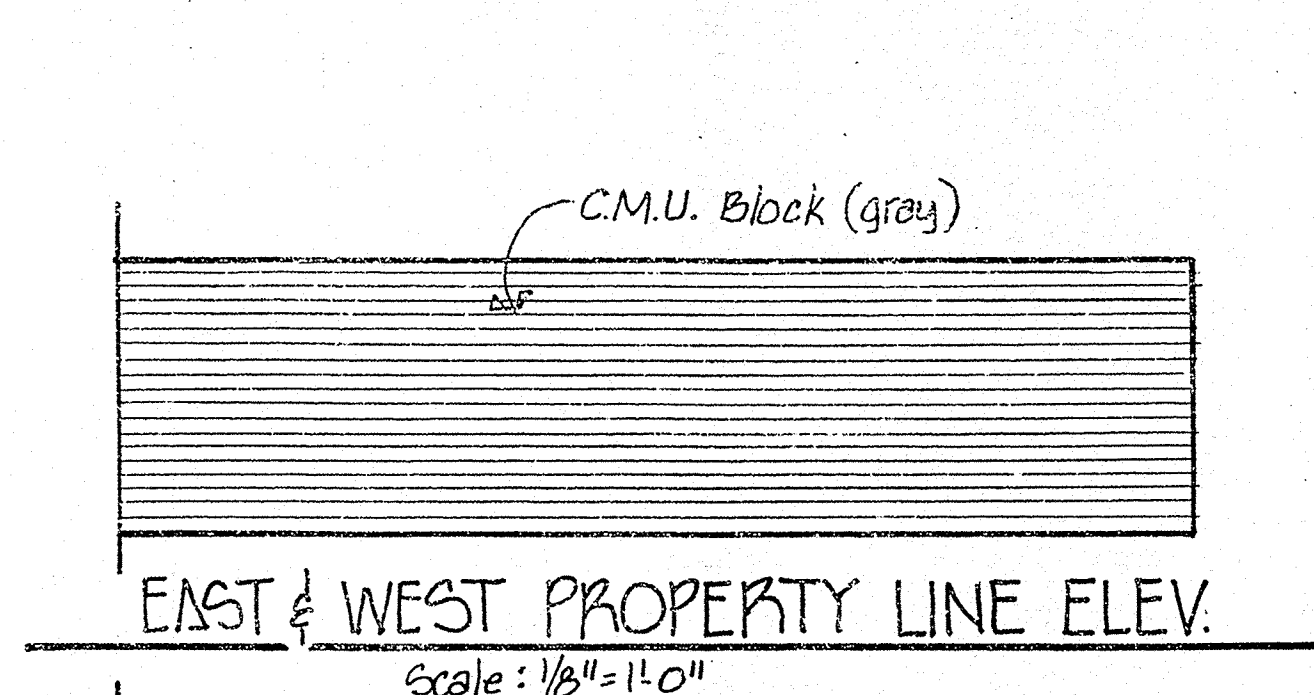
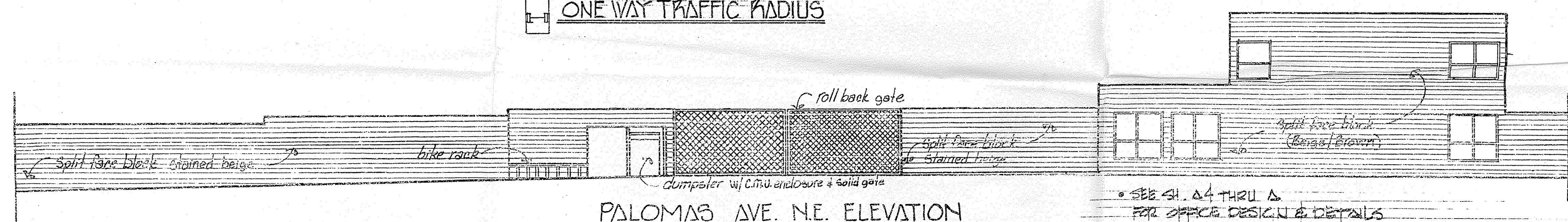
MECHENBIER CONSTRUCTION

GRADING AND DRAINAGE PLAN

Date:	No.	Revised:	Date:	Job No.
12-28-07				1611
Drawn By:				CG-101
Ckd By:				SH, OF



Site contains: 154,440 sq feet
 Storage units: Phase one = 44,450 #
 Storage units: Phase two = 34,890 #
 Storage units: total Phase one & two = 79,340
 Office and Mgr. residence = 2500 #



DESIGN CRITERIA

Address:
 legal description:
 lot numbered 13, 14, 19 and 20
 Block numbered 11
 North Albuquerque Acres
 Bernalillo County,
 New Mexico

Zoned = O-1
 Type of construction = 2N
 Type of occupancy = B2

Phase One Development
 6'-10" x 30' storage units 155
 35'-10" x 20' storage units 200
 162'-10" x 15.5' storage units 155
 12'-10" x 10.5' storage units 115
 36'-10" x 10' storage units 100
 18'-6" x 10' storage units 90
 4'-5" x 5' storage units 58 P.V. Parking spaces

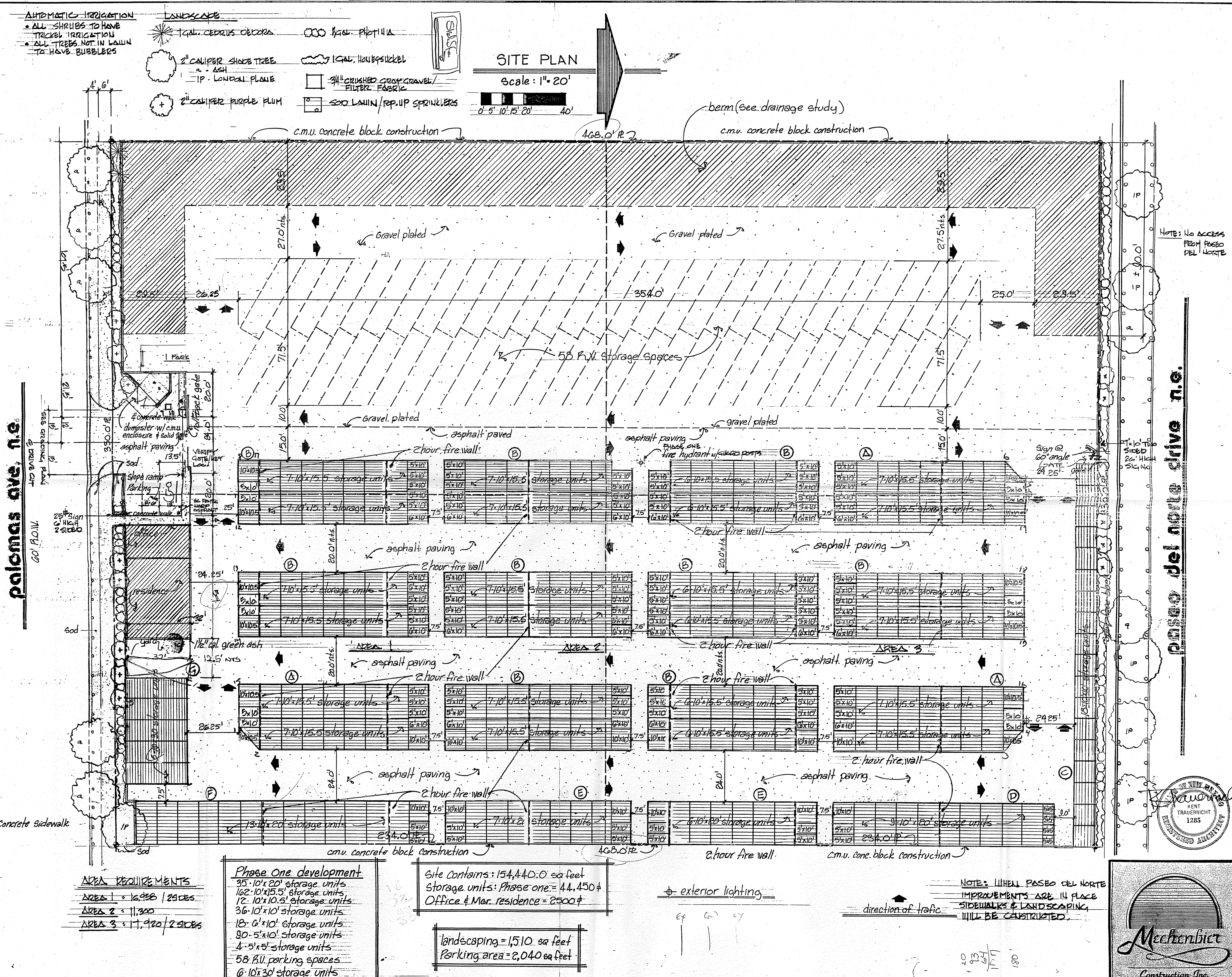
Phase Two Development
 8'-10" x 30' storage units
 62'-10" x 20' storage units
 54'-10" x 16.5' storage units
 4'-10" x 10.5' storage units
 32'-10" x 10' storage units / 29'-10" x 14' storage units
 6'-6" x 10' storage units / 6'-9" x 10' storage units
 60'-5" x 10' storage units / 4'-5" x 5' storage units

Total Development of Phase One & Two
 14'-10" x 30' storage units
 97'-10" x 20' storage units
 216'-10" x 15.5' storage units
 16'-10" x 10.5' storage units
 68'-10" x 10' storage units / 29'-10" x 14' storage units
 24'-6" x 10' storage units / 6'-9" x 10' storage units
 150'-5" x 10' storage units / 4'-5" x 5' storage units

PHASE I ONLY - 2-90-22

I hereby certify that this site development plan is in accordance with the environmental planning Commission's decision of 8-9-90 and is approved as to requirements.

<i>Frank Cloud</i> Planning Director	4-30-91 date
<i>Tom Ogawa</i> City Engineer	4-22-91 date
<i>Robert W. Kane</i> Utilities Development Division	12-4-90 date
<i>Michael Decker</i> Transportation Development Division	12-4-90 date
<i>Devin Stone</i> Parks and Recreation Department	12/14/90 date
<i>N/A</i> Solid Waste Department	date

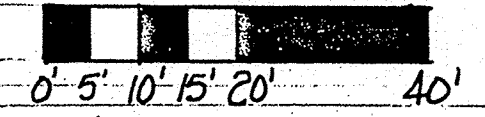


LANDSCAPE
• ALL SHRUBS TO HAVE TRICKLE IRRIGATION
• ALL TREES NOT IN LAWN TO HAVE BUBBLERS

- 1 GAL. CEDRUS OLIVERA
- 2" CALIF. SHADY TREE
- 1" P. LONGBAL PLANE
- 2" CALIF. PURPLE PLUM
- 1 GAL. HONKESICKEL
- 3/4" CRUSHED GRAY GRAVEL / FILTER FABRIC
- SOD LAWN / R.P. SPRINKLERS

SITE PLAN

Scale: 1"=20'



berm (see drainage study)
c.m.u. concrete block construction

NOTE: NO ACCESS FROM PASO DEL NORTE

Paseo del Norte Drive n.e.

Palomas Ave. n.e.

AREA REQUIREMENTS
AREA 1 = 16,980 / 23 CUBES
AREA 2 = 11,300
AREA 3 = 11,920 / 23 CUBES

Phase One development
35' 10" x 20' storage units
162' 10" x 15.5' storage units
12' 10" x 10.5' storage units
36' 10" x 10' storage units
18' 6" x 10' storage units
90' 5" x 10' storage units
4' 5" x 5' storage units
58 P.V. parking spaces
6' 10" x 30' storage units

Site contains: 154,440.0 sq feet
Storage units: Phase one = 44,450 sq feet
Office & Mor. residence = 2500 sq feet

landscaping = 1,510 sq feet
Parking area = 2,040 sq feet

exterior lighting

direction of traffic

NOTE: WHEN PASO DEL NORTE IMPROVEMENTS ARE IN PLACE SIDEWALKS & LANDSCAPING WILL BE CONSTRUCTED.

