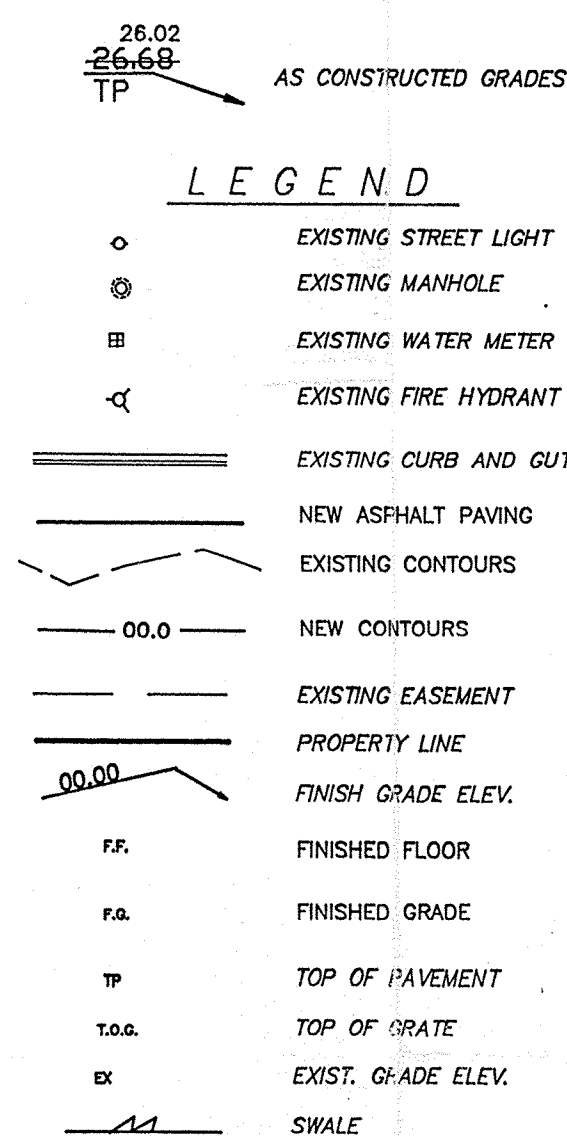
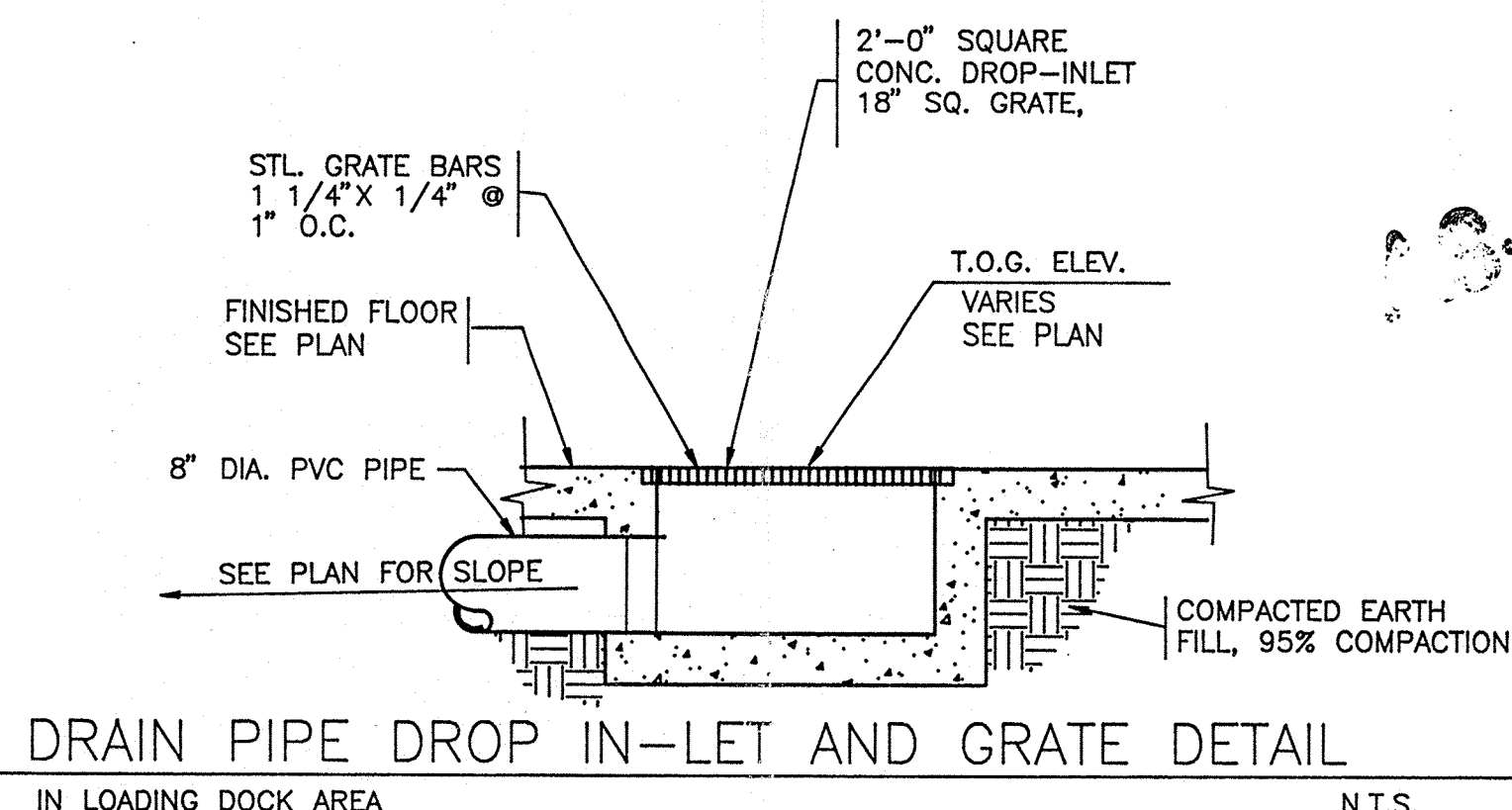
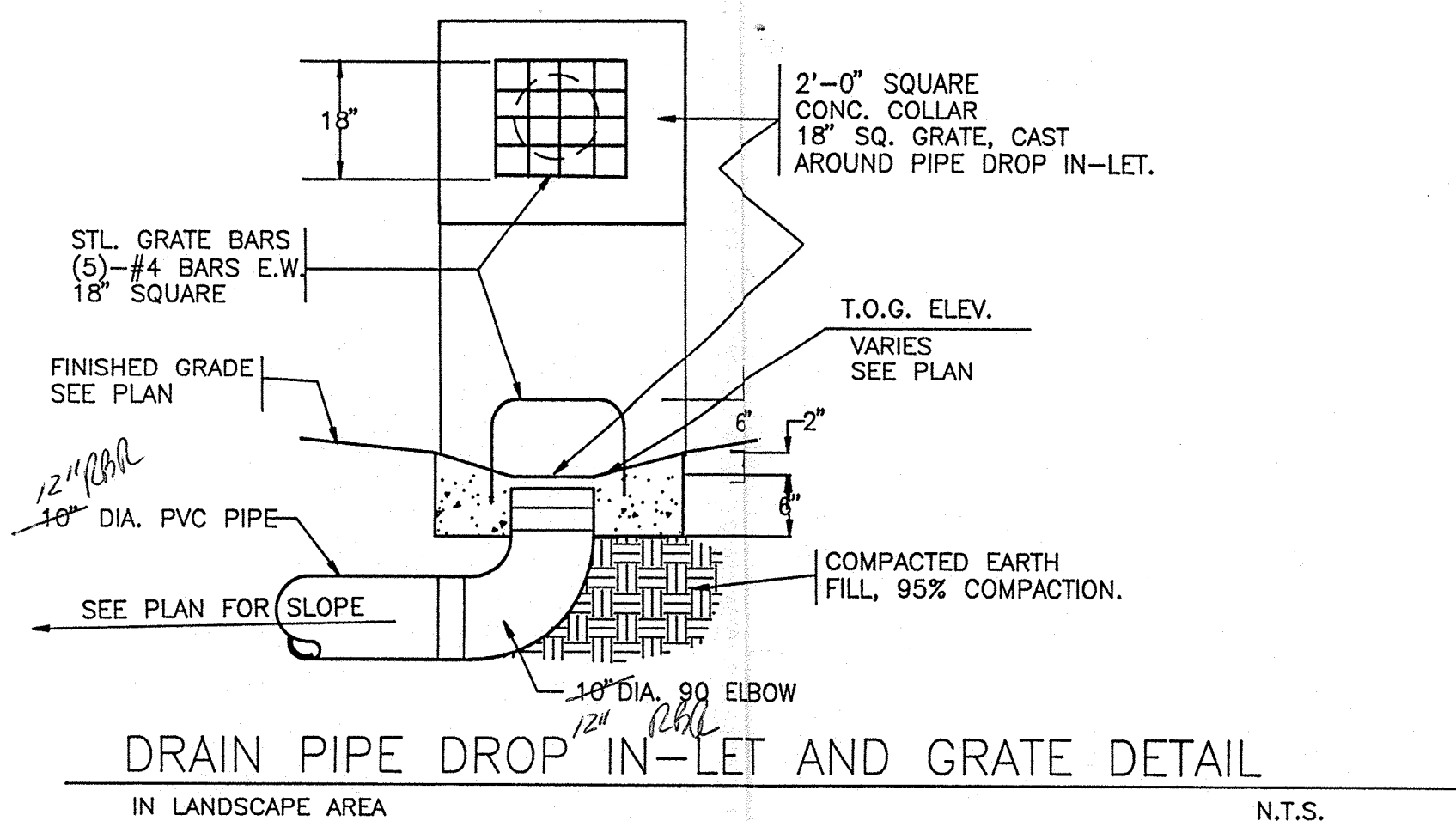
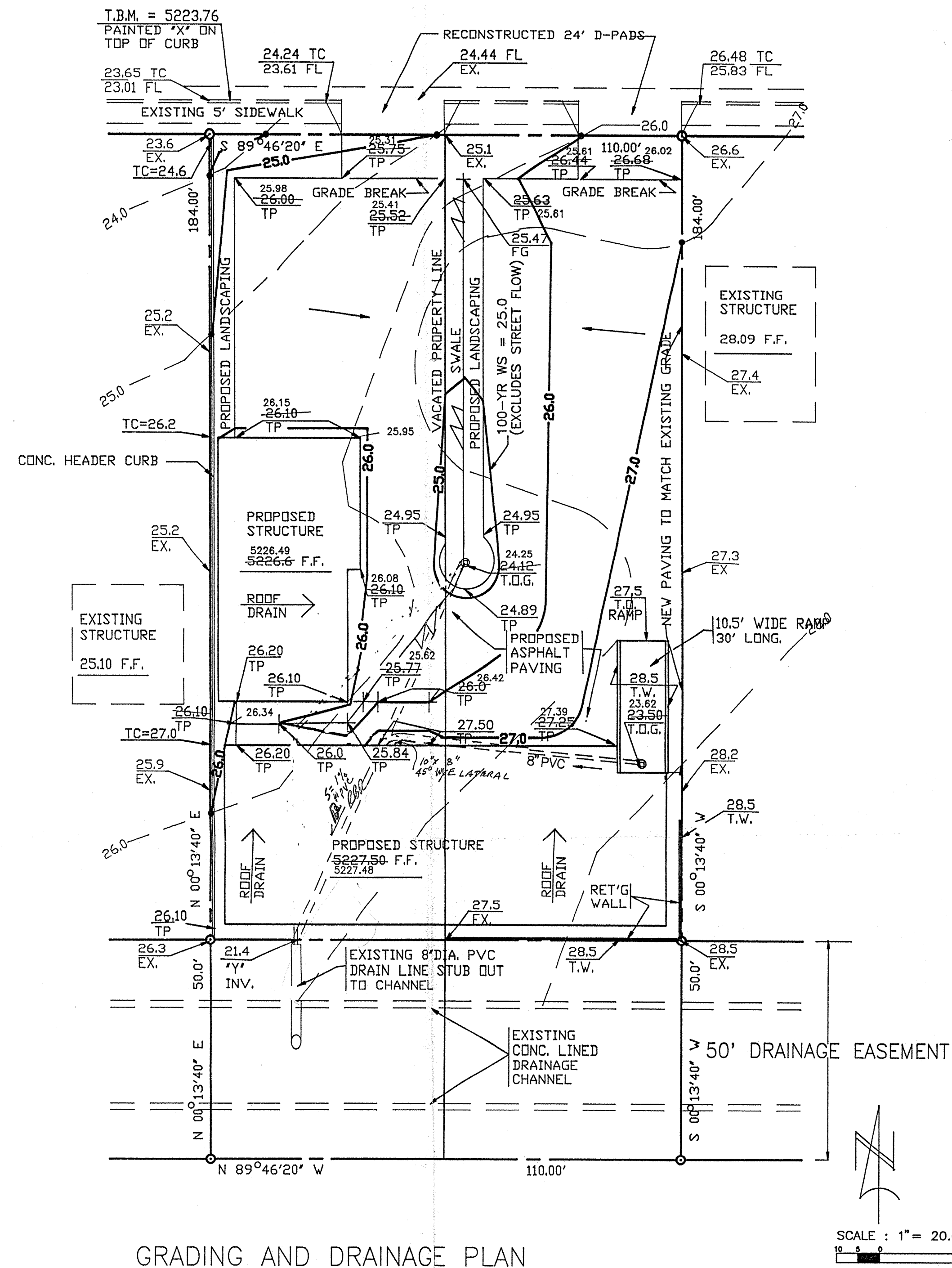
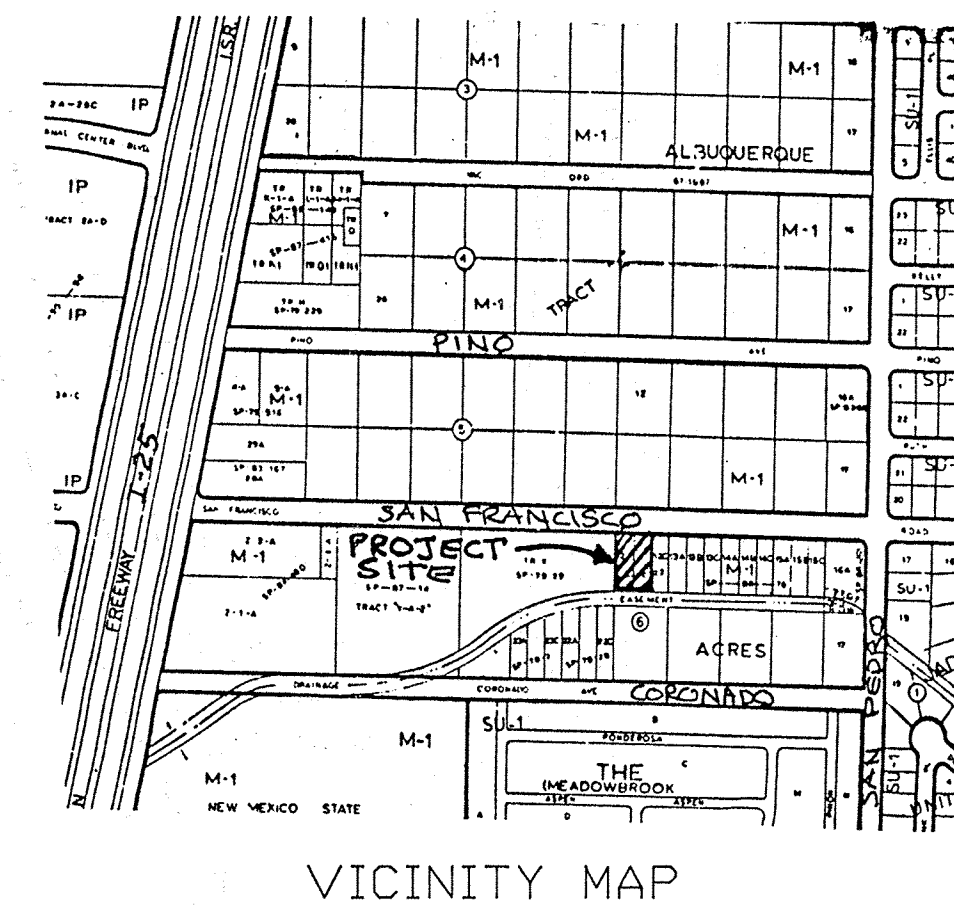


SAN FRANCISCO AVE. N.E. (60' R.O.W.)



BENCH MARK: COA BM 7-D18
MSL ELEV. = 5190.9
T.B.M. : PAINTED "X" ON TOP OF CURB NORTHWEST CORNER.



#D-18

DRAINAGE PLAN FOR
B ELECTRIC
SAN FRANCISCO AVENUE N.E.
ALBUQUERQUE N.M.

MAP NO: D-18

LEGAL DESCRIPTION: LOT 12A-1, REPLAT OF LOTS 12A & 12B REPLATTED FROM LOT 12, BLOCK 6, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES

FLOOD ZONE : PARTIAL AO-1, SHALLOW (1') FLOODING IN 100-YEAR STORM. SEE BELOW SITE DESCRIPTION: THE SITE IS AN UNDEVELOPED PARCEL IN THE FIRST BLOCK EAST OF INTERSTATE 25 AND HAS M-1 ZONING. THE SITE FRONTS ON SAN FRANCISCO AVE. ON THE NORTH AND BACKS ONTO A RECENTLY CONSTRUCTED CONCRETE-LINED DRAINAGE CHANNEL ON THE SOUTH. THE REAR 50 FEET OF THE SITE IS IN THE DRAINAGE EASEMENT FOR THE CHANNEL. THE NATURAL SLOPE OF THE LAND IS DOWNWARD TOWARD THE NORTHWEST AT SLIGHTLY OVER TWO PERCENT. APPROXIMATELY 6000 SF OF THE SITE ADJACENT ON THE EAST CONTRIBUTES RUNOFF TO THE PROJECT SITE.

PROPOSED IMPROVEMENTS: THE SITE WILL BE DEVELOPED FOR OFFICE AND STORAGE FOR AN ELECTRICAL CONTRACTOR. PART OF USABLE PART OF THE SITE WILL BE LANDSCAPED BUT MOST WILL BE COVERED WITH ROOFS OR PAVEMENT. BECAUSE SAN FRANCISCO AVE. IS IN A SHALLOW FLOOD ZONE THE SITE WILL DRAIN TO THE CHANNEL, WHICH IS A REVERSAL OF THE NATURAL DIRECTION. TO ACCOMPLISH THIS, THE FRONT OF THE SITE IS RAISED - CREATING MORE OF A WATER BLOCK - AND THE SITE IS GRADED TO A LANDSCAPE AREA IN THE MIDDLE OF THE SITE. THIS WILL DRAIN VIA A 10-INCH PVC PIPE WHICH PASSES UNDER A PROPOSED BUILDING AND CONNECTS TO AN EXISTING STUB-OUT FROM THE CHANNEL. A SECOND PVC PIPE (8 IN) DRAINS A LOADING DOCK AND CONNECTS TO THE FIRST LINE.

HYDROLOGY CALCULATIONS & RESULTS

1. METHODOLOGY: CITY OF ALBUQUERQUE DPM SECTION 22.2, JANUARY 1993
METHOD FOR AREAS <= 40 ACRES

2. NOTE: SEE DRAINAGE FILE FOR DETAILS

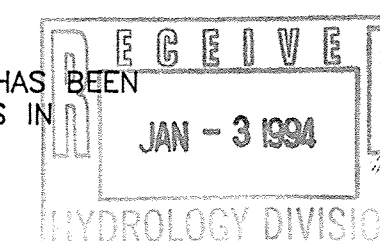
3. RAINFALL ZONE 2: DESIGN STORM (100-YEAR) = 2.35 INCHES IN 6 HOURS
LAND TREATMENT CLASS A B C D
PRECIPITATION EXCESS, UNIFORM INCHES 0.53 0.78 1.13 2.12
PEAK FLOW RATE (QPEAK), CFS/AC 1.56 2.28 3.14 4.70
A=NATURAL, B=LANDSCAPED, C=PACKED DIRT, D=ROOFS & ROADS

4. RESULTS
TREATMENT A, AC-% EXISTING 100.0 PROPOSED 0.0 OFFSITE 0.0
TREATMENT B, AC-% 0.0000 0.0 0.0439 7.4 0.0000 0.0
TREATMENT C, AC-% 0.0000 0.0 0.0000 0.0 0.1177 85.4
TREATMENT D, AC-% 0.0000 0.0 0.5470 92.6 0.0201 14.6
TOTAL AC-% 0.5909 100.0 0.5909 100.0 0.1378 100.0
Q PEAK, CFS 0.92 2.67 0.46
VOLUME, AC-FT 0.026 0.100 0.015

REVISION #1 - DECEMBER 27, 1993

THIS REVISION HAS BEEN REQUIRED DUE TO CHANGE IN WAREHOUSE BUILDING SIZE FROM THAT SHOWN ON THE APPROVED PLAN STAMPED 7-16-93. THIS CHANGE DOES NOT INCREASE RUNOFF VOLUMES OR PEAK DISCHARGE NOR DOES IT SIGNIFICANTLY CHANGE PREVIOUSLY APPROVED GRADES.

I, ROBERT B. RYALS, A REGISTERED PROFESSIONAL ENGINEER, DULY QUALIFIED IN THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THE LOCATION OF GRADING AND DRAINAGE IMPROVEMENTS SHOWN HEREON HAS BEEN FIELD VERIFIED AND THAT CONSTRUCTION OF THESE IMPROVEMENTS WAS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN.
ROBERT B. RYALS, P.E.



| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | | | |
|---|--------------|------|--------------|----------|------|
| TITLE: DRAINAGE PLAN FOR 6000 SAN FRANCISCO N.E., ALB., N.M. | | | | | |
| APPROVALS | ENGINEER | DATE | APPROVALS | ENGINEER | DATE |
| DRC CHAIR | | | WATER | | |
| TRANSPORTATION | | | WASTEWATER | | |
| HYDROLOGY | | | | | |
| PARKS & REC | | | | | |
| DRAWING NO. | MAP NO. D-18 | | SHEET 1 OF 1 | | |

D18-D28: 1/1