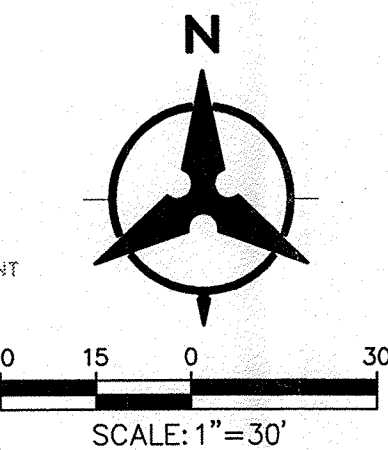
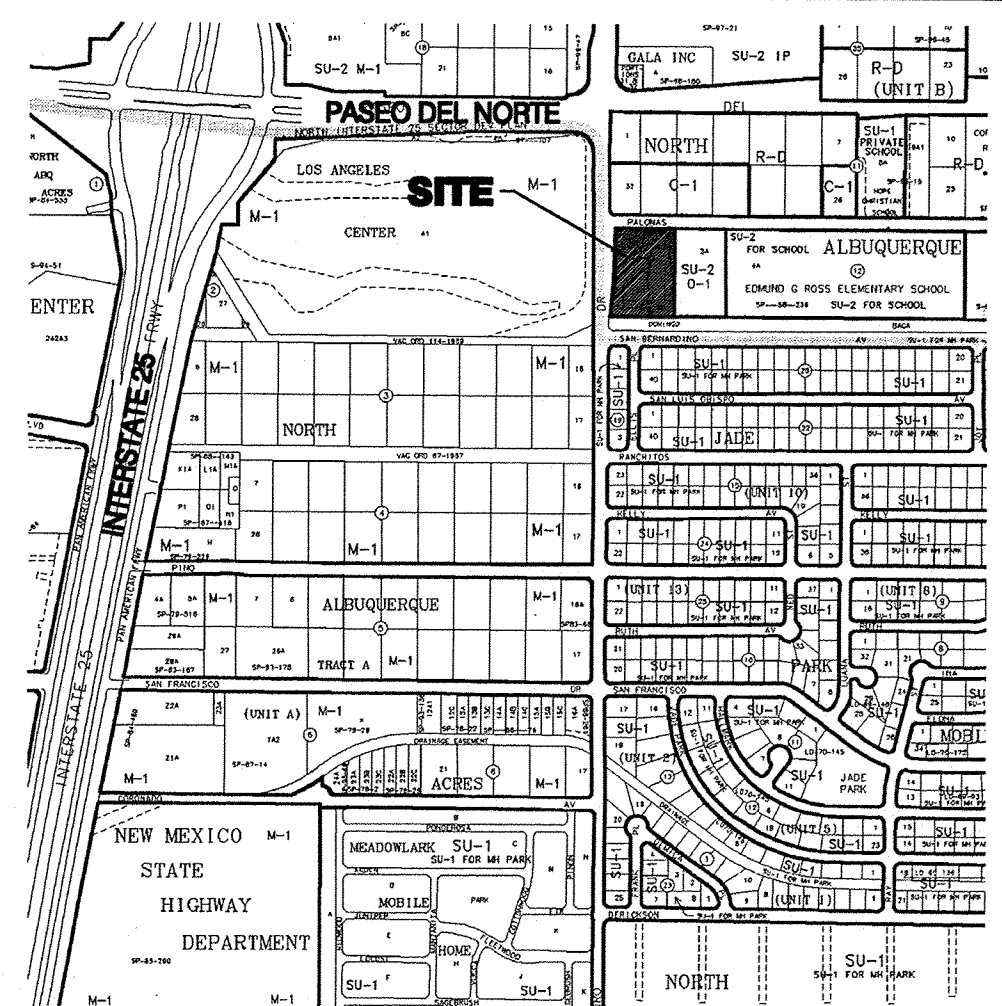


LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB; FL=FLOW LINE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- EX=EXISTING, TG=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL



- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE



VICINITY MAP

ZONE ATLAS PAGE D-18-Z

LEGAL DESCRIPTION

LOT 1-A, BLOCK 12, TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION, AS OF THE DATE OF THESE PLANS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

Bohannon & Huston

Courtney I 7600 Jefferson St. NE Albuquerque, NM 87109-4395

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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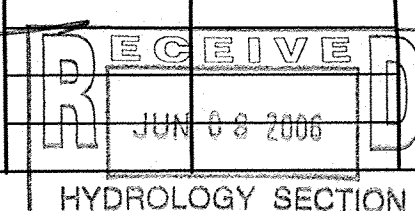
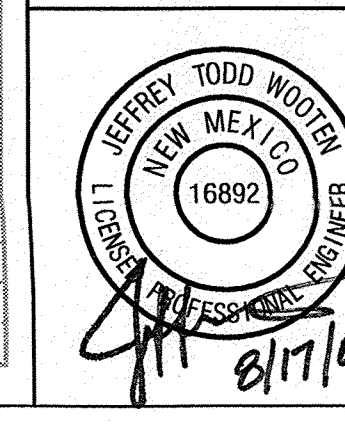
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87106
TELE. (505) 255-8668 FAX (505) 268-6665



PALOMAS PLAZA

GRADING & DRAINAGE PLAN

REV. #	DATE	PROJECT #
060012		060012
DWN BY: CW		
CHK BY: JTW		
DATE: 04/21/05		



C101
OF

HYDROLOGY SECTION

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCLUDED TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCLUDED IN THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- .005' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- .005' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NOTICE TO CONTRACTORS

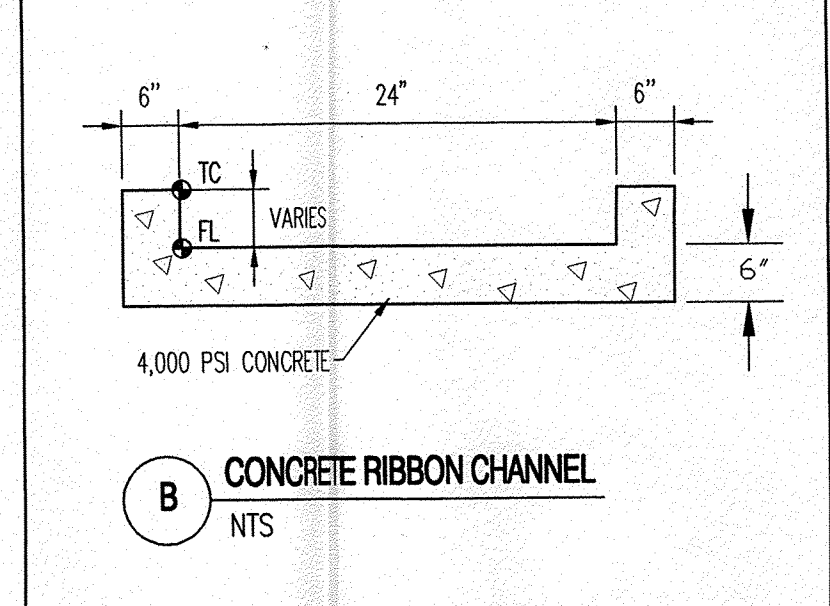
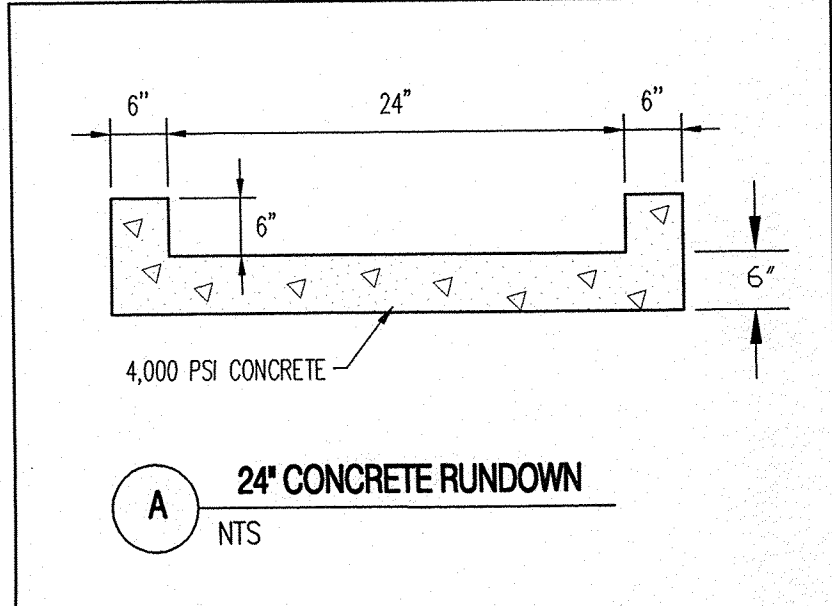
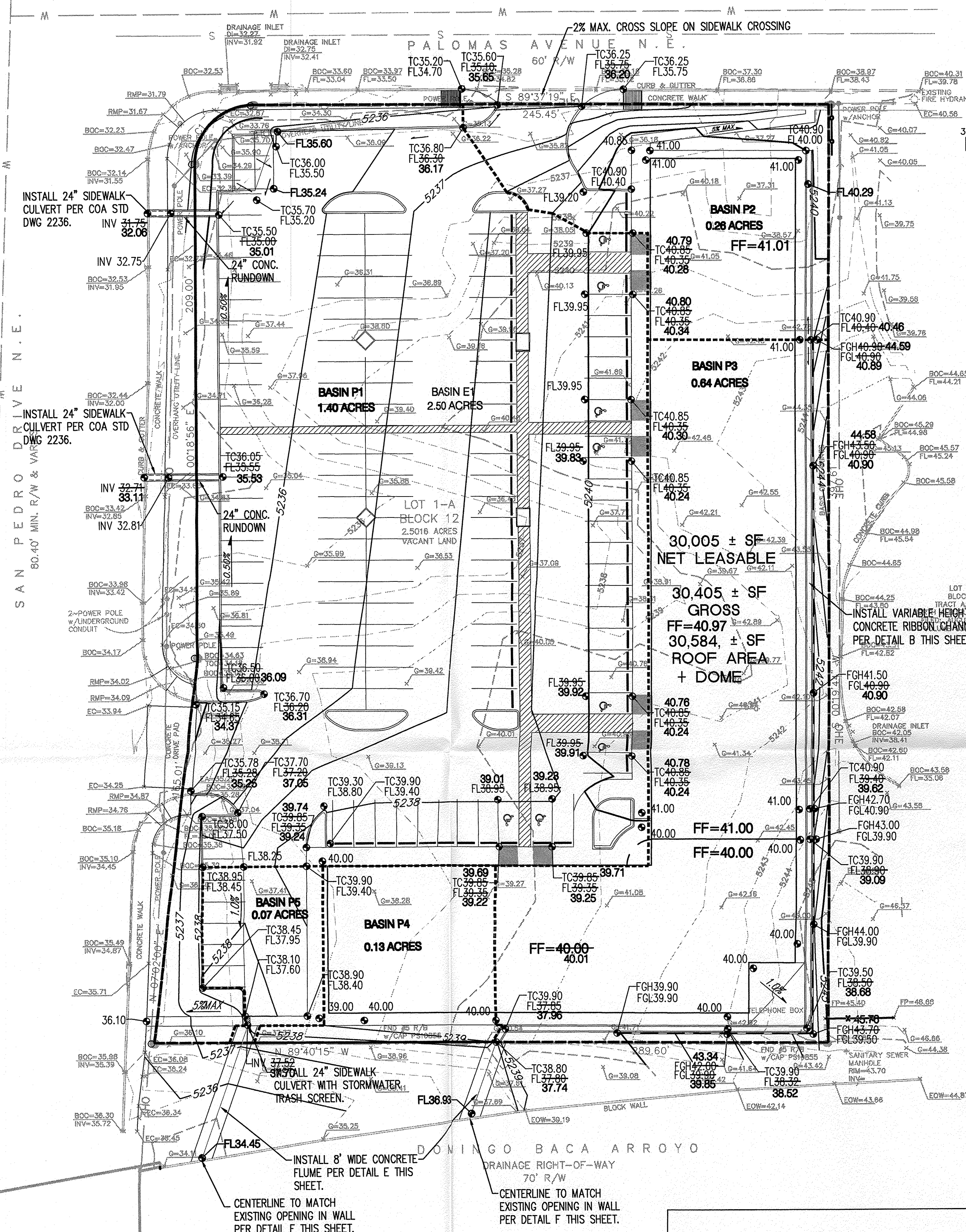
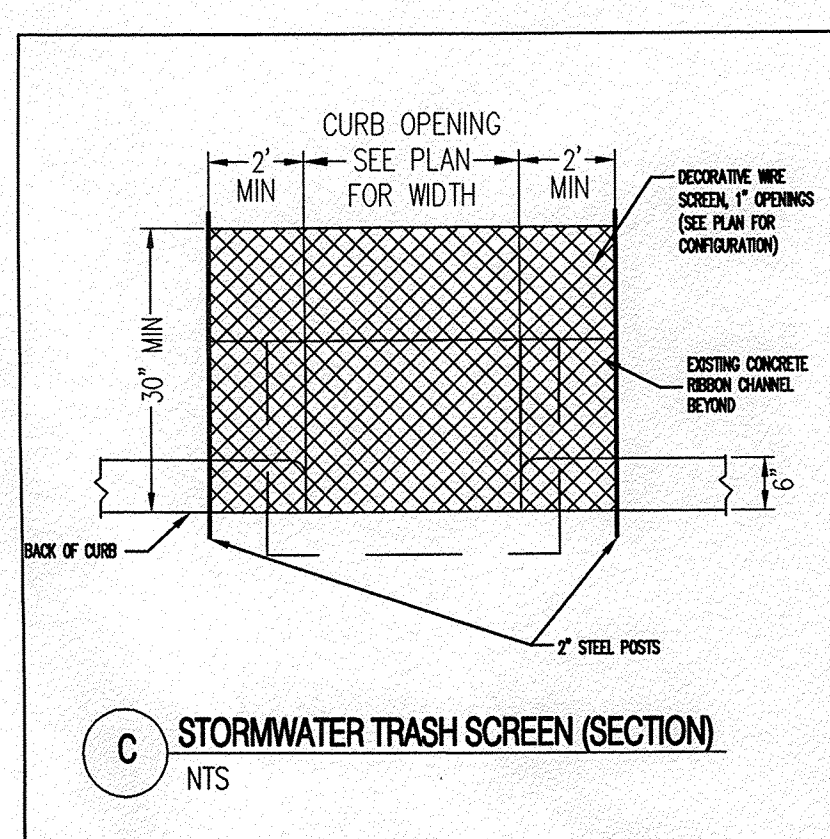
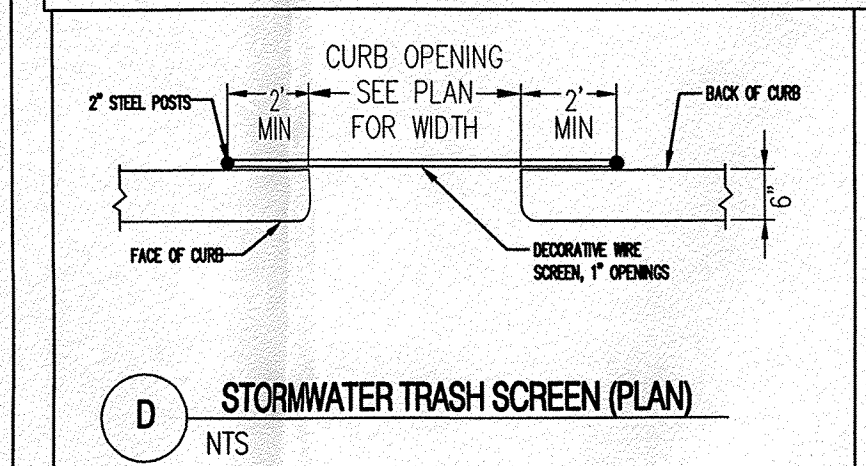
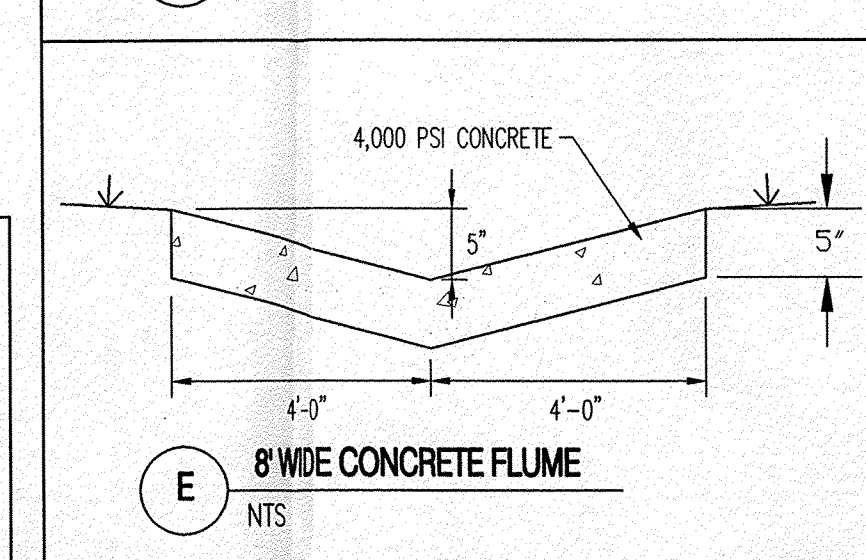
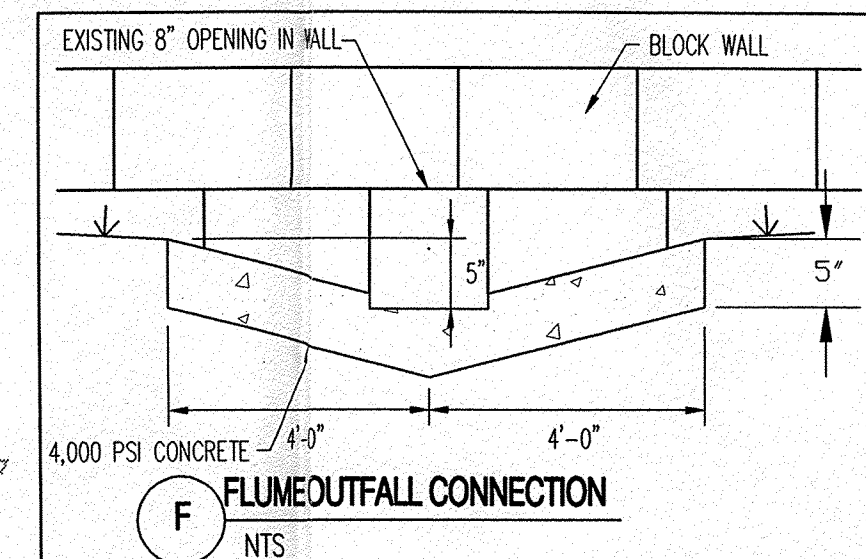
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

Palomas Plaza

Basin Data Table

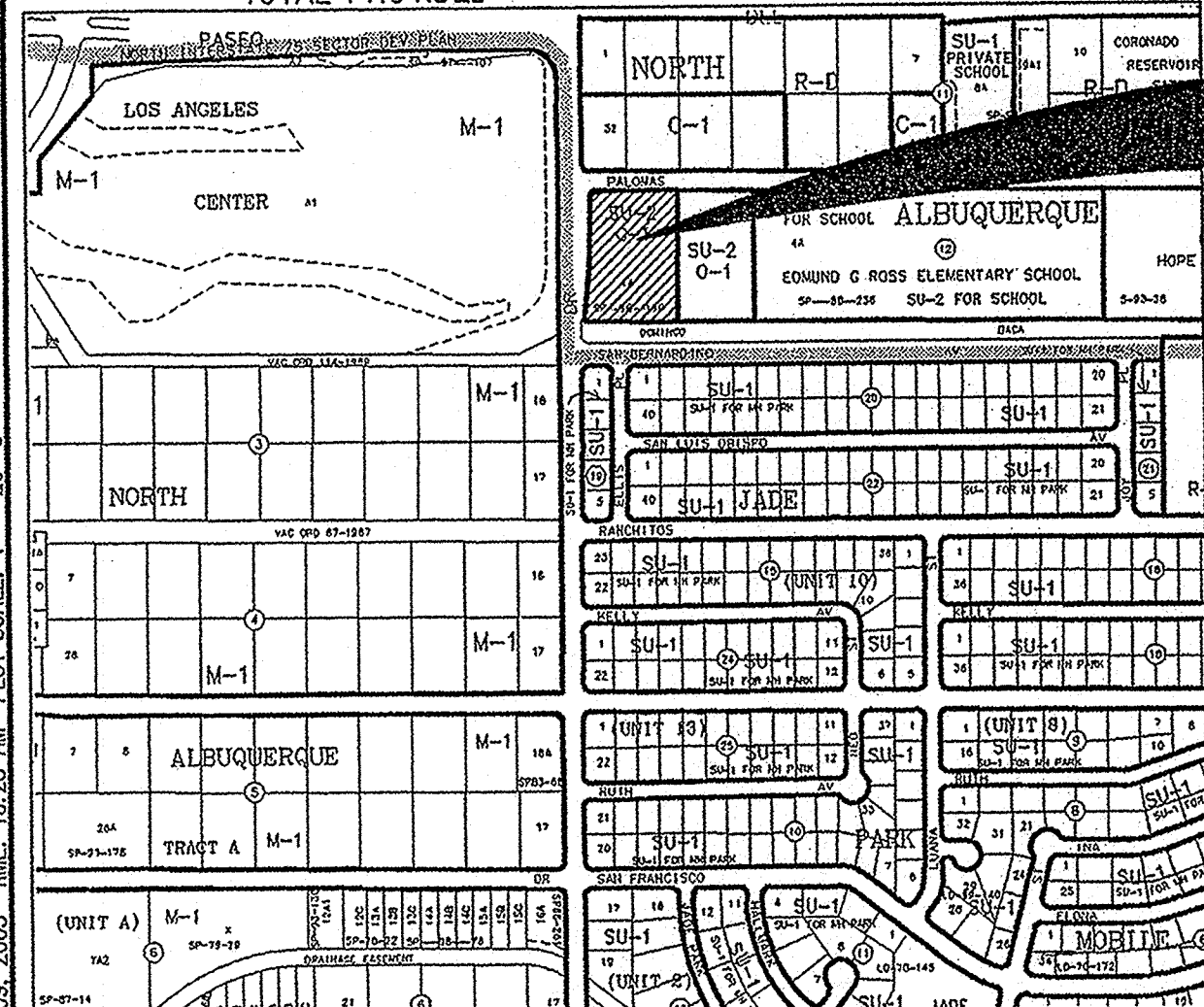
Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 3										
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (inches)	V(100) (C)
			A	B	C	D				
Existing Conditions										
E1	108968	2.50	5.0%	0.0%	95.0%	0.0%	3.37	8.43	1.26	11428
TOTAL	108968	2.50	5.0%	0.0%	95.0%	0.0%	3.37	8.43	1.26	11428
Proposed Conditions										
P1	60953.56	1.40	0.0%	20.0%	0.0%	80.0%	4.54	6.35	2.07	10525
P2	11152.22	0.26	0.0%	5.0%	5.0%	90.0%	4.82	1.23	2.23	2077
P3	27823.52	0.64	0.0%	5.0%	0.0%	95.0%	4.90	3.13	2.29	5305
P4	5780.968	0.13	0.0%	5.0%	0.0%	95.0%	4.90	0.65	2.29	1102
P5	3255.355	0.07	0.0%	3.0%	0.0%	97.0%	4.95	0.37	2.32	629
TOTAL	108965.6	2.50	0.0%	7.6%	1.0%	91.4%	4.82	11.73	11.20	19637



1. ALL BUILDING DIMENSIONS TO FINISH FACE OF EXTERIOR WALLS, UNO.
2. SITE AREA IS 2.5016 ACRES
3. SITE IS ZONED SU-2/ C1
4. SITE USE IS FOR SHOPPING CENTER
5. ALLOWABLE BUILDING HEIGHT IS 26'-0".
PROPOSED BUILDING HEIGHT IS 20'-0" + DOME @ 10'-0" ADDED.
6. DOORS SHOWN ARE SUBJECT TO INDIVIDUAL TENANT REQUIREMENTS.
7. COORDINATE LOCATION OF ACCESSIBLE CAR & VAN STALLS & SLOPED SIDEWALK WITH LOCATION OF TENANT DOORS SO THAT RAMPS ARE NOT IN LINE WITH DOORS.

1. EXISTING CONCRETE CURB, GUTTER & 8 FT. WIDE SIDEWALK
2. NEW CONCRETE CURB, GUTTER & SIDEWALK
3. 10 FT. REQUIRED PLANTING STRIP - SEE L101
4. CURB & PLANTER - SEE L101
5. NEW 24 IN. SIDEWALK CULVERT - SEE CIVIL
6. CONCRETE CURB
7. PRE-CAST CONCRETE WHEEL GUARD - TYPICAL
8. 5 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT, UNO, WITH 3 IN. WHITE STRIPES @ 12" O.C.
9. 2 FT. HIGH CONCRETE RETAINING WALL
10. PLANTING - SEE L101
11. 5 FT. WIDE CONCRETE SIDEWALK
12. 6 FT. REQUIRED PLANTING STRIP - SEE L101
13. 8 FT. WIDE CONCRETE SIDEWALK
14. 2 RISER CONCRETE STAIR w/ FREE STANDING 1 1/2 IN. DIA. STL. PIPE RAIL EA. SIDE
15. ASPHALT PAVING
16. 2 - DUMPSER CONC. BLOCK ENCLOSURE w/ 2-PAIR METAL GATES - SEE A1/ C201
17. 2 FT. HIGH & WIDE CONCRETE RETAINING WALL FOR SITTING
18. DISABLED INTERNATIONAL SYMBOL PAINTED IN BLUE ON ASPHALT - SEE C201
19. STANDARD DISABLED SIGN - SEE C201
20. VAN DISABLED SIGN - SEE C201
21. BICYCLE RACK - 7 SPACES, 6 FT. LONG x 3 FT. HIGH
22. STOP SIGN PER CITY STANDARD.
23. CURB RAMP PER CITY STANDARDS
24. SLOPING SIDEWALK (RAMP UP)
25. CONCRETE FOOTING & CMU RETAINING WALL. 6 FT. HIGH MAX. (VARIES)
26. BENCH
27. 3 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT WITH 3 IN. WHITE STRIPES
28. PAVED PATIO w/ PATTERNED CONCRETE
29. EXISTING FIRE HYDRANT
30. NEW FIRE HYDRANT
31. "PALOMAS PLAZA" SIGN - 4 FT. HIGH x 15 FT LONG, 60 SF.
32. CONCRETE CURB WITH 4" WIDE DRAIN CUT-OUTS @ 18'-0" ± O.C.
33. REPLACE (E) CURB RAMP w/ NEW CURB RAMP PER CITY STANDARD
34. 1 1/2" STEEL PIPE RAIL - EACH SIDE
35. 5 FT. OR 8 FT. WIDE ACCESS AISLE WITH 3 IN. BLUE STRIPES
36. SIDEWALK RAMP PER CITY STANDARDS
37. 3" WHITE PAINTED STRIPE
38. CONTROL JOINT @ 18'-0" O.C.
39. EXPANSION JOINT @ 36'-0" O.C.
40. 3'-0" WIDE CONCRETE RIBBON CHANNEL - SEE CIVIL
41. INSTALL 24" SIDEWALK CULVERT
42. INSTALL 8" WIDE FLUME - SEE CIVIL

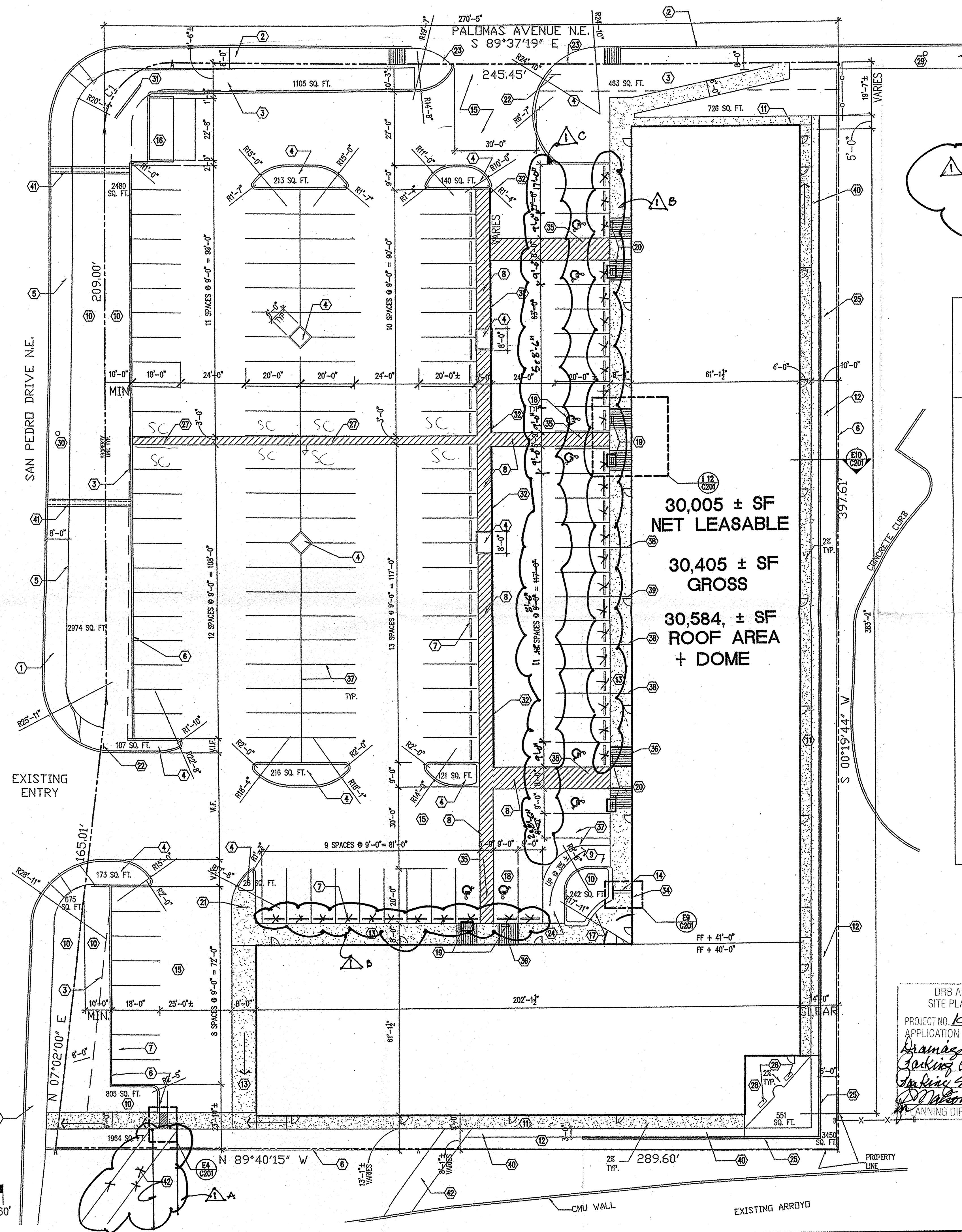
REQUIRED PARKING SPACES
(14-16-3-1 (A) (27)RETAIL) 1/200 SF 1ST 15000 SF = 75 SPACES
1/250 SF NEXT 15005 SF= 60 SPACES
TOTAL REQUIRED 135 SPACES
TOTAL PROVIDED 137 SPACES
HC REQUIRED [14-16-3-1(E)(8)(a)] 8 SPACES
TOTAL PROVIDED= 8 SPACES
BICYCLE RACK SPACES REQUIRED
@ 1:20 PARKING SPACES REQUIRED= 7 SPACES
[14-16-3-1(B)(3)]
TOTAL PROVIDED 7 SPACES



$1'' = 20'$	A101
-------------	------

0' 10' 20' 60'

GRAPHIC SCALE: 1"=20'-0"




1. A. ADJUSTED FLUME ORIENTATION
- B. DELETED PARKING BUMPERS AT SIDEWALK
- C. ADJUSTED STANDARD PARKING SPACE TO 8'6" +,
SO AS TO ALIGN HC RAMP BETWEEN SHOP ENTRY DOORS
(ADDING 1 PARKING SPACE)

<p>7-13-05</p> <p>Traffic Engineering, Transportation Division</p> <p><i>[Signature]</i></p>	<p>DATE</p> <p>8-18-05</p>
<p>UTILITY DEVELOPMENT</p> <p><i>Christina Sandoval</i></p>	<p>DATE</p> <p>7/13/05</p>
<p>PARKS AND CENTRAL SERVICES DEPT.</p> <p><i>Bradley L. Bjell</i></p>	<p>DATE</p> <p>9/15/05</p>
<p>CITY ENGINEER</p> <p><i>[Signature]</i></p>	<p>DATE</p> <p><i>[Signature]</i></p>
<p>CITY ENGINEER</p> <p><i>N/A</i></p>	<p>DATE</p> <p><i>[Signature]</i></p>
<p>ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)</p> <p><i>[Signature]</i></p>	<p>DATE</p> <p>7/13/05</p>
<p>DEB CHAIR PERSON, PLANNING DEPARTMENT</p>	<p>DATE</p>

LOT NUMBERED ONE-A (1-A) IN BLOCK NUMBERED TWELVE (12) IN TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE PUBLIC RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 16, 1996 IN MAP BOOK 96C, FOLIO 392.



DATE 6/10/14 SITE DEVELOPMENT PLAN FOR SUBDIVISION


 No. 978
 REGISTERED ARCHITECT

C001

C001

2 OF 37