

Structural Design Data

1. CODES AND MANUALS - MOST STRIKING OF:
A. UNIFORM BUILDING CODE, 1997 EDITION.
B. AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION
C. BUILDING CODES, LATEST EDITION
D. NATIONAL DESIGN SPECIFICATION FOR WOOD, 1991 EDITION.

2. DESIGN LOADS:

- VERTICAL
A. DEAD LOADS - BUILDING IS DESIGNED FOR THE ACTUAL IN-PLACE WEIGHTS OF ALL MATERIALS SHOWN ON THE CONSTRUCTION DOCUMENTS.
B. LIVE LOADS:
1. ROOF (SNOW) 20 PSF (MIN-REDUCIBLE)
2. BALCONIES 60 PSF
3. CONCERNED LOAD (PER IBC 1607.3.3):
2000 LBS.
4. FLOORS 25 PSF

HORIZONTAL

- A. WIND: P = C_e C_s C_w q_w W
C_e EXPOSURE
C_s FROM UBC TABLE 23-4
C_w 1.3 (METHOD 2)
q_w 14.5 PSF (75 MPH BASIC WIND SPEED)
W = 0.092

HEIGHT PRESSURE

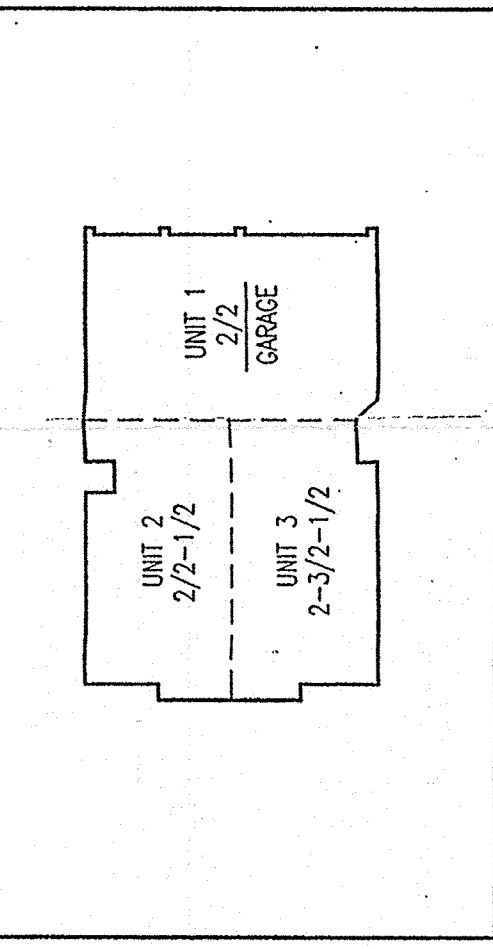
1. 25' 20.0 PSF
15-24' 22.4 PSF
25-30' 23.2 PSF

3. SEISMIC: V = Z I C W / R_w

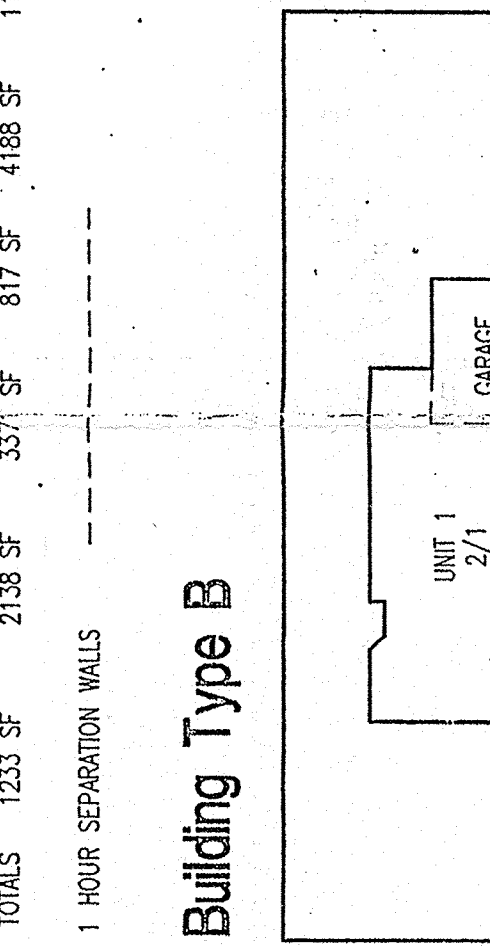
- Z 0.2 (ZONE 2B)
C 2.75 (MAXIMUM)
W 6 (LIGHT FRAMED WALLS WITH SHEAR PANELS)
R_w = 0.092

Building Types and Areas

Building Type A



Building Type B



Code Analysis - UBC 1997

- SEISMIC ZONE 2-3
OCCUPANCY CLASSIFICATIONS
APARTMENTS R-1
GARAGE M
TYPES OF CONSTRUCTION
APARTMENTS V-N
GARAGE V-N
ALLOWABLE SF.
MULTI-STORY = 6,000 SF
MAXIMUM HEIGHT OF BUILDING: R-1 = 2 STORIES
MAXIMUM HEIGHT OF BUILDING: V-N = 3 STORIES
TOTAL ALLOWABLE SF = 12,000

OCCUPANT LOAD & EXIT REQUIREMENTS

- APARTMENT (EACH UNIT)
1 287/284 UNIT: 924 SF / 200 OCC. = 5
2 287/2-1/2 UNIT: 1,144 SF / 200 OCC. = 6
3 337/334 UNIT: 1,333 SF / 200 OCC. = 7
4 (H) 337/334 UNIT: 1,333 SF / 200 OCC. = 7
RETO EXIT WIDTH @ EACH APARTMENT: 35"

APARTMENTS

- BASIC ALLOWABLE PER UBC TABLE 5-B, R-1, FOR ONE-STORY IS 6,000 SF.
ALLOWABLE PER BUILDING IS 12,000 SF PER TABLE 5-B, NO MORE THAN 3,000 SF ALLOWABLE ABOVE FIRST FLOOR IN V-N CONSTRUCTION PER 504.2.

Total Gross Floor Area

- BUILD A 54 @ 337.3 SF 18,214.2 SF
BUILD B 2 @ 1,904 SF 3,808 SF
TOTAL: 22,022.2 SF

Total Net Floor (heated space) Area

- BUILD A 54 @ 337.3 SF 18,214.2 SF
BUILD B 2 @ 1,904 SF 3,808 SF
TOTAL: 22,022.2 SF

Handicapped Accessibility Data

- REQUIRED ACCESSIBLE (H) UNITS:
PROVIDED: 166 UNITS x 2% = 4 UNITS

Project Data

- SITE DATA
LEGAL DESCRIPTION
NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, BLOCK 20, LOTS 9 THRU 10 AND LOTS 23 THRU 27 TOGETHER WITH PARCELS "B".
ZONE C-2
SITE AREA 9.2 ACRES OR 426,888 SF
DENSITY 168 UNITS AT 24,920 SF = 16.9 UNITS/ACRE
FAR .56

Landscaping and Open Space

- REQUIRED LANDSCAPING
15% OF 426,888 SF = 64,033 SF
PROVIDED LANDSCAPING
155,320 SF
OPEN AREA 67,224 SF
ROADWAY PAVING 40,824 SF
LANDSCAPE CONCRETE = 155,860 SF

Sheet Index

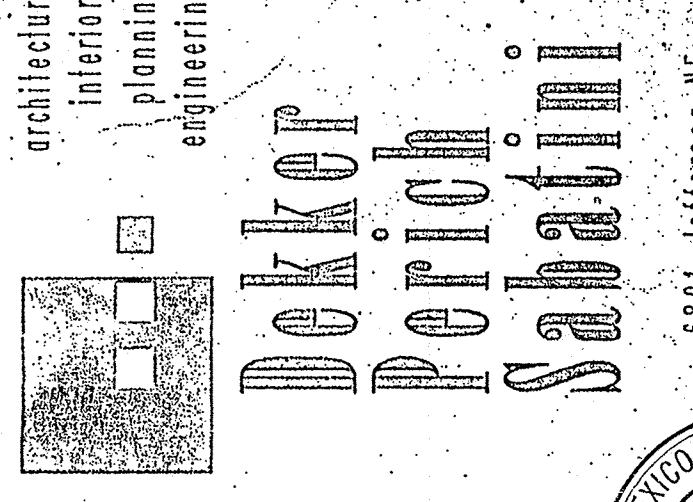
- 1 COVER SHEET
2 SITE DATA
3 LEGAL DESCRIPTION
4 ZONE
5 SITE AREA
6 DENSITY
7 FAR
8 REQUIRED LANDSCAPING
9 PROVIDED LANDSCAPING
10 OPEN AREA
11 ROADWAY PAVING
12 LANDSCAPE CONCRETE
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28 FLOOR PLANS

Keyed Notes

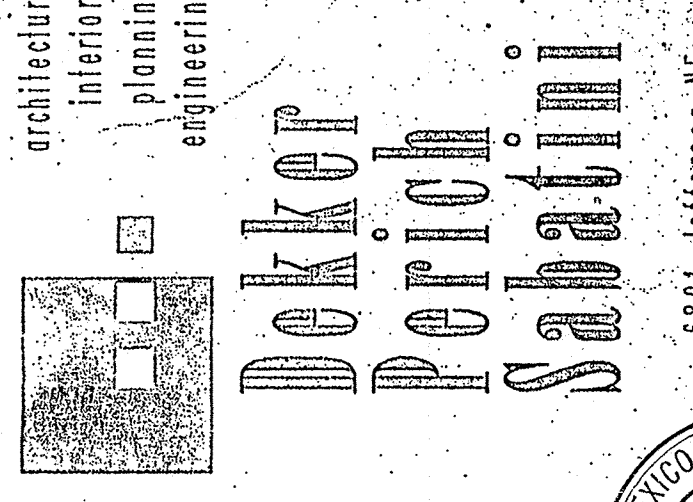
1. ASPHALT CONCRETE PAVING OVER PREPARED SUBSTRATE. REFER DET. E2/A002.
2. 4" THICK X 4'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS.
3. 4" THICK X 3'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS.
4. 3'-0" O.C. MAX. REFER DET. A6/A002.
5. 4" THICK X 4'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS.
6. 4" THICK X 3'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS.
7. 4" THICK CONCRETE DRIVEWAY, 4000 PSI, AIR ENTRAINED.
8. HANDICAP PARKING SIGN, REFER DET. D5/A002.
9. 7'-4" WIDE PAINTED STRIPING @ 18" O.C. FOR HANDICAP LOADING ZONE.
10. 4" WIDE PAINTED PARKING STRIPING.
11. 4" WIDE PAINTED PARKING STRIPING.
12. 4" WIDE PAINTED PARKING STRIPING.
13. 4" WIDE PAINTED PARKING STRIPING.
14. 4" WIDE PAINTED PARKING STRIPING.
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22. 4" WIDE PAINTED PARKING STRIPING.
23. 4" WIDE PAINTED PARKING STRIPING.
24. 4" WIDE PAINTED PARKING STRIPING.

Architecture

- interiors
planning
engineering



9011 Jefferson Ave.
Albuquerque, NM 87109
505-761-3700
505-761-1222
dps@dpsbbt.com



REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO
No. 1464

PROJECT: DR. Horton Homes Condominiums
SANTA MONICA AVENUE, ALBUQUERQUE, NEW MEXICO

DATE: JAN 18 2001
DRAWN BY: J. TRAN
CHECKED BY: J. TRAN
APPROVED BY: J. TRAN

PROJECT NO. 98008
GROWING YEARS
PROJECT NO. 02-18-00
REVISED BY: J. TRAN
DATE: 02-18-00

PROJECT DATA
Drawing Index
Vicinity Map
Site Plan

TRAFFIC CIRCULATION LAYOUT
APPROVED
DATE: 1/18/01

REVISIONS
ALBUQUERQUE BUILDING & SAFETY
JAN 18 2001
J. TRAN
PLANNING
ARCHITECT

GENERAL NOTES
1. REFER CIVIL DRAWINGS FOR BUILDING PLACEMENT & PARKING LAYOUT.
2. REFER CIVIL DRAWINGS FOR BUILDING PAD FOUNDATIONS.
3. GRADE ADJUSTMENTS: GRADE ADJUSTMENTS TO BE MADE TO THE EXISTING GRADE TO ACCOMMODATE THE BUILDING AND PLANT MATERIALS.
4. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE ANY OTHER CONSTRUCTION BEGINS.
5. ALL CONSTRUCTION AND BEFORE EMBARKMENT CO. WILL BE SCHEDULED AND REPLACED.
6. THE RESPONSIBLE PARTY MUST ACQUIRE ALL UNIMPROVED CONSTRUCTION RESULTING FROM THIS PROJECT AND BE RESPONSIBLE FOR THE COST OF CORRECTING ANY DEFECTS.
7. AS PER CODE, A ONE HOUR SEPARATION WALL IS REQUIRED TO SEPARATE UNITS FOR SOUND TRANSMISSION PURPOSES. A 2 HOUR CONSTRUCTION OF SEPARATION WALLS.
8. PROVIDE 24 HOUR FIRE DEPARTMENT ACCESS AT ENTRY GATE.
9. ALL STAIRS TO BE 4'-0" MIN. TYPICAL.
10. ALL CITY HEALTH DEPARTMENT CONSTRUCTION MUST BE COMPLETED BY THE DATE OF THE HEALTH DEPARTMENT INSPECTION.
11. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE HEALTH DEPARTMENT, MUST BE OBTAINED TO STATE THAT THIS SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE HEALTH DEPARTMENT REQUIREMENTS.
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DR. Horton Homes
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Sheet No. A001 of

HYDROLOGY SECTION
DEC 17 2001

0.810'

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11. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE HEALTH DEPARTMENT, MUST BE OBTAINED TO STATE THAT THIS SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE HEALTH DEPARTMENT REQUIREMENTS.
12. ALL CITY HEALTH DEPARTMENT CONSTRUCTION MUST BE COMPLETED BY THE DATE OF THE HEALTH DEPARTMENT INSPECTION.

CERTIFICATION FOR TRANSPORTATION
TO BE DONE FROM THIS SHEET
DATE: 1/18/01

San Antonio Condominiums
DR. Horton Homes
Albuquerque, New Mexico

Sheet No. A001 of

HYDROLOGY SECTION
DEC 17 2001

0.810'

North

REVISIONS
ALBUQUERQUE BUILDING & SAFETY
JAN 18 2001
J. TRAN
PLANNING
ARCHITECT

TRAFFIC CIRCULATION LAYOUT
APPROVED
DATE: 1/18/01

GENERAL NOTES
1. REFER CIVIL DRAWINGS FOR BUILDING PLACEMENT & PARKING LAYOUT.
2. REFER CIVIL DRAWINGS FOR BUILDING PAD FOUNDATIONS.
3. GRADE ADJUSTMENTS: GRADE ADJUSTMENTS TO BE MADE TO THE EXISTING GRADE TO ACCOMMODATE THE BUILDING AND PLANT MATERIALS.
4. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE ANY OTHER CONSTRUCTION BEGINS.
5. ALL CONSTRUCTION AND BEFORE EMBARKMENT CO. WILL BE SCHEDULED AND REPLACED.
6. THE RESPONSIBLE PARTY MUST ACQUIRE ALL UNIMPROVED CONSTRUCTION RESULTING FROM THIS PROJECT AND BE RESPONSIBLE FOR THE COST OF CORRECTING ANY DEFECTS.
7. AS PER CODE, A ONE HOUR SEPARATION WALL IS REQUIRED TO SEPARATE UNITS FOR SOUND TRANSMISSION PURPOSES. A 2 HOUR CONSTRUCTION OF SEPARATION WALLS.
8. PROVIDE 24 HOUR FIRE DEPARTMENT ACCESS AT ENTRY GATE.
9. ALL STAIRS TO BE 4'-0" MIN. TYPICAL.
10. ALL CITY HEALTH DEPARTMENT CONSTRUCTION MUST BE COMPLETED BY THE DATE OF THE HEALTH DEPARTMENT INSPECTION.
11. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE HEALTH DEPARTMENT, MUST BE OBTAINED TO STATE THAT THIS SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE HEALTH DEPARTMENT REQUIREMENTS.
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San Antonio Condominiums
DR. Horton Homes
Albuquerque, New Mexico

Sheet No. A001 of

HYDROLOGY SECTION
DEC 17 2001

0.810'

North

REVISIONS
ALBUQUERQUE BUILDING & SAFETY
JAN 1

ENGINEER'S CERTIFICATION, PHASE 1:
I, THOMAS O. ISAACSON, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT PHASE 1 CONSISTING OF UNITS 1-12, 16-19, 23, 25, AND THE CLUBHOUSE WERE COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN DATED 06/24/99 (NEW MEXICO ENGINEERING AND SURVEYING ACT, SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978)).

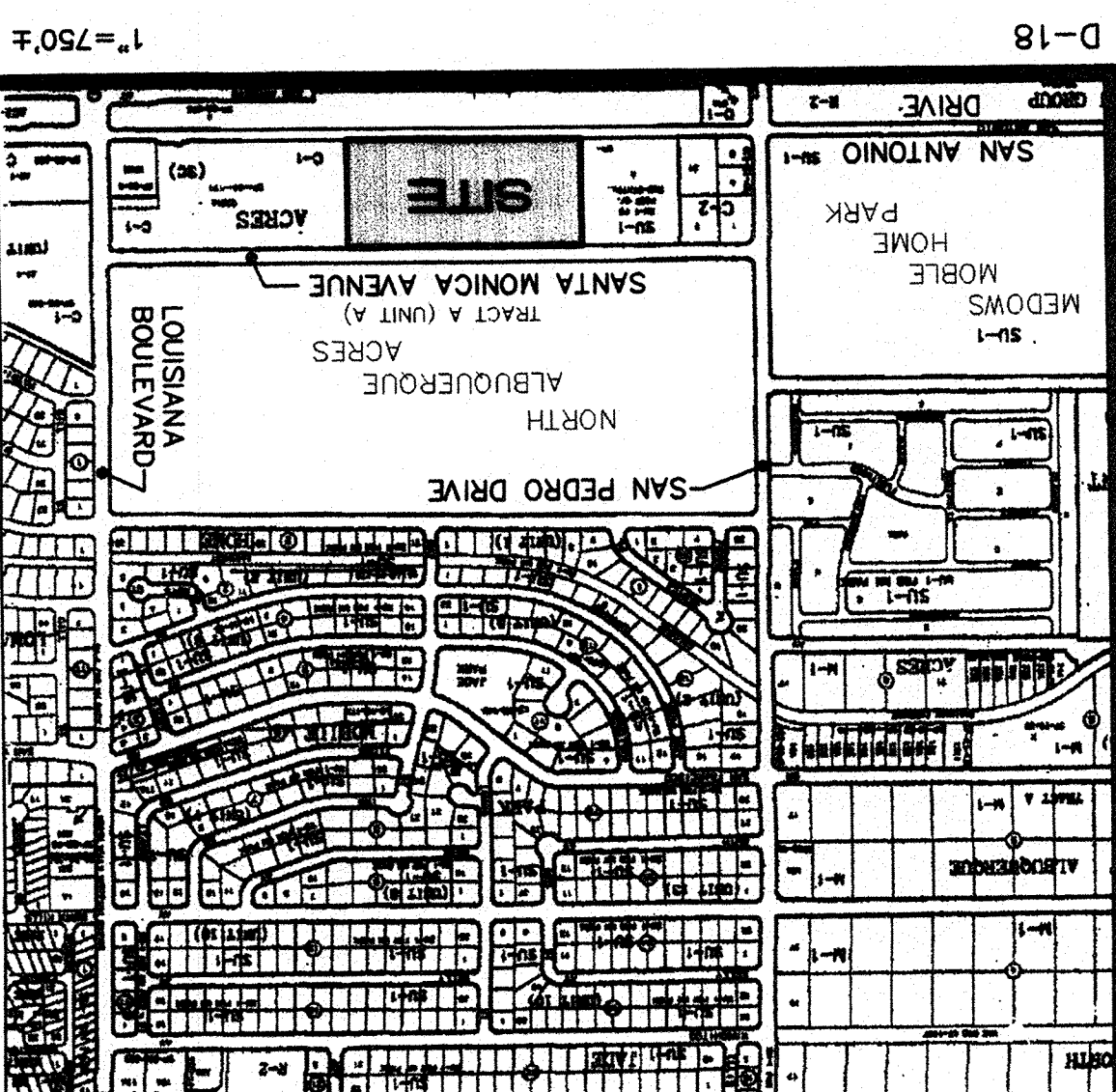
THOMAS O. ISAACSON, PE & LS NO. 3895
4/25/02
APR 25 2002
HYDROLOGY SECTION

KEYED CONSTRUCTION NOTES:
1. SCHEDULE 40 PVC DRAIN PIPE WITH 45° BEND, IN: IN = 91.5, INV. OUT = 91.2.
2. BUILD DETENTION POND RUNDOWN.
3. DRAINAGE SWALE INLET.
4. CONCRETE DRAINAGE SWALE.
5. TYPE 'A' DETENTION POND OUTLET.
6. SIDEWALK CULVERT BY STREET.
7. BUILD 20' OF DRAINAGE RUNDOWN, CONNECT TO PARKING LOT CURBING.
8. RETENTION POND CONFINEMENT WALL, TOP WALL = 33.5.
9. TYPE 'B' DETENTION POND OUTLET.
10. TYPE 'C' DETENTION POND, SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING & DRAINAGE PLAN DATED 06/24/99.

LEGEND

FINISH CONTOURS	5318
EXISTING CONTOURS	5318
FINISH SPOT ELEVATIONS	FF = 83.5
FINISH FLOOR ELEVATION	FF = 93.5
RETAINING WALL (HACHURES ON 'LOW' SIDE)	
DETENTION POND WALL	
RETAINING FENCE/WALL	
CONCRETE DRAINAGE SWALE	
DRAINAGE RUNDOWN	
VALLEY GUTTER	
CURB OPENING FOR DRAINAGE	
DRAINAGE BASIN BOUNDARY	
DRAINAGE BASIN NO.	40
TOP OF WALL ELEVATION	WSL 83.0
WATER SURFACE ELEVATION	WSL

GENERAL NOTES:
1. FINISHED SPOT ELEVATIONS SHOWN ADJACENT TO CURBS ARE LOCATED AT TOP OF PAVEMENT OR GUTTER FLOWLINE FOR TOP OF ADJACENT CURB GRADES.
2. RETAINING WALLS SHALL BE CONSTRUCTED TO A HEIGHT OF 8' BELOW TOP OF FLOOR SLABS OR ADJACENT UNITS AND 8' ABOVE ADJACENT CURB GRADES.
3. GRADING CONTRACTOR SHALL INCLUDE IN HIS BID A SEPARATE ITEM FOR REMOVING AND LEGALLY DISPOSING ALL REMAINS OF PREVIOUS DEVELOPMENT(S) ON THE PROPERTY INCLUDING ASPHALT, CONCRETE, MANHOLES, CLEANOUTS, FIRE HYDRANTS, VALVES, AND UNDERGROUND WATER, SEWER, GAS, ELECTRIC, TELEPHONE SERVICES, AND OTHER UTILITIES WHICH MAY BE PRESENT. ALL SUCH SERVICES SHALL BE CUT AND CAPPED AT THE PROPERTY LINE IN ACCORDANCE WITH THE POLICIES OF THE EFFECTED UTILITY COMPANIES.



GENERAL INFORMATION.

1. Legal Description: North Albuquerque Acres, Tract A, Unit A, Block 20, Lots 6 thru 10 and Lots 23 thru 27 together with Parcel "B".
2. Area: 9.80 Acres.
3. Survey: Boundary & Topographic Survey by Aldrich Land Surveying, December 1998.
4. Benchmark: ACS Monument "10-018", Elevation = 5319.15.
5. Flood Hazard: Per Panel 10 of the Flood Rate Insurance Maps, the site is not within any flood zone.
6. Offsite Flows: There are two minor offsite tributary areas of 0.09 acres and 0.11 acres which presently enter the site along the east boundary line.

EXISTING DRAINAGE CONDITIONS.

The site is higher than the two adjacent east-west streets, Santa Monica (to the north) and San Antonio (to the south), and site runoff drains to these two streets. There is an existing retaining wall along the west property line which intercepts sheet flow and redirects it to the north and south. The western third of the site was graded and portions paved for a previous development. Site is located in Precipitation Zone 3.
Detailed calculations for existing conditions are given in the drainage report and are summarized as follows:
100-Year Runoff to Santa Monica, Drainage Basin 3, = 12.7 cfs
100-Year Runoff to San Antonio, Drainage Basin 4, = 12.4 cfs

PROPOSED DRAINAGE PLAN.

RUNOFF TO SANTA MONICA. Santa Monica flows are intercepted by San Pedro which drains north approximately 1/2 mile to the North of Pino Arroyo. Since flows in San Pedro exceed the carrying capacity of the street, the flows will be managed so that historic flow rates are not exceeded. Flows to Santa Monica originate from Basins 10, 20, and 30 and are summarized as follows:
Low from Basin 10 (Ponded) = 2.9 cfs
Low from Basin 20 = 2.2 cfs
Low from Basin 30 = 6.8 cfs
Total = 11.9 cfs
Since existing 100-year flows from Santa Monica are 12.7 cfs the proposed plan will reduce flows by 12.7 - 11.9 = 0.8 cfs.

RUNOFF TO SAN ANTONIO. Previous developments along San Antonio have been limited to a developed runoff rate of 2.67 cfs/acre. Using this criteria, the allowed runoff to San Antonio is 3.29 acres - 1.1 cfs. Flows to San Antonio originate from Basins 40, 50, 60, and 70 and are summarized as follows:
Low from Basin 40 = 0.1 cfs
Low from Basin 50 (Ponded) = 10.7 cfs
Low from Basin 60 (Ponded) = 0.9 cfs
Low from Basin 70 = 0.5 cfs
Total = 12.2 cfs
Flows to San Antonio will be less than the allowable flows by 14.1 - 12.2 = 1.9 cfs.

Detailed analysis and calculations are given in the Drainage Report.

Grading & Drainage Plan

