

PROPERTY ADDRESS
7912 Pan American Freeway NE

LEGAL DESCRIPTION
Lots 27 & 28, Block 2, Tract "A", Unit "A"
North Albuquerque Acres

PROJECT BENCHMARK

NMSHC Brass Cap "I-25-14"
Elevation 5196.73 feet.

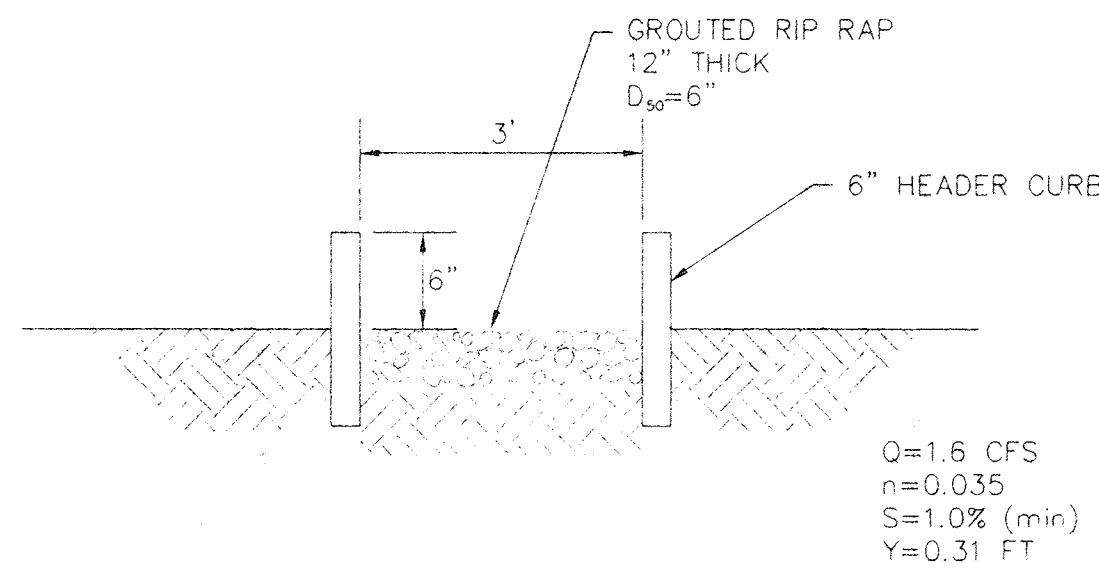
SURVEY

Topographic survey prepared by
Sandia Land Surveyors
Dated May 1999.

LEGEND

- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
- 01.5 — PROPOSED SPOT ELEVATION
- ← — DIRECTION OF FLOW
- — — — — DRAINAGE SWALE
- — — — — DRAINAGE BASIN DIVIDE

RIP RAP RUNDOWN



Q=1.6 CFS
n=0.035
S=1.0% (min)
Y=0.31 FT

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

FIRM PANEL 35001C0137D

1"=500'

D-18

LOCATION MAP

1"=750'

GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The property is presently developed as a business for CEMCO. The project consists of the construction of a modular building addition, with associated improvements.

EXISTING CONDITIONS:

The project site is approximately 1.86 acres in size and is located on Pan American Freeway NE, just south of Paseo Del Norte. The site is bounded by Pan American Freeway on the west, developed commercial property on the south, undeveloped commercial property on the north, and the City of Albuquerque Pino Yard on the east. Presently the site is fully developed.

On-site, all flow drains as sheet and gullied flow from the roofs and construction yard area westward to the Pan American Freeway. Roadside swales, culverts and crossing structures carry the runoff south to the North Arroyo Del Pino, a concrete lined channel.

No off-site flows enter the property.

As shown by the attached FIRM Panel, this site is not located within a designated flood hazard zone.

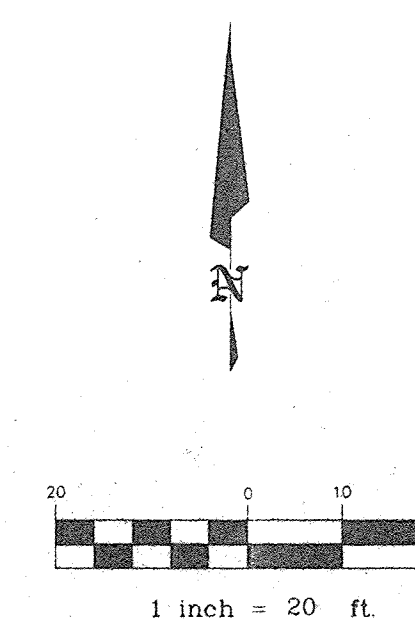
DEVELOPED CONDITIONS:

As shown by the Plan, the project consists of the construction of a 1680 square foot modular building addition. To facilitate construction of the addition a portion of the existing paved parking lot will be removed at the addition site. Sidewalks and accessible walkways will be provided. The parking lot will be re-configured. This project also includes the paving of the existing employee parking lot, located at the southwest corner of the site. The remainder of the site will remain unchanged. Historical drainage patterns will not be altered. Since the building addition replaces asphalt pavement, increase in excess runoff that will be realized as a result of this project results from paving the employee parking lot (0.3 cfs increase).

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling with the project area under existing and developed conditions. The Hydrology is per "Development Process Manual, Vol 2, Chapter 22", July 1997 Revision.

CITY OF ALBUQUERQUE PINO YARD



KEYED NOTES

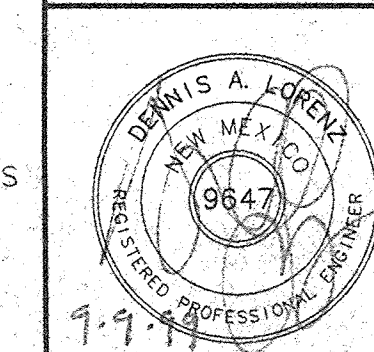
- CONSTRUCT 5' CONCRETE SIDEWALK FLUSH WITH EXISTING PAVEMENT. SEE ARCHITECTURAL PLANS
- CONCRETE TIRE STOP
- PAINTED PARKING STRIPING (TYP)
- EXISTING DOWNSPOUT (TYP)
- NEW DOWNSPOUT (TYP)
- EXISTING FLAGPOLE TO REMAIN
- EXISTING HOSE BIB TO REMAIN
- EXISTING BRICK PAVERS TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN - CONTRACTOR TO SAWCUT AND REMOVE PAVEMENT UNDER NEW MODULAR BLDG. SEE ARCHITECTURAL PLANS
- CONSTRUCT DRAINAGE RUNDOWN SEE SECTION @
- RELOCATE STORAGE RACKS PER OWNER
- CONSTRUCT REFUSE ENCLOSURE
- 6" CONC HEADER CURB FLUSH W/ASPHALT
- 6" CONC CURB

HYDROLOGY

Precipitation Zone 3		Land Treatment (acre)		P360 = 2.60 in		Ew V100 Q100	
Basin	area(Ac)	A	B	C	D	(in)	(af)
Existing Conditions							
Site	1.86			1.15	0.71	1.70	0.2635
Developed Conditions							
Site	1.86			0.86	1.00	1.87	0.2895
A	1.51			0.95	0.66	1.76	0.2215
B	0.35			0.01	0.34	2.33	0.0680

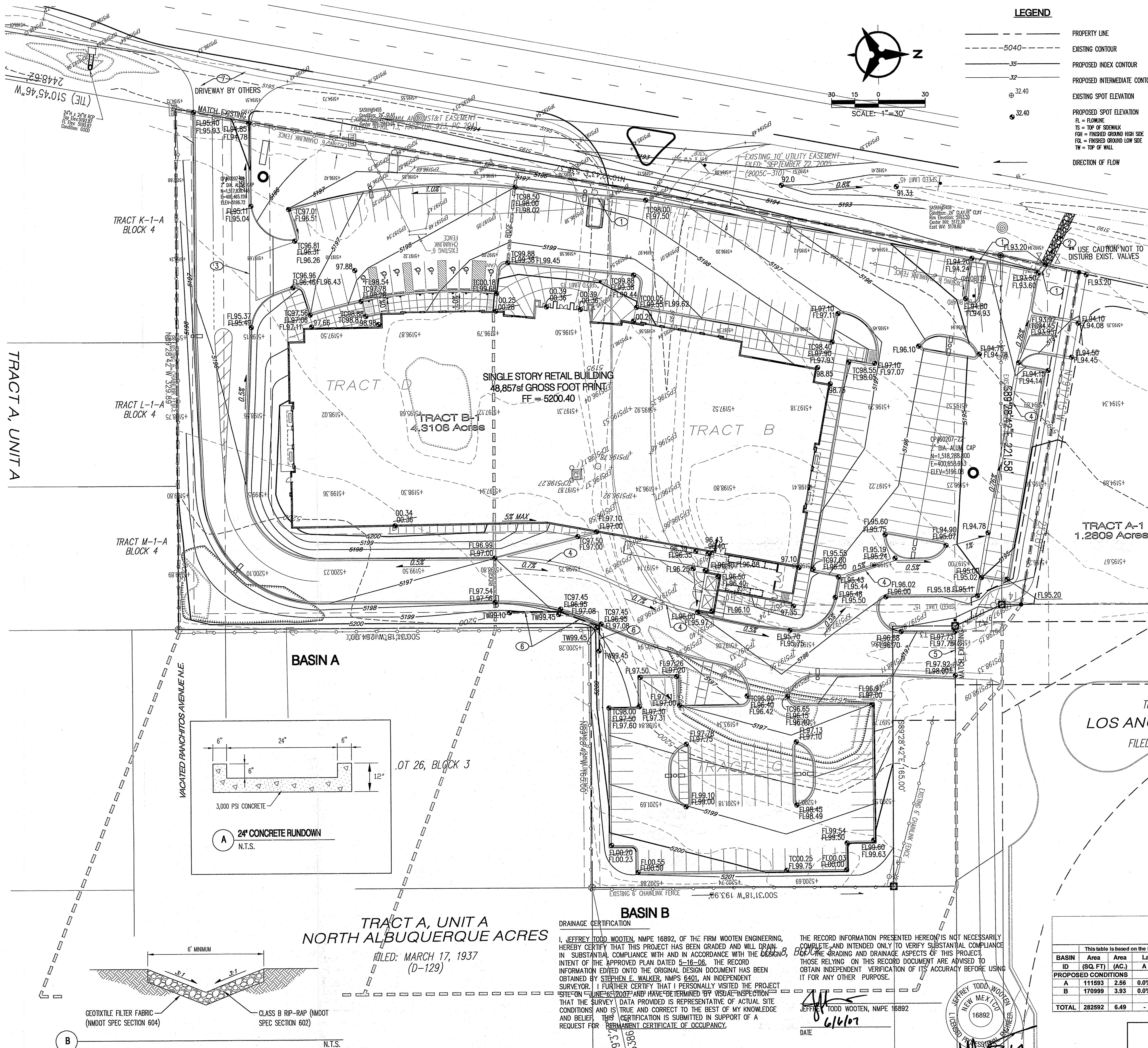
PAVED EMPLOYEE PARKING 8-23-1999

CEMCO BUILDING ADDITION GRADING AND DRAINAGE PLAN



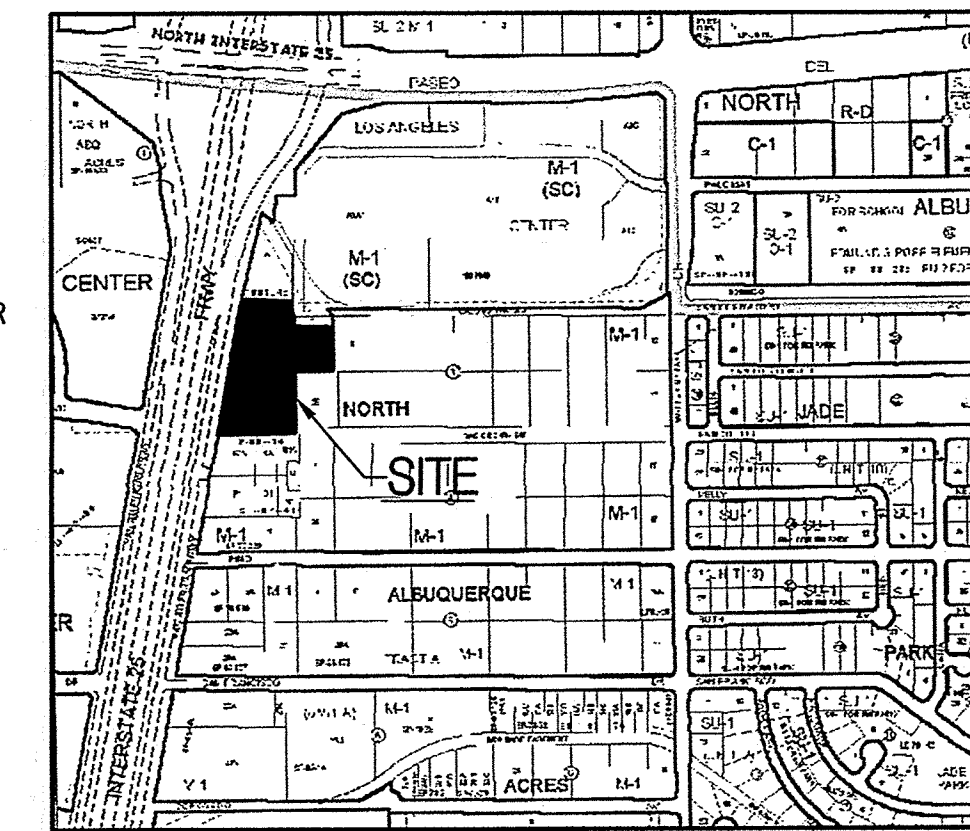
BLI BRASHER & LORENZ, INC.
Consulting Engineers
2201 San Pedro NE Building 1 Suite 210
Albuquerque, New Mexico 87110
Ph: 505-628-6085 Fax: 505-628-6168

DRAWN BY: C.D.D. DATE: SEPTEMBER 9, 1999
CHECKED BY: D.A.L.
FILE: 995366D.DWG SHEET 1 OF 1



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- TS = TOP OF SIDEWALK
- FGH = FINISHED GROUND HIGH SIDE
- FL = FINISHED GROUND LOW SIDE
- TW = TOP OF WALL
- DIRECTION OF FLOW



VICINITY MAP
ZONE ATLAS PAGE D-18-Z

LEGAL DESCRIPTION

TRACT B-1 OF HISE LANDS
ALBUQUERQUE, NM

KEYED NOTES

- 24" CONCRETE RUNDOWN PER DETAIL A THIS SHEET.
- INSTALL 6" THICK MAT (4.0 CY) OF CLASS B RIP-RAP (NMDOT SPEC SECTION 602 OVER GEOTEXTILE FILTER FABRIC (NMDOT SPEC SECTION 604). SEE DETAIL B THIS SHEET FOR CROSS SECTION.
- 4' VALLEY GUTTER PER COA STD DWG 2421.
- 2' VALLEY GUTTER PER COA STD DWG 2422, SECTION A-A.
- SAW CUT EXISTING PAVEMENT
- 2'± PAVEMENT OR EQUIVALENT RETAINING WALL BY DESIGN BUILD. CONTRACTOR SHALL PREPARE AND SUBMIT DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL.
- DRIVEWAY/DECELERATION LANE BY SEPERATE CONTRACT. NMDOT APPROVAL REQUIRED

I. INTRODUCTION

The purpose of this report is to provide a Final Drainage Management Plan for development of an Ashley Furniture Store near the southeast corner of Pan American Freeway and Paseo Del Norte in Northeast Albuquerque. The site is currently legally described as Tract B-1, Hise Lands, containing 4.3 acres. The site is bounded to the north by Target, the east by COA's Pina Yards, the south by existing commercial property, and west by Pan American Freeway. The project is zoned M-2 for SUI.

II. PURPOSE

This report and the conceptual grading plan are being submitted for Hydrology Division review for the purpose of obtaining Building Permit approval. No variances are requested with this submittal.

III. METHODOLOGIES AND REFERENCES

This report is prepared in accordance with City of Albuquerque Development Process Manual (DPM) criteria, specifically, the procedures outlined in DPM Section 22.2. No ANYMO analysis has been done for the site, as it is less than 40 acres and therefore could be analyzed using the method outlined in Part A.6 of Section 22.2 of the DPM. This report is also in accordance with the conceptual drainage plan as submitted with the approved Site Plan for Subdivision, File No. 1001946. The site drains to the Domingo Baca Arroyo and is allowed the discharge of developed flows.

IV. EXISTING CONDITIONS

This site is located near the Southeast Corner of Pan American Freeway and Paseo Del Norte Blvd., within Zone Atlas Map No D-18. The entire site consists of about 4.3 acres, and accepts some drainage just east of the site as shown on this plan. The site and the off-site areas draining across the site have been previously developed, and there should be minimal change between pre- and post-developed conditions. The drainage currently flows east to a bar ditch in the frontage road and then north to a series of inlets that tie in to the Domingo Baca box culvert system.

V. PROPOSED CONDITIONS

The proposed development consists of a 446,000 square foot furniture showroom with associated parking and driveways. For analytical purposes, the proposed site was divided into 2 basins, labeled A and B. Basin A (2.56ac, 12.15cfs) will drain out through a concrete runoff at the new driveway, and then continue down the existing bar ditch along the frontage road. Basin B (3.83ac, 18.62cfs) will discharge into the existing bar ditch along the frontage road via a concrete runoff. Both basins will ultimately drain to the existing series of inlets located at the Domingo Baca Arroyo box culvert system. The analysis of the proposed hydrology was performed in accordance with section 22.2 of the Development Process Manual.

VI. CONCLUSION

The total flow (including off-site flows) discharged from the site is 30.76cfs. The ultimate outfall (Domingo Baca Arroyo) is a City of Albuquerque Drainage Conveyance system that has been sized for the 100-year storm; therefore, we are not aware of any detention requirements for the site.

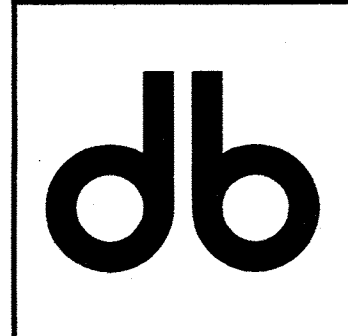
This report has given a comprehensive drainage management plan for the proposed development that complies with the DPM and the drainage ordinance. It is recommended that Building Permit approval be granted with this submittal.

Ashley Furniture Store Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone 3										
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WT E	V(100)
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(cfs)	(inches)	(CF)
PROPOSED CONDITIONS										
A	111593	2.56	0.0%	5.0%	10.0%	85.0%	4.74	12.15	2.18	20282
B	170999	3.93	0.0%	5.0%	10.0%	85.0%	4.74	18.62	2.18	31079
TOTAL	282592	6.49	-	-	-	-	4.74	30.76	4.36	51361.10

Bohannon & Huston

Courtesy | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

DAVID BESSENT
ARCHITECTS, INC.



3939 BEE CAVES ROAD
BUILDING A, SUITE B6
AUSTIN, TEXAS 78746
512/327-6868 FAX: 512/327-6030

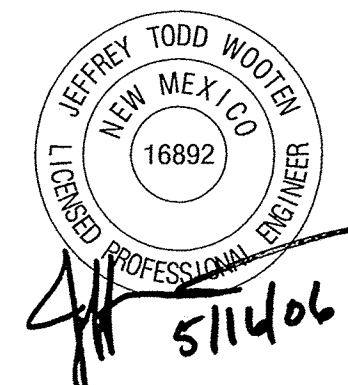
TEXAS REGISTRATION NO.11436

BUILDING PERMIT
SUBMITTAL

THESE DOCUMENTS
ARE FOR REVIEW
PURPOSES ONLY
AND NOT INTENDED
FOR BIDDING OR
CONSTRUCTION
PURPOSES

ALL IDEAS, DESIGNS,
ARRANGEMENTS AND
PLANS INDICATED OR
REPRESENTED BY THIS
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OR PLANS SHALL BE USED
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ASHLEY
FURNITURE
ALBUQUERQUE



DATE ISSUED: 05-16-06

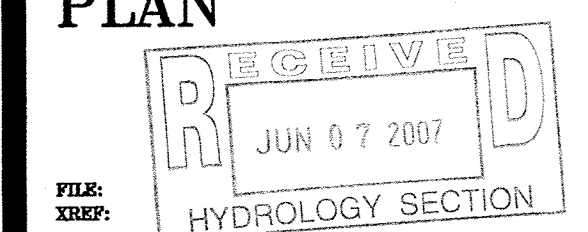
REVISIONS:

DRAFTED: REVIEWED:

PROJECT NUMBER:

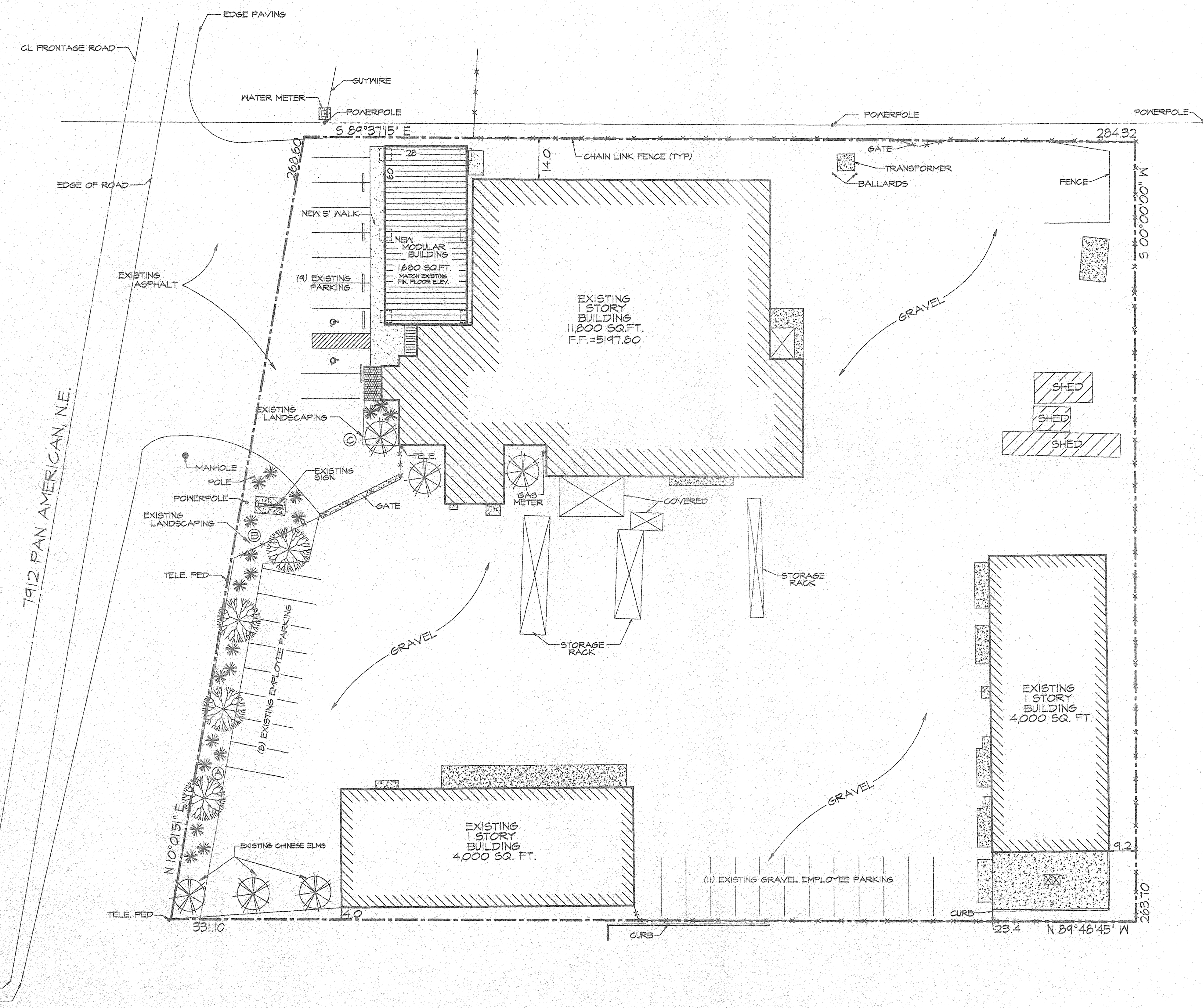
DRAWING NAME:

GRADING
PLAN



SHEET NUMBER:

SHEET
C2.0



PARKING REQUIREMENTS

EXISTING OFFICE SPACE	1,900 SQ.FT./200	=	9.5 SPACES
EXISTING WAREHOUSE	17,900 SQ.FT./2000	=	8.95 SPACES
NEW OFFICE SPACE	1,680 SQ.FT./200	=	8.4 SPACES
		26.85 = 27 SPACES REQUIRED	28 SPACES AVAILABLE

LANDSCAPING CRITERIA BY OWNER

(15% OF PAVED AREA REQ'D)
TOTAL OF PAVED AREA = 4,550 SQ. FT.
LANDSCAPE AREA REQ'D = 682 SQ. FT.

NEW LANDSCAPE AREAS

(BY OWNER N.I.C.)
(INCLUDES DRIP IRRIGATION SYSTEM)



(A) 1,354 SQ. FT. GROUND COVER TO BE JUNIPER OVER GRAVEL.

EXISTING LANDSCAPE AREAS

(MAINTAINED BY OWNER)
(INCLUDES DRIP IRRIGATION SYSTEM)

(B) 705 SQ. FT. NEW GROUND COVER TO BE JUNIPER OVER GRAVEL.

(C) 1,100 SQ. FT. NEW GROUND COVER TO BE JUNIPER & CONEASTER OVER GRAVEL.
EXISTING STREET TREES IN AREA 'D'

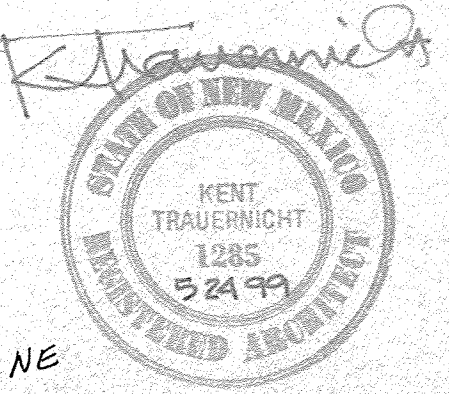
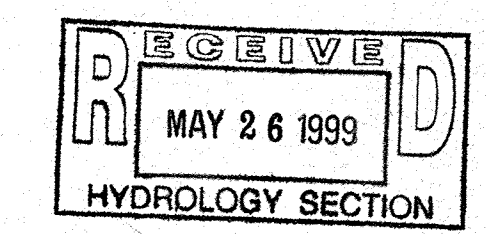
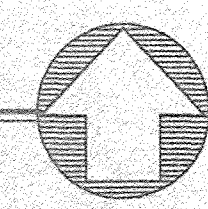
EXISTING & NEW LANDSCAPE PROVIDED			4,254 SQ. FT.
<u>SYMBOL</u>	<u>TREE TYPE</u>	<u>WATER USE</u>	<u>QUANTITY</u>
	NEW STREET TREE NEW MEXICO LOCUST (ROBINIA NEOMEXICANA) GREEN ASH (FRAXINUS PENNSYLVANICA)	MEDIUM	EXISTING
<u>GROUND COVER</u> 	JUNIPER (JUNIPERUS HORIZONTALIS)	LOW	27

LANDSCAPE NOTES

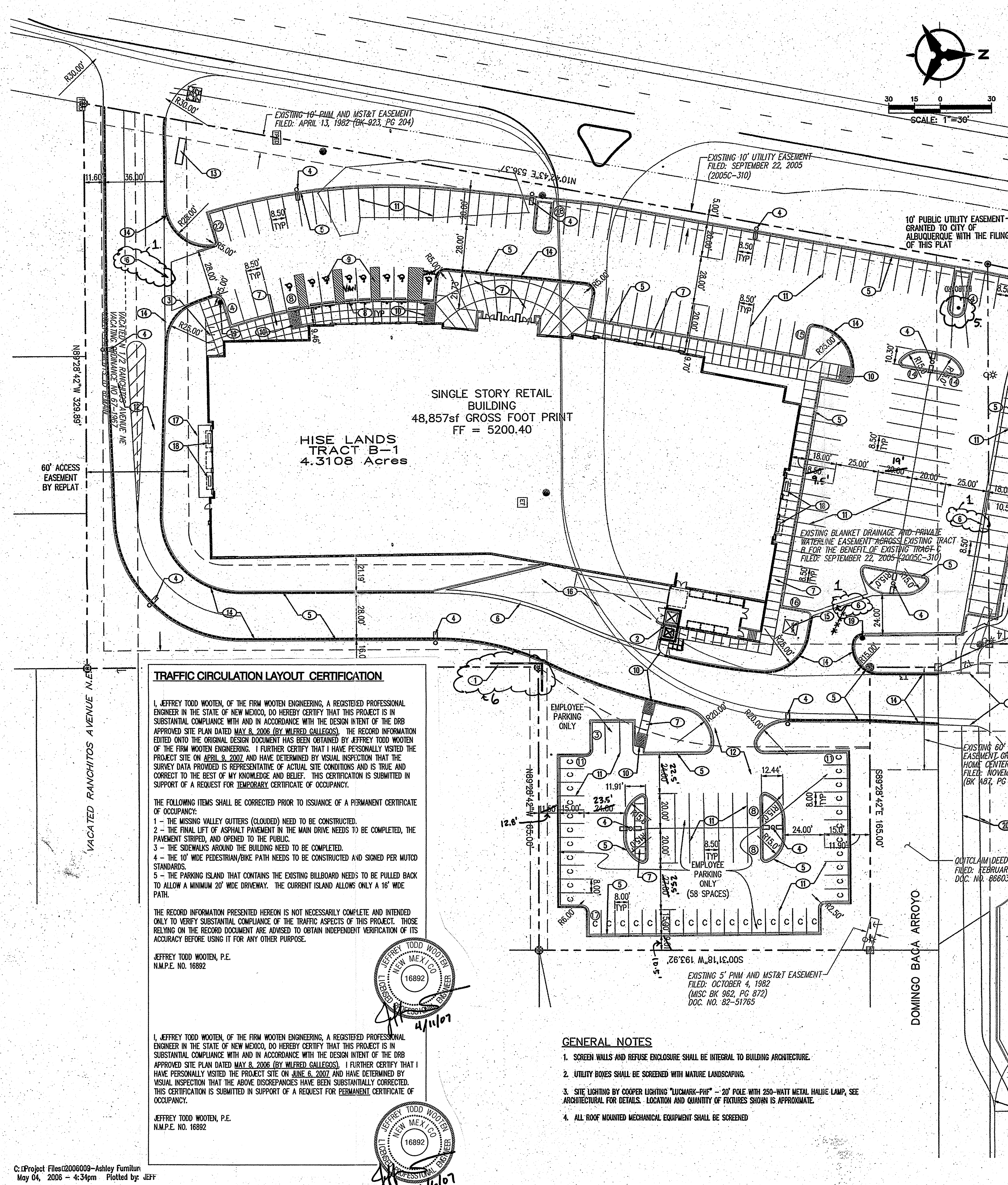
- NEW LANDSCAPE TO BE INSTALLED IN ORDER TO COMPLY WITH CITY ZONING REGULATIONS.
- NEW LANDSCAPING AND MODIFICATIONS TO BE BY OWNER N.I.C.
- NEW LANDSCAPE TO CONSIST OF LOW AND MEDIUM WATER USE TREES AND SHRUBS PER CITY OF ALBUQUERQUE WASTE WATER ORDINANCE.
- ALL LANDSCAPING IS TO BE DRIP SYSTEM IRRIGATED. (BY OWNER N.I.C.)
- LANDSCAPED AREAS ARE TO BE WEED FREE AND MAINTAINED BY THE OWNER.

SITE PLAN

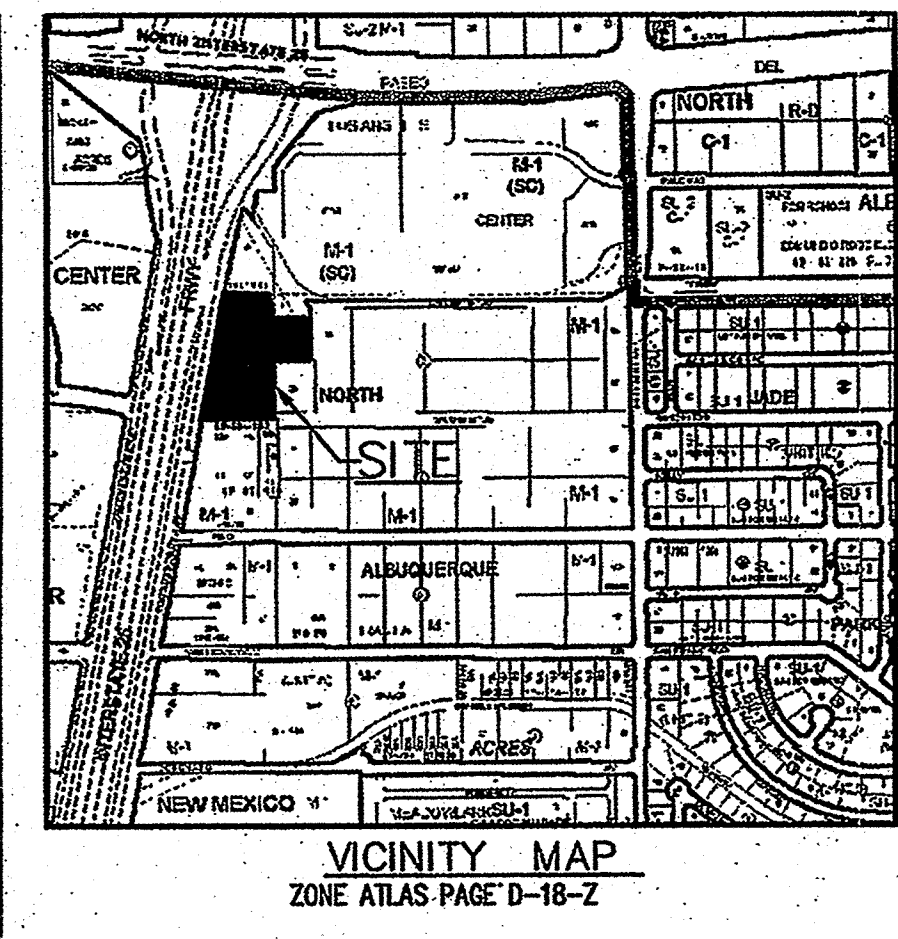
SCALE: 1" = 20'-0"



7912 Pan Amer. & NE



PROJECT DATA	
Zoning (Existing)	= M-1
Site Area	= 4.31 ac.
Building Area (Total Leasable)	= 48,857 sf
Site Coverage	= 26.02%
Parking Required	
1:200 First 15,000 sf	= 75
1:250 30,857 sf	= 124
Total Required	= 199
Handicap Accessible Stalls Required	= 8
Parking Provided	
Regular Stalls (8.5'x20')	= 152
Compact Stalls (8.0'x15')	= 39
Handicap Accessible Stalls (8.5'x20')	= 8
Total Provided	= 199
Bicycle Parking Required	= 10 (1/20 automobile spaces)
Bicycle Parking Provided	= 14



- KEYED NOTES**
- 3'± RETAINING WALL. RETAINING WALL TO BE SPLIT FACE CMU TO COMPLEMENT BUILDING. REFER TO DETAIL ON SHEET C1.1
 - MASONRY REFUSE ENCLOSURE INTEGRAL TO BUILDING. INSTALL CONCRETE PAD PER CROSS SECTION DETAIL ON SHEET C1.1. **DOUBLE ENCLOSURE REQ'D.**
 - BICYCLE PARKING (14 SPACES). REF. DETAIL ON SHEET C1.1.
 - LIGHT POLE TO MEET SITE PLAN FOR SUBDIVISION REQUIREMENTS. REF. LIGHTING PLANS FOR DETAILS. SEE GENERAL NOTE 3 THIS SHEET.
 - MEDIAN CURB & GUTTER PER COA STD DWG 2415B.
 - CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
 - 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
 - INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.1.
 - INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
 - INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
 - INSTALL NEW ASPHALT PAVEMENT
 - MULTI-TENANT MONUMENT SIGN PER SITE PLAN FOR SUBDIVISION (BY OTHERS).
 - INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
 - TRANSFORMER
 - TRUCK DOCK & LOADING AREA
 - 300sf EMPLOYEE AREA SHADED 25% BY AWNINGS. INCLUDES 2 PARK STYLE BENCHES FOR SEATING.
 - 2 PARK STYLE BENCHES UNDER AWNINGS.
 - FIRE HYDRANT
 - 10' WIDE PEDESTRIAN/BIKE TRAIL TO MEET CITY OF ALBUQUERQUE CRITERIA.
 - PEDESTRIAN/BIKE TRAIL CROSSING SHALL BE SIGNED PER THE MUTCD. **REMOVE EXISTING CURB & INSTALL ACCESSIBLE RAMP.**

PROJECT NUMBER: **1001946**

Application Number: **06DRB-00223**

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division Date	5-8-06 Date
<i>[Signature]</i> Water Utility Department Date	2/22/06 Date
<i>[Signature]</i> Parks and Recreation Department Date	2/22/06 Date
<i>[Signature]</i> City Engineer Date	5/1/06 Date
N/A Environmental Health Department (conditional) Date	
<i>[Signature]</i> Solid Waste Management Date	5/5/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department Date	2/22/06 Date

*Environmental Health, if necessary

Bohannon & Huston
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, JEFFREY TODD WOOTEN, OF THE FIRM WOOTEN ENGINEERING, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE PLAN DATED MAY 8, 2006 (BY MILERD GALLEGGOS). THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY TODD WOOTEN OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 9, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE FOLLOWING ITEMS SHALL BE CORRECTED PRIOR TO ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY:

- THE MISSING VALLEY GUTTERS (CLOUDED) NEED TO BE CONSTRUCTED.
- THE FINAL LIFT OF ASPHALT PAVEMENT IN THE MAIN DRIVE NEEDS TO BE COMPLETED, THE PAVEMENT STRIPED, AND OPENED TO THE PUBLIC.
- THE SIDEWALKS AROUND THE BUILDING NEED TO BE COMPLETED.
- THE 10' WIDE PEDESTRIAN/BIKE PATH NEEDS TO BE CONSTRUCTED AND SIGNED PER MUTCD STANDARDS.
- THE PARKING ISLAND THAT CONTAINS THE EXISTING BILLBOARD NEEDS TO BE PULLED BACK TO ALLOW A MINIMUM 20' WIDE DRIVEWAY. THE CURRENT ISLAND ALLOWS ONLY A 16' WIDE PATH.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY TODD WOOTEN, P.E.
N.M.P.E. NO. 16892

[Signature] 4/11/07

I, JEFFREY TODD WOOTEN, OF THE FIRM WOOTEN ENGINEERING, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE PLAN DATED MAY 8, 2006 (BY MILERD GALLEGGOS). I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 6, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE ABOVE DISCREPANCIES HAVE BEEN SUBSTANTIALLY CORRECTED. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

JEFFREY TODD WOOTEN, P.E.
N.M.P.E. NO. 16892

[Signature] 6/6/07

- GENERAL NOTES**
- SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
 - UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
 - SITE LIGHTING BY COOPER LIGHTING "LUMARK-PH" - 20' POLE WITH 250-WATT METAL HALIDE LAMP, SEE ARCHITECTURAL FOR DETAILS. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
 - ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED

APPROVED/NOT APPROVED
[Signature]
DATE 5-05-06
Bohannon & Huston

- DRAWING INDEX**
- C1.0 - SITE PLAN
 - C1.1 - SITE DETAILS
 - L-1 - LANDSCAPE PLAN
 - C2.0 - PRELIMINARY GRADING PLAN
 - A2.0 - BUILDING & STRUCTURE ELEVATIONS
 - C3.0 - CONCEPTUAL UTILITY PLAN

DAVID BESSENT ARCHITECTS, INC.

db

3030 BEE CAVES ROAD
BUILDING A, SUITE B6
AUSTIN, TEXAS 78746
512/327-6868 FAX: 512/327-6030

TEXAS REGISTRATION NO.11436

INTERIM REVIEW DOCUMENTS

THESE DOCUMENTS ARE FOR REVIEW PURPOSES ONLY AND NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF DAVID BESSENT ARCHITECTS, INC. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DAVID BESSENT ARCHITECTS, INC.

ASHLEY FURNITURE ALBUQUERQUE

DATE ISSUED:

REVISIONS:

DRAFTED: **REVIEWED:**

PROJECT NUMBER:

DRAWING NAME:

SITE PLAN FOR BUILDING PERMIT

SHEET NUMBER **SECTION**

SHEET C1.0