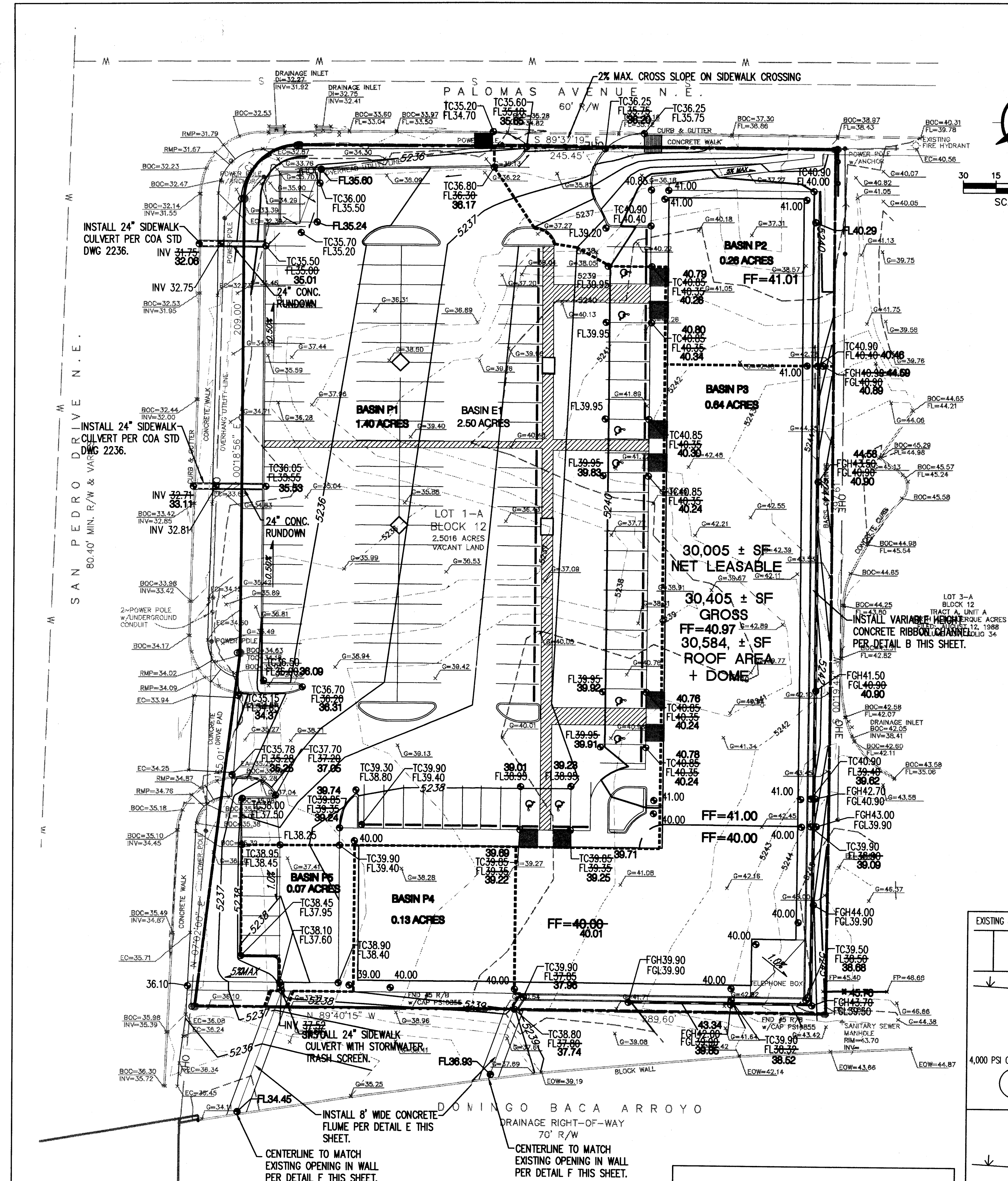




## LEGEND

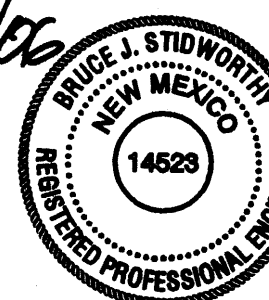
- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- FGH=FINISHED GRADE HIGH
- EX=EXISTING, TO=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL

## DRAINAGE CERTIFICATION

I, **BRUCE J. STODOLNY**, NMPE 14623, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/17/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT GROMATZKY, NMPS 16489, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/16/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMIT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Paul Stodolny 6/7/06*



## GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCLUDED TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "TECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL EROSION FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCLUDED IN THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAID ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE

## DRAINAGE MANAGEMENT PLAN

### I. INTRODUCTION

The purpose of this submittal is to present a drainage and grading plan for the proposed retail center at the corner of San Pedro Drive NE and Palomas Avenue NE. The project will include a one-story retail center that is stepped down with parking and landscaped areas. This submittal is in support of building permit approval.

### II. SITE LOCATION

The site is bounded along the north side by Palomas Ave. NE, along the west side by San Pedro Dr. NE and the Domingos Baco Arroyo Concrete Channel on the south. The east boundary is an office building. The site is located within zone atlas map # D-18-Z. In reference to the Federal Emergency Management Agency map #5000100137, there is a 1% annual chance flood zone adjacent to the site. The flood elevation is contained in the City of Albuquerque Domingos Baco Arroyo Concrete Channel along the southern border of the site.

### III. EXISTING HYDROLOGIC CONDITIONS

The site encompasses 2.50 acres and has undergone rough grading. Slopes for the site range from 1 to 10% to the east and there is sparse vegetation cover. Currently, the site drains via surface flow into the San Pedro Drive NE. These flows discharge northward to the corner of Palomas and San Pedro.

Under existing conditions this site has a 100% discharge of 8.43cfs. The associated land treatments for the existing conditions are 5% land treatment A and 95% land treatment C. The analysis of the existing hydrology was performed in accordance with section 22.2 of the Development Process Manual.

### IV. PROPOSED HYDROLOGIC CONDITIONS

The proposed project includes construction of a one-story building that is stepped down at the south and combined with a parking area and landscaping. In accordance with section 22.2 of the Development Process Manual, the discharge due to proposed conditions is 11.73cfs.

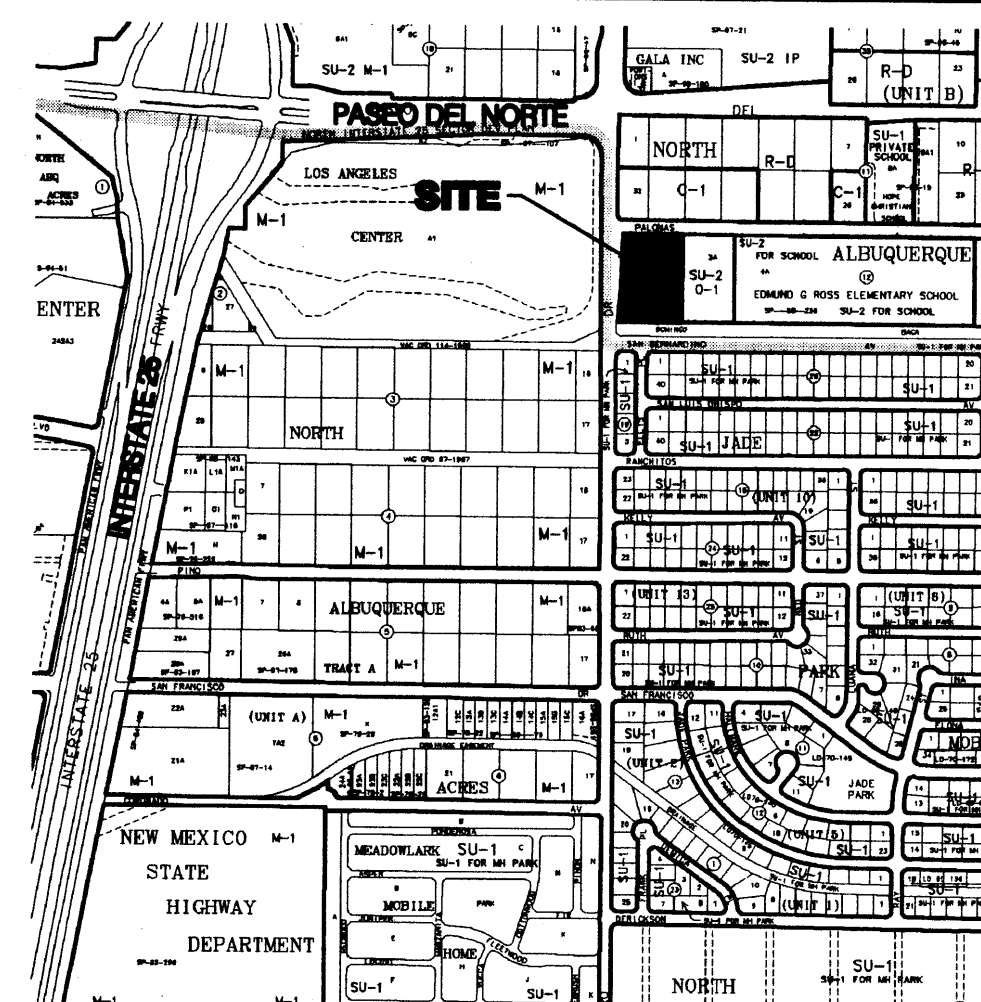
The site was divided into five basins. Basin P1 has runoff contributed from parking and landscaping areas. Approximately 6.35cfs flows to San Pedro Dr. from Basin P1. Runoff from Basin P2 flows to Palomas Avenue and is 1.23cfs. The flow that reaches the corner of Palomas and San Pedro is 7.88cfs which is lower than the 8.43cfs in existing conditions.

The remaining basins contribute 3.85cfs to the Domingos Baco Arroyo, which can handle the developed flow from this property. Please see Basin Data table for associated computations.

### V. CONCLUSION

The total flow discharged from the site is 11.73cfs which is more than the existing conditions runoff of 8.43cfs. The excess flow has been directed in such a way that the discharge to San Pedro and Palomas has decreased. These flows were computed in accordance with section 22.2 of the Development Process Manual.

The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. With this submittal we are seeking building permit approval.



## VICINITY MAP

ZONE ATLAS PAGE D-18-Z

## LEGAL DESCRIPTION

LOT 1-A, BLOCK 12, TRACT A, UNIT A  
NORTH ALBUQUERQUE ACRES

## GENERAL NOTES

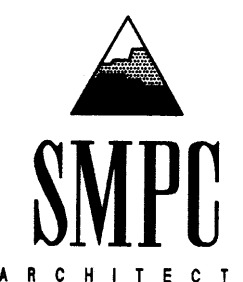
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOGRAPHICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION, AS OF THE DATE OF THESE PLANS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

## Bohannon & Huston

Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4395  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

ARCHITECTS • PLANNERS • INTERIOR DESIGNERS  
115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106  
TELE. (505) 255-8668 FAX (505) 258-6665



## PALOMAS PLAZA

## GRADING & DRAINAGE PLAN

| REV. # | DATE     | PROJECT # |
|--------|----------|-----------|
| 1      | 06/01/05 | 060012    |
| 2      | 06/08/05 | 060012    |
| 3      | 06/17/05 | 060012    |
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| 5      | 07/01/05 | 060012    |
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GENERAL NOTES

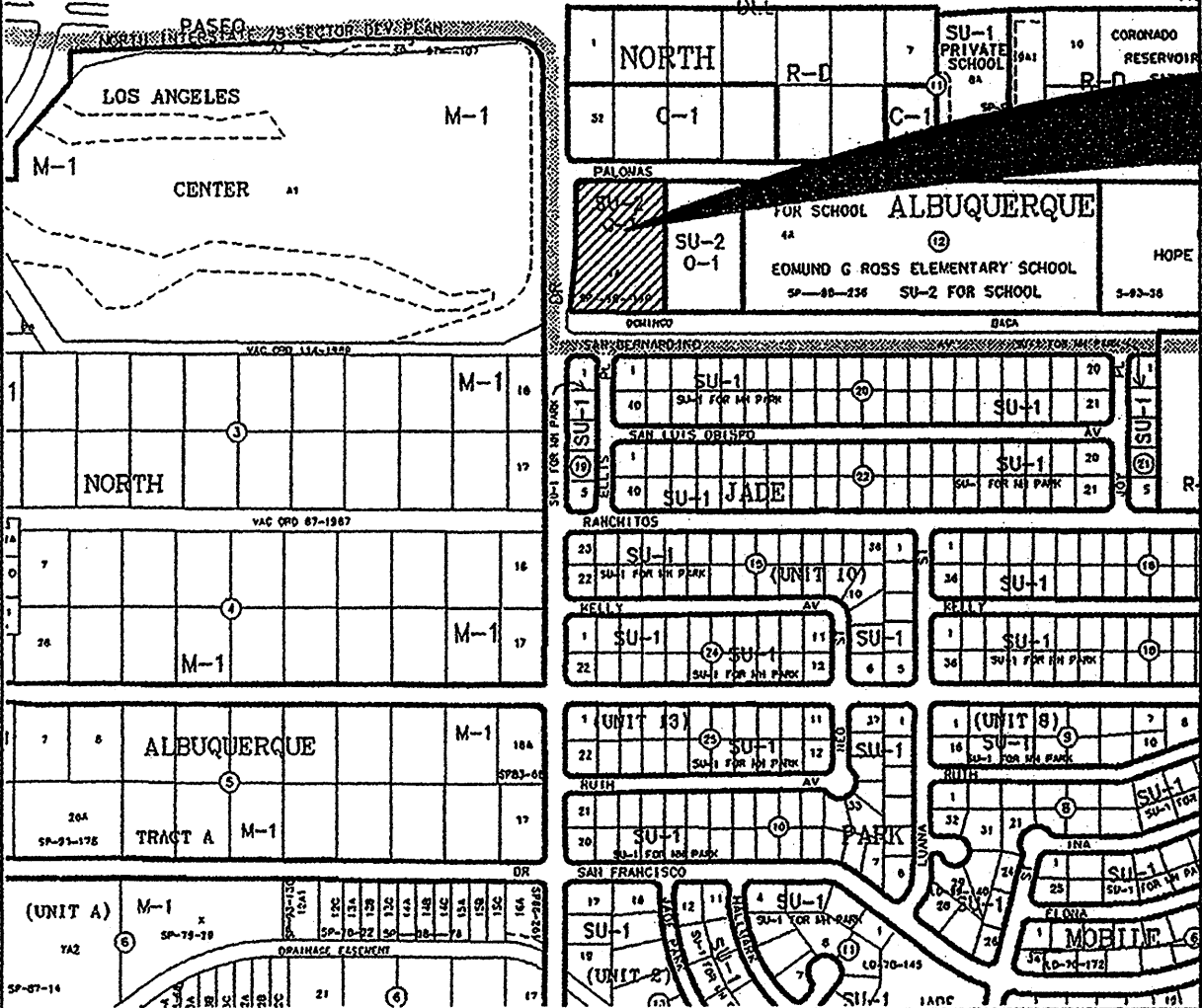
1. ALL BUILDING DIMENSIONS TO FINISH FACE OF EXTERIOR WALLS, UNO.
2. SITE AREA IS 2.5016 ACRES
3. SITE IS ZONED SU-2/ C1
4. SITE USE IS FOR SHOPPING CENTER
5. ALLOWABLE BUILDING HEIGHT IS 26'-0". PROPOSED BUILDING HEIGHT IS 20'-0" + DOME @ 10'-0" ADDED.
6. DOORS SHOWN ARE SUBJECT TO INDIVIDUAL TENANT REQUIREMENTS.
7. COORDINATE LOCATION OF ACCESSIBLE CAR & VAN STALLS & SLOPED SIDEWALK WITH LOCATION OF TENANT DOORS SO THAT RAMPS ARE NOT IN LINE WITH DOORS.

KEYED NOTES

1. EXISTING CONCRETE CURB, GUTTER & 8 FT. WIDE SIDEWALK
2. NEW CONCRETE CURB, GUTTER & SIDEWALK
3. 10 FT. REQUIRED PLANTING STRIP - SEE L101
4. CURB & PLANTER - SEE L101
5. NEW 24 IN. SIDEWALK CULVERT - SEE CIVIL
6. CONCRETE CURB
7. PRE-CAST CONCRETE WHEEL GUARD - TYPICAL
8. 5 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT, UNO, WITH 3 IN. WHITE STRIPES @ 12" O.C.
9. 2 FT. HIGH CONCRETE RETAINING WALL
10. PLANTING - SEE L101
11. 5 FT. WIDE CONCRETE SIDEWALK
12. 6 FT. REQUIRED PLANTING STRIP - SEE L101
13. 8 FT. WIDE CONCRETE SIDEWALK
14. 2 RISER CONCRETE STAIR w/ FREE STANDING 1 1/2 IN. DIA. STL. PIPE RAIL EA. SIDE
15. ASPHALT PAVING
16. 2 - DUMPSTER CONC. BLOCK ENCLOSURE w/ 2-PAIR METAL GATES - SEE A1/ C201
17. 2 FT. HIGH & WIDE CONCRETE RETAINING WALL FOR SITTING
18. DISABLED INTERNATIONAL SYMBOL PAINTED IN BLUE ON ASPHALT - SEE C201
19. STANDARD DISABLED SIGN - SEE C201
20. VAN DISABLED SIGN - SEE C201
21. BICYCLE RACK - 7 SPACES, 6 FT. LONG x 3 FT. HIGH
22. STOP SIGN PER CITY STANDARD
23. CURB RAMP PER CITY STANDARDS
24. SLOPING SIDEWALK (RAMP UP)
25. CONCRETE FOOTING & CMU RETAINING WALL, 6 FT. HIGH MAX. (VARIES)
26. BENCH
27. 3 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT WITH 3 IN. WHITE STRIPES
28. PAVED PATIO w/ PATTERNED CONCRETE
29. EXISTING FIRE HYDRANT
30. NEW FIRE HYDRANT
31. "PALOMAS PLAZA" SIGN - 4 FT. HIGH x 15 FT LONG, 60 SF.
32. CONCRETE CURB WITH 4" WIDE DRAIN CUT-OUTS @ 18'-0" ± O.C.
33. REPLACE (E) CURB RAMP w/ NEW CURB RAMP PER CITY STANDING
34. 1 1/2" STEEL PIPE RAIL - EACH SIDE
35. 5 FT. OR 8 FT. WIDE ACCESS AISLE WITH 3 IN. BLUE STRIPES
36. SIDEWALK RAMP PER CITY STANDARDS
37. 3" WHITE PAINTED STRIPE
38. CONTROL JOINT @ 18'-0" O.C.
39. EXPANSION JOINT @ 36'-0" O.C.
40. 3'-0" WIDE CONCRETE RIBBON CHANNEL - SEE CIVIL
41. INSTALL 24" SIDEWALK CULVERT
42. INSTALL 8" WIDE FLUME - SEE CIVIL

PARKING

REQUIRED PARKING SPACES  
(14-16-3-1 (A) (27) RETAIL) 1/200 SF 1ST 15000 SF = 75 SPACES  
1/250 SF NEXT 15005 SF = 60 SPACES  
TOTAL REQUIRED 135 SPACES  
TOTAL PROVIDED 137 SPACES  
HC REQUIRED [14-16-3-1(E)(8)(a)] 8 SPACES  
TOTAL PROVIDED= 8 SPACES  
BICYCLE RACK SPACES REQUIRED @ 1:20 PARKING SPACES REQUIRED= 7 SPACES  
[14-16-3-1(B)(3)] TOTAL PROVIDED 7 SPACES



ZONE ATLAS PAGE: D-18- Z

A1 MASTER SITE PLAN  
1" = 20'

GRAPHIC SCALE: 1"=20'-0"

PALOMAS PLAZA  
7900 SAN PEDRO DRIVE N.E.  
ALBUQUERQUE, NEW MEXICO

INDEX OF DRAWINGS

C001 ARCHITECTURAL SITE PLAN  
C101 GRADING & DRAINAGE PLAN  
C102 WATER & SEWER PLAN  
L101 LANDSCAPE PLAN

- 1 A. ADJUSTED FLUME ORIENTATION  
B. DELETED PARKING BUMPERS AT SIDEWALK  
C. ADJUSTED STANDARD PARKING SPACE TO 8'-6" ±,  
SO AS TO ALIGN HC RAMPS BETWEEN SHOP ENTRY DOORS  
(ADDING 1 PARKING SPACE)

PALOMAS PLAZA SUBDIVISION  
SHOPPING CENTER

7900 SAN PEDRO N.E., ALBUQUERQUE, NEW MEXICO  
MASTER SITE DEVELOPMENT PLAN

SIGNATURES

PROJECT NUMBER: 1000985  
APPLICATION NUMBER: 05 DNB-00883

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT  
PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC),  
AND THE FINDINGS AND CONDITIONS IN THE OFFICE NOTIFICATION OF  
DECISION ARE SATISFIED.  
IS AN INFRASTRUCTURE LIST REQUIRED? (a) YES (a) NO  
IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER  
IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY  
OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

APPROVED AS TO REQUIREMENTS

DATE 7-13-05  
DATE 8-18-05  
DATE 7/13/05  
DATE 9/15/05  
DATE 7/13/05

LEGAL DESCRIPTION:

LOT NUMBERED DNE-A (1-A) IN BLOCK NUMBERED TWELVE (12) TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE PUBLIC RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 16, 1996 IN MAP BOOK 96C, FOLIO 392.

DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT

PROJECT NO. 1000985  
APPLICATION NO. 06-00883

Palomas Plaza Adjustment  
Parking bumpers deleted  
Parking space size adjustment

ARCHITECTS • PLANNERS • INTERIOR DESIGNERS  
115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106  
TEL. (505) 255-8668 FAX (505) 268-6665



| REV. # | DATE   | PROJECT #      |
|--------|--------|----------------|
| 1      | 6/2/06 | 05025          |
|        |        | DWN BY: BHB    |
|        |        | CHK BY: PRL    |
|        |        | DATE: 05/02/05 |
|        |        | C001           |
|        |        | 2 OF 37        |

