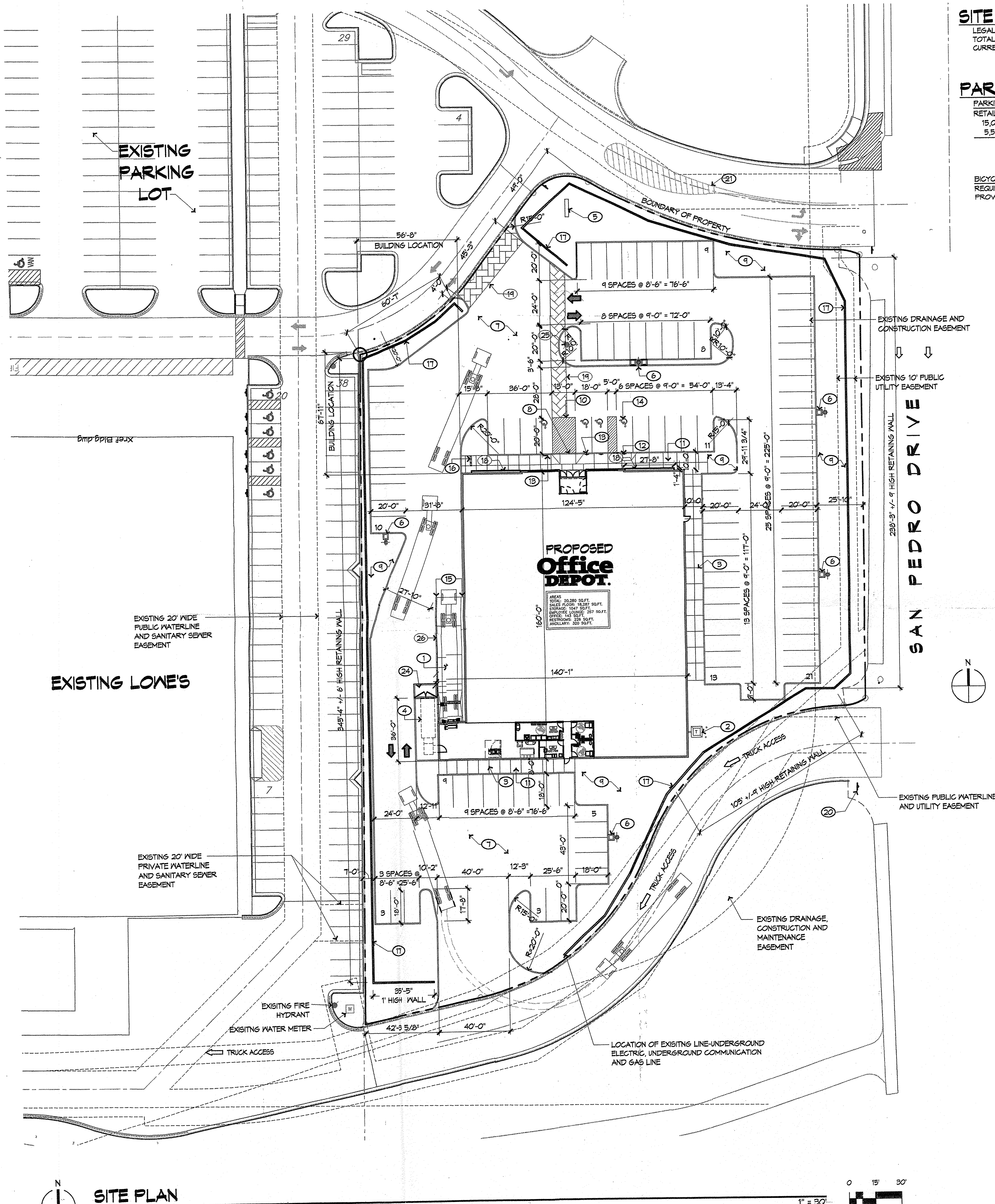




SITE DATA

LEGAL DESCRIPTION: LOS ANGELES CENTER, TRACT A-1-D
TOTAL LOT AREA: 2.5 ACRES
CURRENT ZONING: M-1

PARKING DATA

PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
RETAIL LEASABLE S.F. = 20,500 S.F.
15,000/200 = 75 SPACES
5,500/250 = 22 SPACES
41 SPACES REQUIRED
43 SPACES PROVIDED INCLUDING
4 HC ACCESSIBLE SPACES

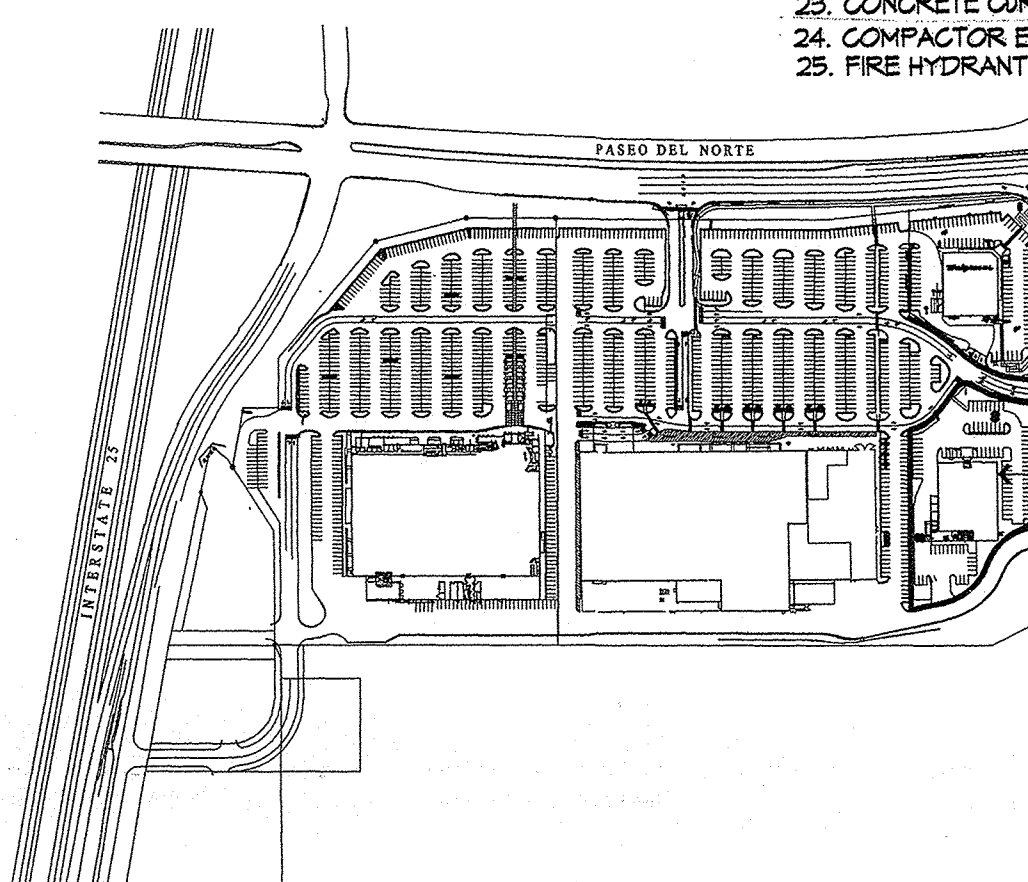
BICYCLE PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
REQUIRED, 13/20 = 4
PROVIDED: = 4

GENERAL NOTES

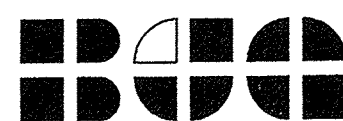
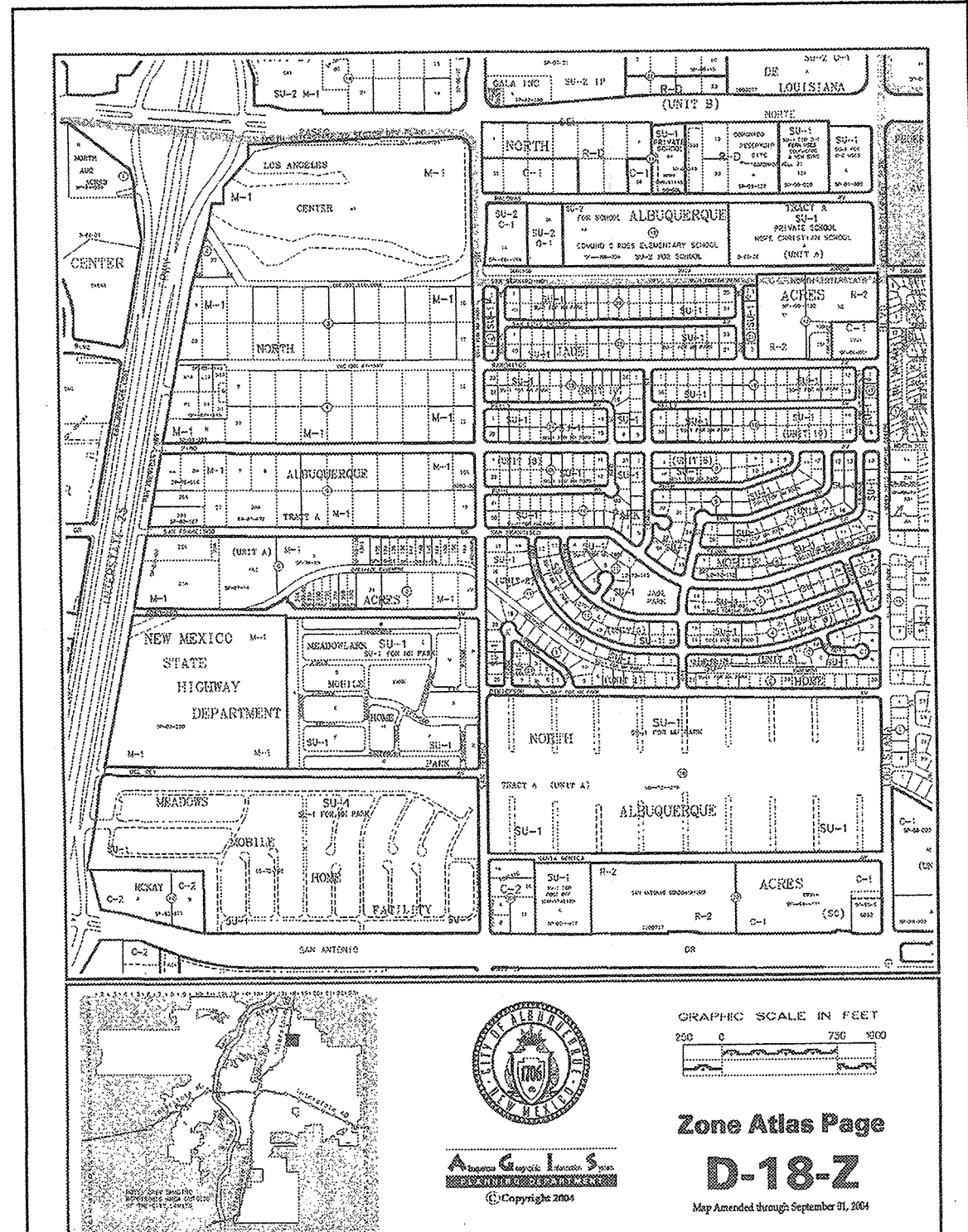
- RADI CENTER POINTS TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT STRAIGHT CURB LINE.
- DIMENSIONS ARE TO FACE OF CURB.
- IF LAYOUT DIFFERS SIGNIFICANTLY FROM CIVIL DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
- ATTENTION SOLID WASTE DEPARTMENT: TENANT FOR THIS BUILDING WILL HAVE AN ON-SITE COMPACTOR.

KEYED NOTES

- RECESSED LOADING DOOR, REFER TO CIVIL.
- TRANSFORMER LOCATION, REFER TO CIVIL AND ELECTRICAL.
- SIDEWALK WITH CONTROL JOINTS EVERY 6'-0". SEE DETAIL C1/A091.
- TRASH COMPACTOR ON 6" REINFORCED CONCRETE SLAB. TRASH COMPACTOR PROVIDED BY OFFICE DEPOT.
- MONUMENT SIGN, REFER TO B2/A091.
- LIGHT POLES BY COOPER LIGHTING "LUCMARK-PHF" - 20 FOOT POLE WITH 250-WATT METAL HALIDE LAMP. SEE C2/A091.
- ASPHALTIC PAVING OVER PREPARED SUBGRADE, REFER TO CIVIL.
- ACCESSIBLE SIDEWALK RAMP, REF. C3/A091.
- LANDSCAPED AREA, REF. TO LANDSCAPE PLANS.
- ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES AT 45° HATCH LINES AT 18" O.C.
- CONCRETE WALK, REFER D2/A091.
- ACCESSIBLE SIGN, REF. C5/A091.
- VAN ACCESSIBLE SIGN, REFER C5/A091.
- ADA PAVEMENT SIGNAGE, REFER TO C4/A091.
- 4" DIA. MTL. BOLLARD, PAINT "MODERATE WHITE" REFER TO D5/A091.
- BIKE RACK, PAINT "PRACTICAL BEIGE" REFER TO C4/A091.
- RETAINING WALL CMU WITH STUCCO TO MATCH SHERWIN-WILLIAMS "PRACTICAL BEIGE" #96100. VERIFY ACTUAL DIMENSIONS AND REQUIRED HEIGHT WITH CIVIL DRAWINGS. REFER TO A1/A091 & A2/A091.
- 2'-4" HIGH RAISED BRICK PLANTER/SEATING W/ 6" WIDE PRECAST CONCRETE COPING, TYP BOTH SIDES OF ENTRANCE.
- BOMANITE STAMPED CONCRETE PAVING, COLOR: "MEXICAN TILE" BC-1.
- EXISTING STOP SIGN
- EXISTING MEDIAN
- CONCRETE CURB, REFER D1/A091.
- CONCRETE CURB, REFER D3/A091.
- COMPACTOR ENCLOSURE, REFER B5/A091.
- FIRE HYDRANT PER COA STANDARDS, REFER TO PLUMBING SHEETS.



VICINITY MAP



BARRY JAY
GREENBERG
ARCHITECT

2710 SUTTON BLVD
ST. LOUIS, MO 63113
PH: 314. 644. 1234
FAX: 314. 644. 4373

IN CONSULTATION WITH ARCHITECTURAL DESIGN GUILD:

PROJECT NUMBER: #1001946

Application Number: 05 DRB-01047 - Mirror Site Dev. Plan

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 5/18/05, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Transportation Division	8-31-05
Water Utility Department	8/31/05
Christine Sandoral Parks and Recreation Department	8/31/05
Bradley L. Bigh City Engineer	8/31/05
* Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	

*Environmental Health, if necessary
5/18/05

Office DEPOT Taking Care of Business

2200 Old Germantown Road
Delray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

REVISED SITE PLAN

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

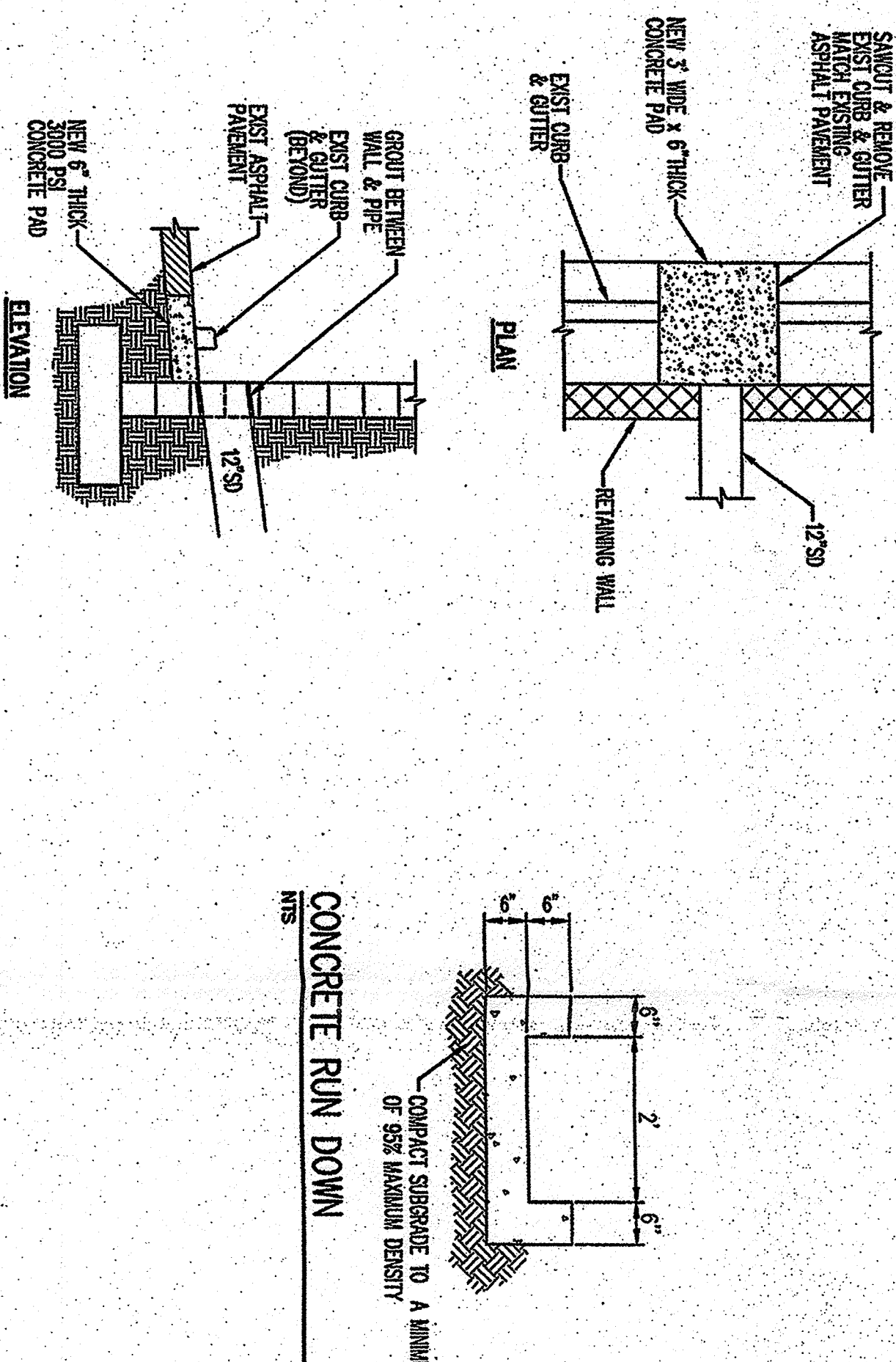
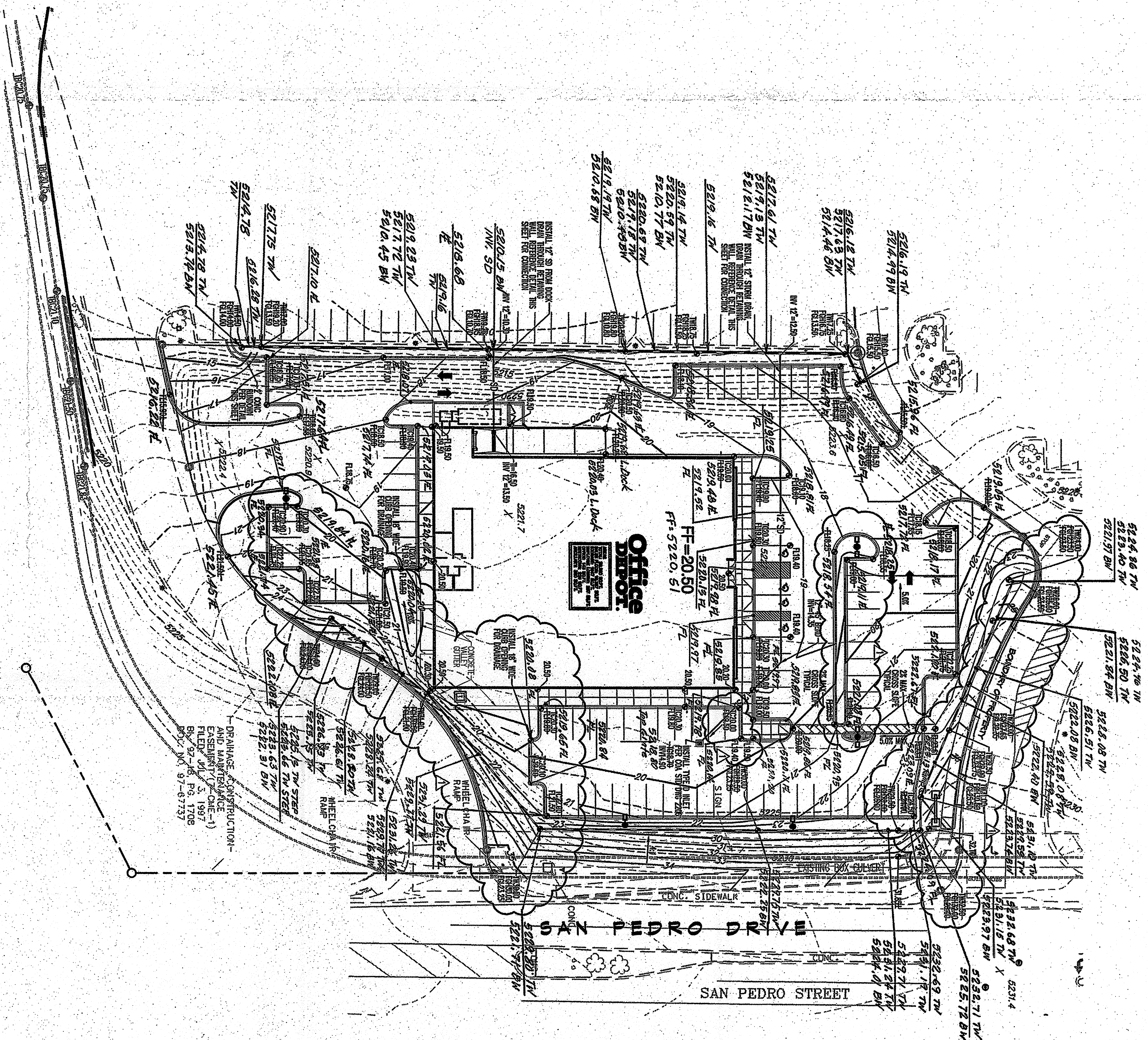
DATE	STORE NO.	JOB NUMBER	DRAWN BY
09.06.05	#04145	25-114	AMC
FLOOR AREA (NET)	TRUCKWELL/LOADING DOCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	AMC

C1

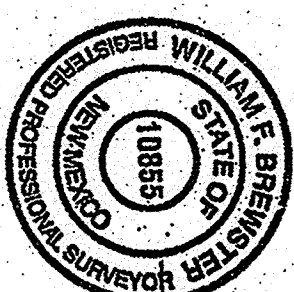
REPRESENTATION ONLY - NOT FOR CONSTRUCTION -

BUILDING AND SITE IMAGES ARE A REPRESENTATION OF THE DESIGN INTENT ONLY, AND NOT DOCUMENTATION OF THE FINAL DESIGN. SUBJECT MATTER HEREIN IS NEITHER FOR PERMITTING OR CONSTRUCTION

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE



William F. Brewster, NM
Accurate Survey
730 San Mateo SE
Albuquerque, NM 87108
505-256-7364



William F Brewster

SURVEYOR'S CERTIFICATION

I, William F. Brewster, a duly registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this as-built survey was prepared from an actual field survey performed on January 12, 2007 under my direct supervision and that it is true and correct to the best of my belief and knowledge.

DRAINAGE CERTIFICATION

THE RECORD AND THE CONSTRUCTION SHALL BE COMPLETE AND INTENDED ONLY TO VERIFY THE GRADING AND DRAINAGE ASPECTS ON THIS RECORD DOCUMENT ARE ADDED VERIFICATION OF ITS ACCURACY BEING THE PURPOSE.

1. BRADCO SINKHOLES, NAME: 4523, OF THE PLOUANNATH LITONIC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRANTED AND WILL BE IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE INFORMATION CONTAINED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLIAM J. BRANSTEN, NWS 10685, OF THE FIRM ACQUATE SURVEY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/26/97 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

LEGEND

FE19-59-
5219 48 ft AS-BUILT GRADE

REVISIONS
REMOVED GRADES DUE TO SITE
REVISIONS: 2-28-06

DATE	4/21/05
PROJECT NO.	041B5

DRAWING NAME

GRADING

DRAINAGE PLAN

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RECORD DRAWING

2/28/07

SHEET NO.

Q

Q II

1

ARCHITECT

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

PROJECT

10/12/05

JEFFREY TODD WOODCOCK
NEW MEXICO
18892
ENGINEER

OFFICE DEPOT
Los Angeles Center
7901 San Pedro & Paseo del Norte
Albuquerque, NM 87109

**architecture
interiors
planning
engineering**