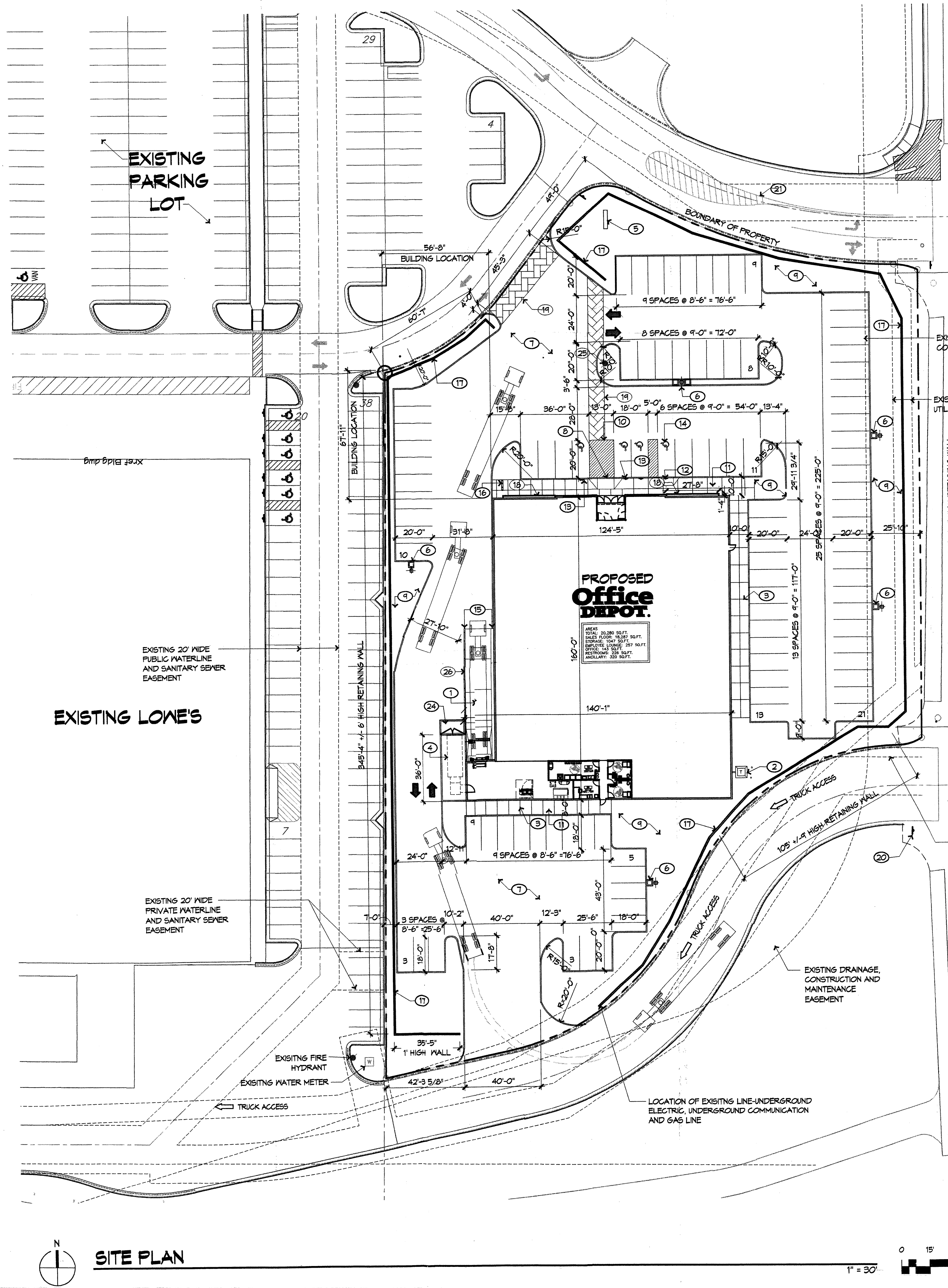


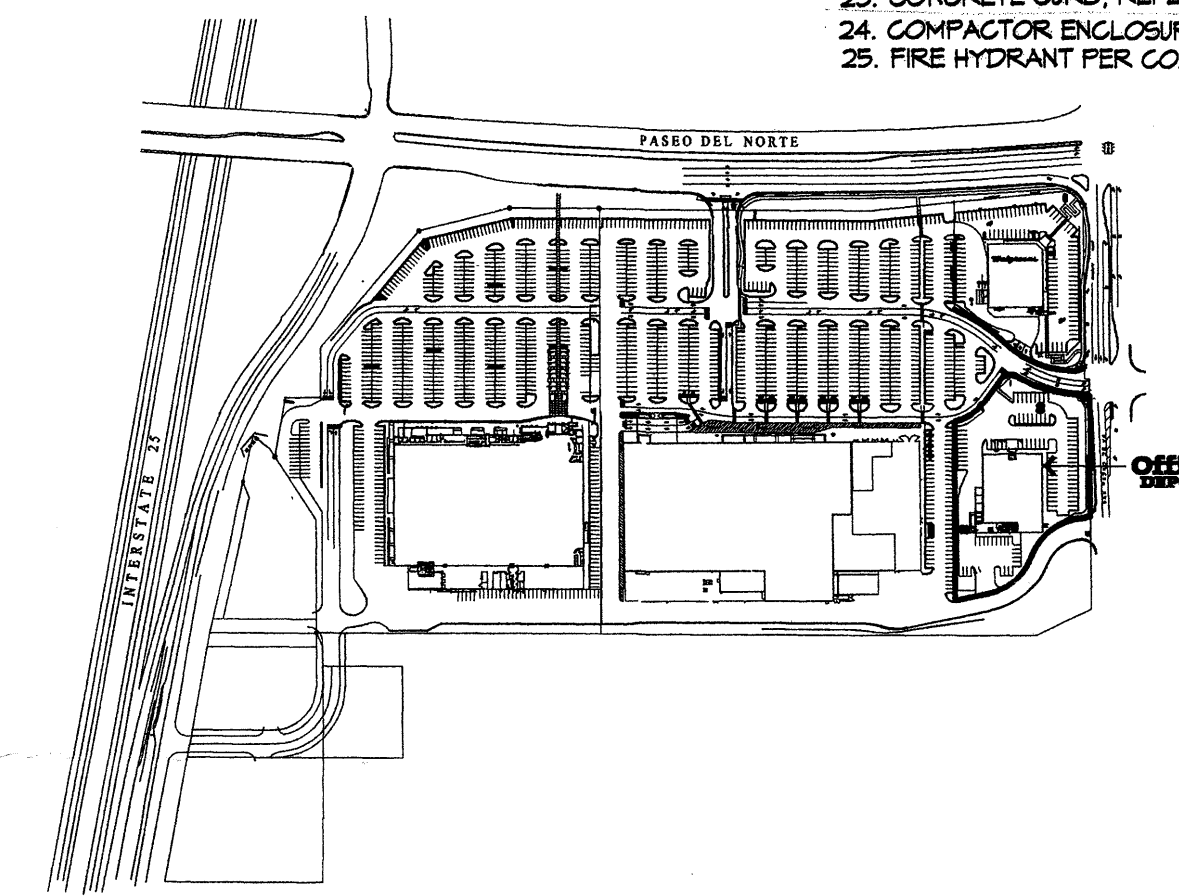


SITE DATA
LEGAL DESCRIPTION: LOS ANGELES CENTER, TRACT A-1-D
TOTAL LOT AREA: 2.5 ACRES
CURRENT ZONING: M-1

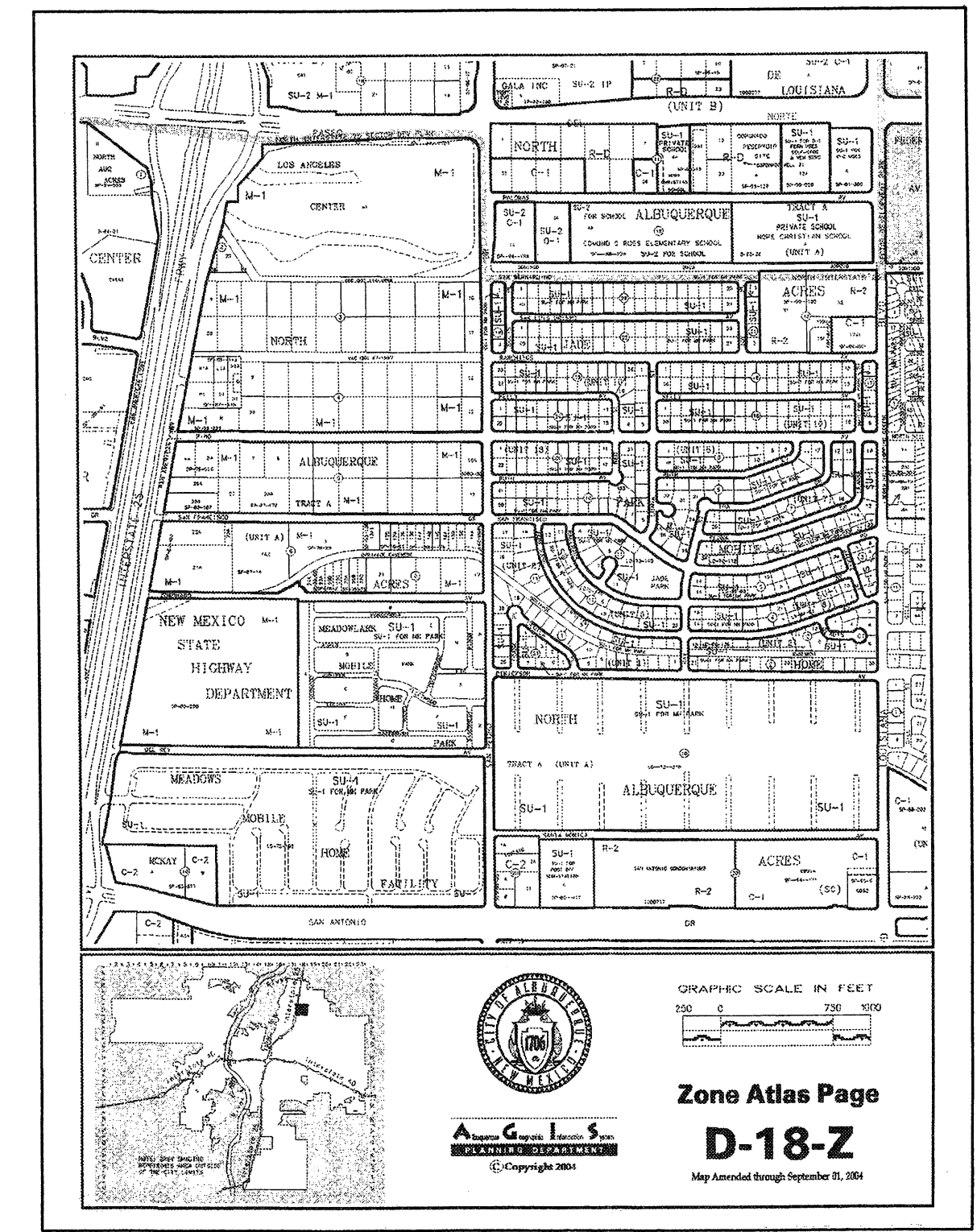
PARKING DATA
PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
RETAIL LEASABLE S.F. = 20,500 S.F.
15,000/200 = 75 SPACES
5,500/250 = 22 SPACES
97 SPACES REQUIRED
48 SPACES PROVIDED INCLUDING
4 HC ACCESSIBLE SPACES
BICYCLE PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
REQUIRED: 75/20 = 4
PROVIDED: 4

GENERAL NOTES
A. RADII CENTER POINTS TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT STRAIGHT CURB LINE.
B. DIMENSIONS ARE TO FACE OF CURB.
C. IF LAYOUT DIFFERS SIGNIFICANTLY FROM CIVIL DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
D. ATTENTION SOLID WASTE DEPARTMENT: TENANT FOR THIS BUILDING WILL HAVE AN ON-SITE COMPACTOR.

KEYED NOTES
1. RECESSED LOADING DOCK, REFER TO CIVIL.
2. TRANSFORMER LOCATION, REFER TO CIVIL AND ELECTRICAL.
3. SIDEWALK WITH CONTROL JOINTS EVERY 6'-0", SEE DETAIL C1/A091.
4. TRASH COMPACTOR ON 6" REINFORCED CONCRETE SLAB, TRASH COMPACTOR PROVIDED BY OFFICE DEPOT.
5. MONUMENT SIGN, REFER TO B2/A091.
6. LIGHT POLES BY COOPER LIGHTING "LUGMARK-PHF" - 20 FOOT POLE WITH 250-WATT METAL HALIDE LAMP, SEE C2/A091.
7. ASPHALTIC PAVING OVER PREPARED SUBGRADE, REFER TO CIVIL.
8. ACCESSIBLE SIDEWALK RAMP, REF. C3/A091.
9. LANDSCAPED AREA, REF. TO LANDSCAPE PLANS.
10. ACCESSIBLE PARKING SPACE IV/1 LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES AT 45° HATCH LINES AT 18" O.C.
11. CONCRETE WALK, REFER D2/A091.
12. ACCESSIBLE SIGN, REF. C5/A091.
13. VAN ACCESSIBLE SIGN, REFER C5/A091.
14. ADA PAVEMENT SIGNAGE, REFER TO C4/A091.
15. 4" DIA. MTL. BOLLARD, PAINT "MODERATE WHITE" REFER TO D5/A091.
16. BIKE RACK, PAINT "PRACTICAL BEIGE" REFER TO C4/A091.
17. RETAINING WALL CMU WITH STUCCO TO MATCH SHERWIN-WILLIAMS "PRACTICAL BEIGE" #56100. VERIFY ACTUAL DIMENSIONS AND REQUIRED HEIGHT WITH CIVIL DRAWINGS. REFER TO A1/A091 & A2/A091.
18. 2'-4" HIGH RAISED BRICK PLANTER/SEATING - IV/1 6" WIDE PRECAST CONCRETE COPING, TYP BOTH SIDES OF ENTRANCE.
19. BOMANITE STAMPED CONCRETE PAVING, COLOR: "MEXICAN TILE" BG-1.
20. EXISTING STOP SIGN.
21. EXISTING MEDIAN.
22. CONCRETE CURB, REFER D1/A091.
23. CONCRETE CURB, REFER D3/A091.
24. COMPACTOR ENCLOSURE, REFER B5/A091.
25. FIRE HYDRANT PER COA STANDARDS, REFER TO PLUMBING SHEETS.



VICINITY MAP



BARRY JAY GREENBERG ARCHITECT
2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314 . 644 . 1234
FAX: 314 . 644 . 4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUID:

PROJECT NUMBER: #1001946
Application Number: 05 DRB-01047 - Minor Site Dev. Plan
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 2/11/05, and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN, SIGNOFF APPROVAL:
Traffic Engineering, Transportation Division Date: 8-31-05
Water Utility Department Date: 8/31/05
Christine Sandoval Date: 8/31/05
Parks and Recreation Department Date: 8/31/05
Bradley J. Byles Date: 8/31/05
City Engineer
* Environmental Health Department (conditional) Date: _____
Solid Waste Management Date: _____
DRB Chairperson, Planning Department Date: _____
* Environmental Health, if necessary
011305

Office DEPOT
Taking Care of Business
2200 Old Germantown Road
Delray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

REVISED SITE PLAN

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

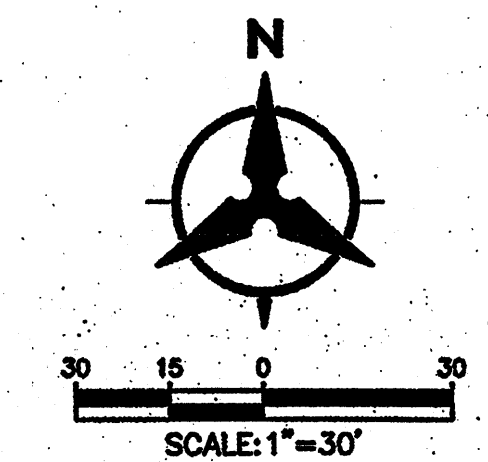
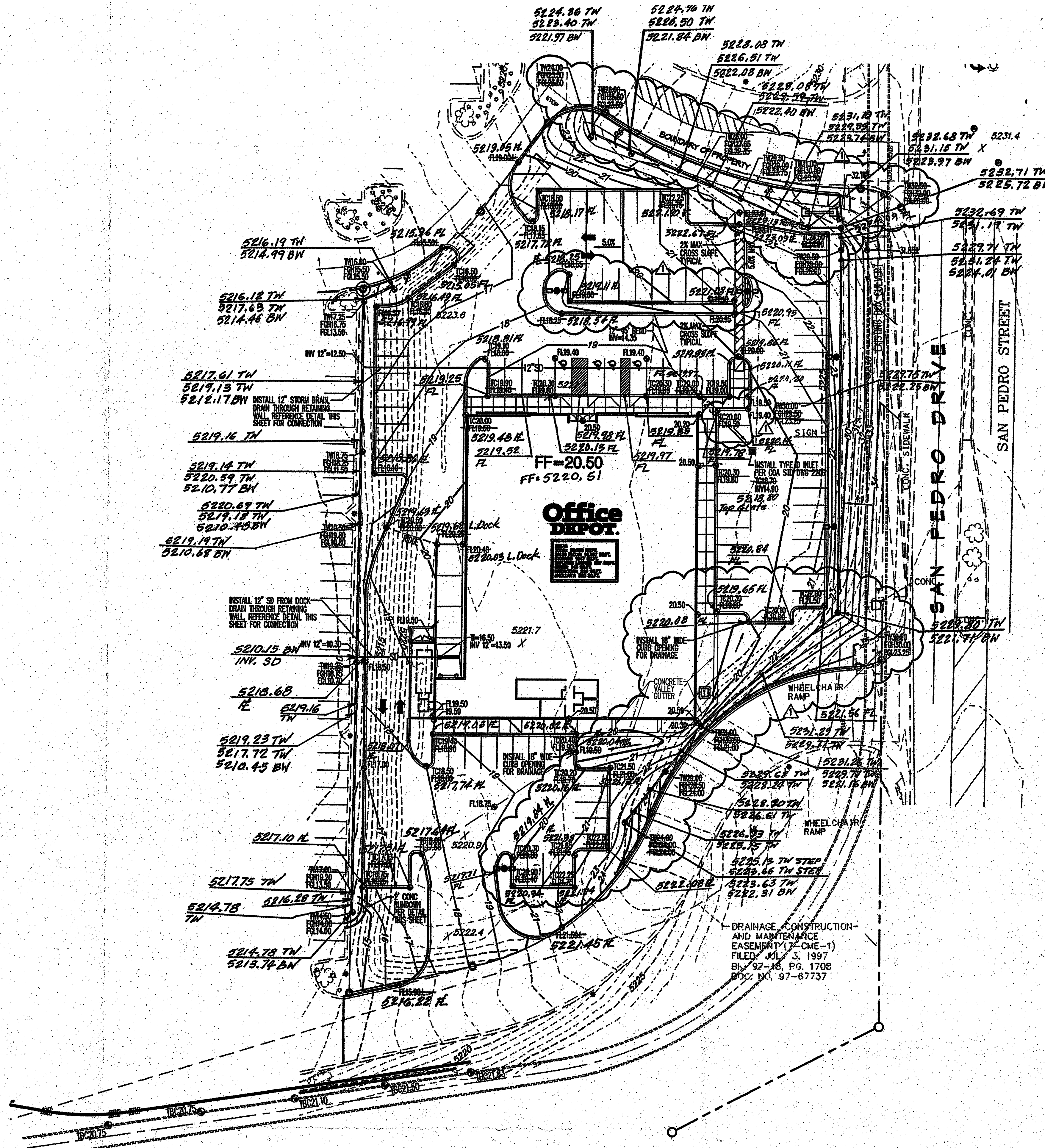
DATE	STORE NO.	JOB NUMBER	DRAWN BY
09.06.05	#04145	25-114	AMC
FLOOR AREA (NET)	TRUCKWELL/LOWS DOCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	AMC

C1

REPRESENTATION ONLY - NOT FOR CONSTRUCTION -

BUILDING AND SITE IMAGES ARE A REPRESENTATION OF THE DESIGN INTENT ONLY, AND NOT DOCUMENTATION OF THE FINAL DESIGN. SUBJECT MATTER HEREIN IS NEITHER FOR PERMITTING OR CONSTRUCTION

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFERENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE



NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY SHORING, PAVEMENT REMOVAL, PAVEMENT REPLACEMENT, AND/OR TRAFFIC CONTROL THAT IS REQUIRED FOR CONSTRUCTION OF THE RETAINING WALLS.

NOTE: CONTRACTOR SHALL FIELD VERIFY GRADES AT NEW RETAINING WALLS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY.

GENERAL NOTES

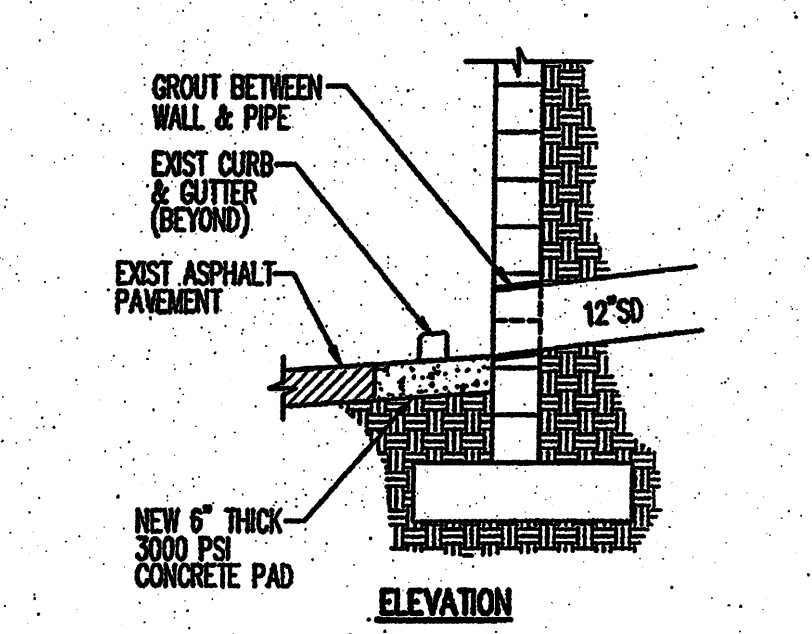
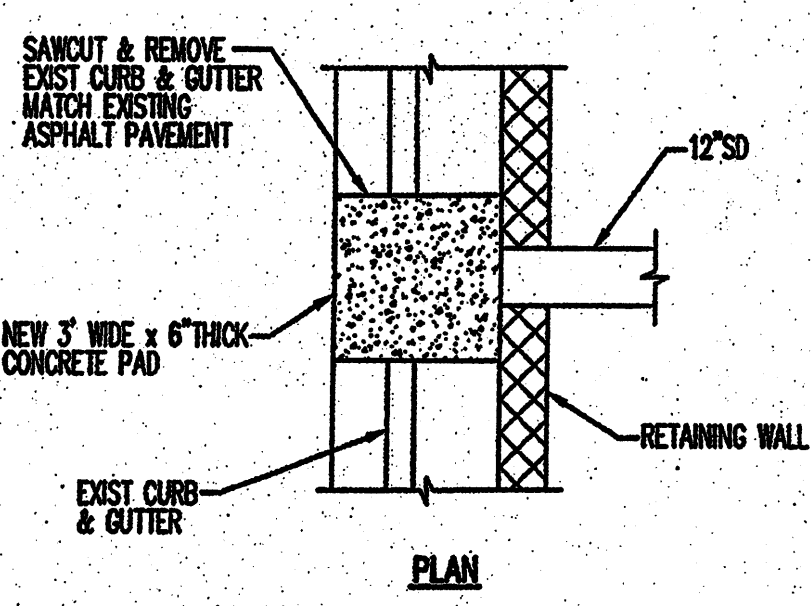
1. ALL WORK DETAILLED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GOVERNMENT REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL CONSIDERATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

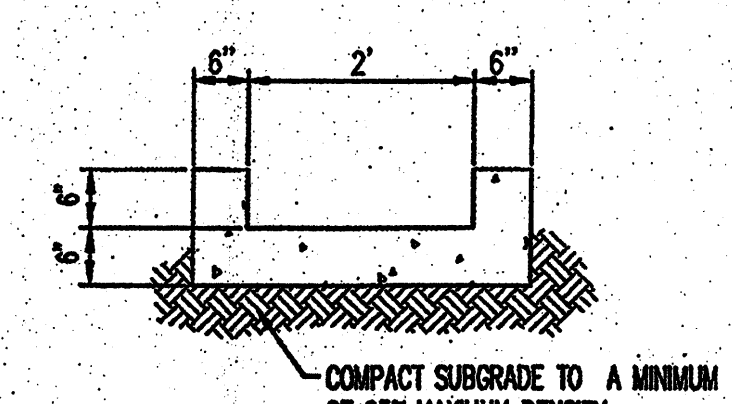
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST PRIORITY SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CMA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL, STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

---	PROPERTY LINE	---	PROPOSED INDEX CONTOURS
---	EXISTING CONTOURS	---	PROPOSED INTER CONTOURS
---	EXISTING GROUND SPOT ELEVATION	---	PROPOSED CURB & GUTTER
---	EXISTING ELECTRICAL POLE	---	EASEMENT
---	PROPOSED SPOT ELEVATION	---	EXISTING TREE
---	TO-TOP OF CURB, FL-FLOW LINE	---	PROPOSED LIGHTING
---	TO-TOP OF WALL, FL-FLOW LINE	---	PROPOSED STORM DRAIN LINE
---	TO-TOP OF WALL, EX-EXISTING	---	PROPOSED STORM DRAIN MANHOLE
---	TO-TOP OF GRADE, TO-TOP OF INLET, IN-EXISTING	---	PROPOSED STORM DRAIN INLET
---	PROPOSED DIRECTION OF FLOW	---	EXISTING STORM DRAIN MANHOLE
---	WATER BLOCK	---	
---	PROPOSED RETAINING WALL	---	



STORM DRAIN OUTFALL
NTS

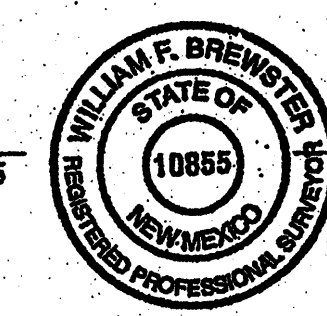


CONCRETE RUN DOWN
NTS

SURVEYOR'S CERTIFICATION

I, William F. Brewster, a duly registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this as-built survey was prepared from an actual field survey performed on January 12, 2007 under my direct supervision and that it is true and correct to the best of my belief and knowledge.

William F. Brewster
William F. Brewster, NMPS # 10855
Accurate Survey
730 San Mateo SE
Albuquerque, NM 87108
505-256-7364



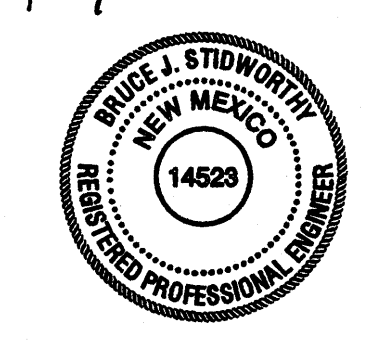
DRAINAGE CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-12-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLIAM F. BREWSTER, NMPS 10855, OF THE FIRM ACCURATE SURVEY. I, FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-28-07 AND HAVE INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

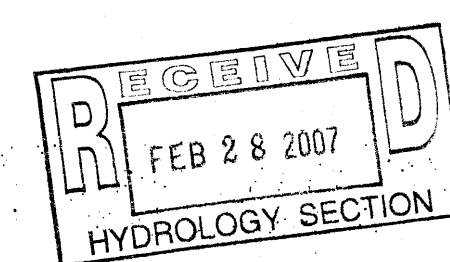
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce J. Stidworthy 2/28/07
BRUCE J. STIDWORTHY, NMPE 14523

LEGEND	
FL70.22	DESIGN GRADE
FL70.22	AS-BUILT GRADE



Bohannon & Huston
Courtyard I, 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



REVISIONS	REVISIONS
△	REVISED GRADES DUE TO SITE REVISIONS. 2-28-06
△	
△	
△	
△	

DRAWN BY:	B. ORTEGA
REVIEWED BY:	J. MOONEN
DATE:	2/21/06
PROJECT NO.:	04185
DRAWING NAME:	
GRADING & DRAINAGE PLAN	
RECORD DRAWING	
2/28/07	